

**AGENDA**  
**City of Hobbs Planning Board – Regular Meeting**  
**July 19, 2016 at 10:00 AM**

**W. M. “Tres” Hicks, Chairman**  
**Bill Ramirez**  
**Brett Drennan**  
**Larry Sanderson**

**Guy Kesner, Vice Chairman**  
**Bobby Shaw**  
**Dwayne Penick**

**Tentative Agenda for the Planning Board Regular Session Meeting to be held on Tuesday, July 19, 2016 at 10:00 AM at the City of Hobbs Annex Building, First Floor Commission Chambers located at 200 E. Broadway, Hobbs, NM 88240.**

**AGENDA**

- 1) **Call To Order.**
- 2) **Review and Consider Approval of Agenda.**
- 3) **Review and Consider Approval of Minutes.**

**June 21, 2016 – Regular Meeting**

- 4) **Communications from Citizens.**
- 5) **Review and Consider Preliminary and Final Plat Approval for the Sanchez Subdivision, as submitted by Pablo Sanchez, property owner. Located southwest of the intersection of Pawnee Street and N. Pool Street and within the extra-territorial platting jurisdiction of Hobbs, the proposed subdivision is compliant with MC Title 16 with one exception. Public infrastructure, in this case an improved publicly maintained roadway, is not extended fully to the western boundaries of the parent parcel creating an “infrastructure gap” of +/-113’.**
- 6) **Review and Consider Preliminary Plat Approval for the Tiger Trails Subdivision, as submitted by James Owensby, property owner and located northwest of the intersection of Sockwell and N. Fowler Street and within the extra-territorial platting jurisdiction of Hobbs. MC Title 16 allows a maximum block length of 880 linear feet while LC Code 16.2.1 – F allows a maximum block length of 1,320 linear feet. **The proposed block length of +/- 1,215’, would be compliant with the County’s Code but would require a municipal variance.****
- 7) **Report of Subdivisions approved via MC 16.12 – Alternate Summary Procedure since March 15, 2016.**
- 8) **Adjournment.**

**The City will make every effort to provide reasonable accommodations for people with disabilities who wish to attend a public meeting. Please notify the City at least 24 hours before the meeting. Telephone 397-9351.**

*“Notice is hereby given that a quorum of the Hobbs City Commission may be in attendance at this meeting.”*

**PLANNING BOARD MEETING  
MINUTES  
June 21, 2016**

The Hobbs Planning Board met on June 21, 2016 at 10:00 a.m. at City of Hobbs Annex Building, First Floor Commission Chambers, located at 200 E. Broadway, Hobbs, NM 88240 with Mr. W.M. “Tres” Hicks Chairman presiding.

**Members Present:**

W.M. “Tres” Hicks, Chairman  
Guy Kesner, Vice Chairman  
Bobby Shaw

**Members Absent:**

Bill Ramirez  
Brett Drennan

**Also present were members of the public and City staff as follows:**

Kevin Robinson, Development Director  
Todd Randall, City Engineer  
Danny O’Boyle  
Kendall Goad

Commissioner Buie  
Julie Nymeyer, Staff Secretary  
Nicholas Maxwell  
Seborn South

**1) Call To Order.**

Chairman W.M. “Tres” Hicks called the meeting to order at 10:02 am.

**2) Review and Consider Approval of Agenda.**

The first item of business was to review and approve the Agenda for the June 21, 2016 meeting. Mr. Hicks asked if there were any changes or additions to the Agenda? Mr. Robinson said there were no changes. Mr. Ramirez made a motion, seconded by Mr. Kesner to approve the agenda as amended. The vote on the motion was 5-0 and the motion carried.

**3) Review and Consider Approval of Minutes.**

**May 17, 2016 – Regular Meeting**

Mr. Hicks asked if everyone has had a chance to read the Regular Minutes from May 17, 2016. Mr. Kesner made a motion seconded by Mr. Drennan to approve the minutes as presented. The vote on the motion was 5-0 and the motion carried.

**4) Communications from Citizens.**

There was no communications from citizens.

**5) Review and Consider front yard setback variance request for 219 E. Aspen as submitted by Danny O’Boyle, property owner. Aspen is classified as a minor**

**residential with a required setback of 21' from the property line; the proposed structure will be located 4' from the property line requiring a 19' variance. The existing structure was placed on the property without receiving a building permit.**

Mr. Robinson said this is an item that was tabled at last month's meeting. He said staff sent out letters to each of the 14 property owners that are adjacent within the block. He said they did receive back 10 responses and of those there was 71% in favor of the variance. He said it has been the history of the Board to deny these types of variances when the block has been devoid of setback variances.

Mr. Robinson said this carport was built without a permit. He said granting of this variance will let any other person within the block build a carport. He said there have been several carports that have been denied. He said will it be the policy in the future to query every property owner within the block? Mr. Hicks said he would like to put that question off until they address this issue. Mr. Hicks asked if the minimum distance was 5 feet. Mr. Robinson said yes. Mr. Hicks said it is not about carports, it is about protecting the aesthetics of the neighborhoods and safety. Mr. Kesner asked if the restrictive covenants have been broken? Mr. Robinson said yes. Mr. Ramirez asked how far was it from back of curb? Mr. Randall said 14 feet which would be four and a half feet from the property line.

Mr. Kesner made a motion to approve the variance, seconded by Mr. Ramirez. Mr. Kesner told Mr. O'Boyle that he wants to make sure he understands that the Planning Board can allow the variance to take place but the restrictive covenants may be in violation and he could still be sued by his neighbors for violation of his restrictive covenants. The vote on the motion was 5-0 and the motion carried.

**6) Review and Consider Proposed Annexation of 1.3169 +/- acres of property located northwest of the intersection of E. Navajo Drive and the projection of Ranchland.**

Mr. Robinson said this is the annexation of a piece of property in the section corner of Navajo. He said this was part of the Western States annexation. He said the municipality did annex this from Navajo Road but it did not encompass the entirety of this property. He said this is to encompass the entirety of that property within the municipal boundaries. He said it was petitioned by Mr. Cress Jones. Mr. Shaw made a motion, seconded by Mr. Ramirez to approve the annexation. The vote on the motion was 5-0 and the motion carried.

**7) Review Proposed HOA Gated Community sketch plan located Southeast and Southwest of the intersection of Millen Road and Paddock Road.**

Mr. Robinson said this is a sketch plan of an HOA gated community to be located in Zia Crossing. He said what is in front of you is read lines from staff after being reviewed in a DRT meeting. Mr. Kesner asked where the gates would be? Mr. Robinson said they will be located on Paddock Road south of the majority of the subdivision to the east and west. Mr. Robinson said there will not be a right-of-way the property will be owned and maintained by the home owners association. He said the municipality will have a subsurface easement for the placement of municipal water and sewer lines. Mr. Ramirez made a motion, seconded by Mr. Drennan to approve the sketch plan with the comments of staff. The vote on the

motion was 5-0 and the motion carried.

- 8) **Review and Consider Parking Variance for a Modular Office Building proposed to be located west of 221 West Dunnam, as submitted by the Boys and Girls Club. The proposed development requires 7 on-site parking spaces per MC Chapter 15.20, the developer is requesting a variance to utilize the existing on-ramp parking.**

Mr. Hicks said he is on the board of the Boys and Girls Club and he will represent the club. He said he will refrain from voting. Mr. Kesner asked what they were trying to do. Mr. Hicks said the Boys Club bought one of the trailers that Urenco was selling. He said the daycare facility is on the old club. He said it is in the NE corner of the block and there is no other structures on the block besides an old building with no roof or insides just a brick shell.

Mr. Hicks said the Boy and Girls Club daycare has been extremely successful. He said it is a CYFD four star rated facility. He said this building was acquired to expand the number of spaces of kids that could be taken care of at the facility. He said the south half or the block on the NW corner is currently leased to Chelsea Corporation who is building the new apartment complex directly east of this. He said it is leased as a staging yard and office location for that construction project for the next year. He said the south half and NW quarter will at least temporarily be fenced off from the daycare facility. He said with the projected use they do not see that they are adding a lot of parking load to the area because it is just pick up and drop off area so they would like a parking variance. He said if the other  $\frac{3}{4}$  of the block were ever developed or sold to someone then there would be a requirement that they develop parking within the city's guidelines. Mr. Robinson said he would put a caveat that states you will produce parking in the future if it is ever utilized for something else for that modular unit.

Mr. Shaw made a motion, seconded by Mr. Drennan to approve the parking variance for the building being used as daycare. The vote was 4-1 with Mr. Hicks abstaining and the motion carried. Mr. Robinson said a change of use for the building could require this coming back to the board for another variance.

- 9) **Review and Consider Proposed conveyance of public owned fee-simple property currently within Hobbs Industrial Airpark South Subdivision to New Mexico Junior College, as an inter-governmental agency transfer.**

Mr. Robinson said the municipality is in discussion with NMJC for an interagency transfer of the public owned fee-simple property currently within the HIAP subdivision. He said the NMJC has use for the 3.2 acres. He said staff is in discussion about how to accomplish the goals between the two parties. He said they did not want the JC to be restricted to the covenants that are in place. Mr. Hicks said he would suggest staff look at it and see if there are other parts of the covenant that they still want to be applicable and then just add that one covenant doesn't apply to tract 10. Mr. Hicks said the board's recommendation would be amending the covenants because that might be the best way to retain some of the control and character. Mr. Kesner made a motion, seconded by Mr. Ramirez to approve the conveyance of public owned fee-simple property. The vote on the motion was 5-0 and the

motion carried.

**10) Review and Consider 2018-2022 ICIP top 10 list as submitted by staff.**

Mr. Randall discussed the top ten ICIP projects. Mr. Kesner asked about #6 College Lane realignment. Mr. Randall said that property was purchased in order to realign College Lane at Lovington Hwy. He said there is some dollars for design in next year's budget. Mr. Kesner stated that the intersection of College Lane and Lovington Hwy needs to be cemented because it is wash boarded really badly. Mr. Randall said they were going to pave the area with a larger cross section.

Mr. Hicks opened the meeting for comment at 10:20 am. Mr. Shaw said the housing projects were in number 3 before. He asked if that was incentive money? Mr. Randall said it included everything. He said community housing projects was top 10 for several years. He said staff is keeping the housing in ICIP it has just been dropped out of top 10. He said there is no new money for FY2018. Mr. Shaw said housing is something that needs to be maybe not on the top 10 but in site. He said housing needs can change in a hurry.

Mr. Kesner said with the broadband demands across the community to spend 2.5 million dollars only to support city buildings might not be a good use of resources. He said you might be able to leverage that with the utilities companies. Mr. Randall said staff is not opposed to any ideals. Commissioner Buie said he feels like there needs to be more competition with some of these companies.

Mr. Kendall Goad suggested they move 13 way up. Mr. Randall said he would support swapping number 8 for number 13. Mr. Hicks asked if the digester had anything to do with getting 1b to 1a quality? Mr. Randall said no, it has everything to do with the solids not the effluent water. He said after public comment the Board will have to choose their top 10 to forward to Commission. He said the school system owns the 10 acres off of Bender. He said they have been in conversations about how to convey the flood waters through both of the development sites. He said one of the benefits to this is that area can be developed as a retention pond and include an underground storm drain. Mr. Hicks asked if there was any other public comment on the plan? He asked the Board if they agreed with moving #8 down and putting #13 back up. The Board agreed.

Mr. Hicks asked about railroad crossing and if it was in town? Mr. Randall said yes it is and staff is in conversations with the railroad to address the deficiencies at W. Co. Rd, Carlsbad Hwy, Jack Gomez. Mr. Kesner asked if they still had plans to make the median changes to Joe Harvey. Mr. Randall said it is listed as Joe Harvey Improvements which included many items. Mr. Kesner asked if it was in the top 10. Mr. Randall said no it is 14. Mr. Hicks said he would like to make a comment that the median improvements need to be part of the Joe Harvey Improvements. He said they need to eliminate some of the unsafe movements on Joe Harvey. Mr. Hicks closed the public hearing at 11:33 am. Mr. Kesner made a motion, seconded by Mr. Ramirez to approve the revised top 10 list for the ICIP. The vote on the motion was 5-0 and the motion carried.

**11) Adjournment.**

With nothing further to discuss the meeting adjourned at 11:35 am.

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W.M. "Tres" Hicks, Chairman

**July 18, 2016 Planning Board Regular Meeting Agenda**

- 5) **Review and Consider Preliminary and Final Plat Approval for the Sanchez Subdivision, as submitted by Pablo Sanchez, property owner. Located southwest of the intersection of Pawnee Street and N. Pool Street and within the extra-territorial platting jurisdiction of Hobbs, the proposed subdivision is compliant with MC Title 16 with one exception. Public infrastructure, in this case an improved publicly maintained roadway, is not extended fully to the western boundaries of the parent parcel creating an “infrastructure gap” of +/-113’.**

# SANCHEZ SUBDIVISION

A LEA COUNTY TYPE 3A SUBDIVISION AND A CITY OF HOBBS SUBDIVISION  
 LOCATED IN THE SW1/4 OF SECTION 25, T17S, R37E, N.M.P.M., LEA COUNTY, NEW MEXICO.

**PETTIGREW & ASSOCIATES PA**  
 ENGINEERING | SURVEYING | TESTING  
 DEFINING QUALITY SINCE 1965  
 100 E. Navajo - Suite 100, Hobbs New Mexico 88240  
 T 575 393 9827 F 575 393 1543  
 Pettigrew.us

PROJECT SURVEYOR: J. Baker  
 DRAWN BY: D. Trevizo



**INDEXING INFORMATION FOR COUNTY CLERK**  
 OWNER: Pablo Sanchez  
 LOCATION: Located in the SW1/4 of Section 25, T17S, R37E, N.M.P.M., City of Hobbs, Lea County, New Mexico.

**REVISIONS**

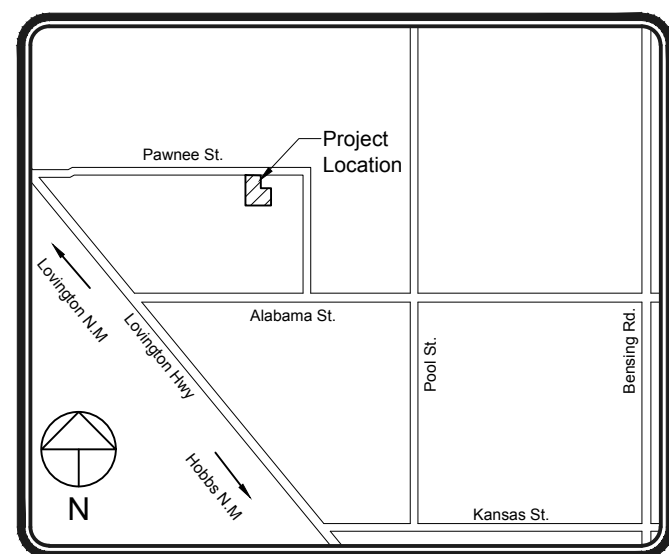
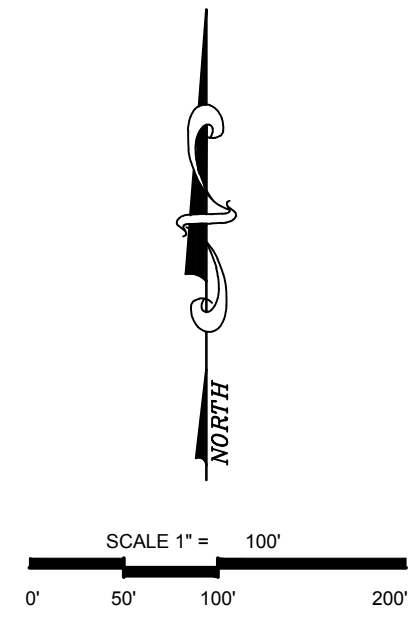
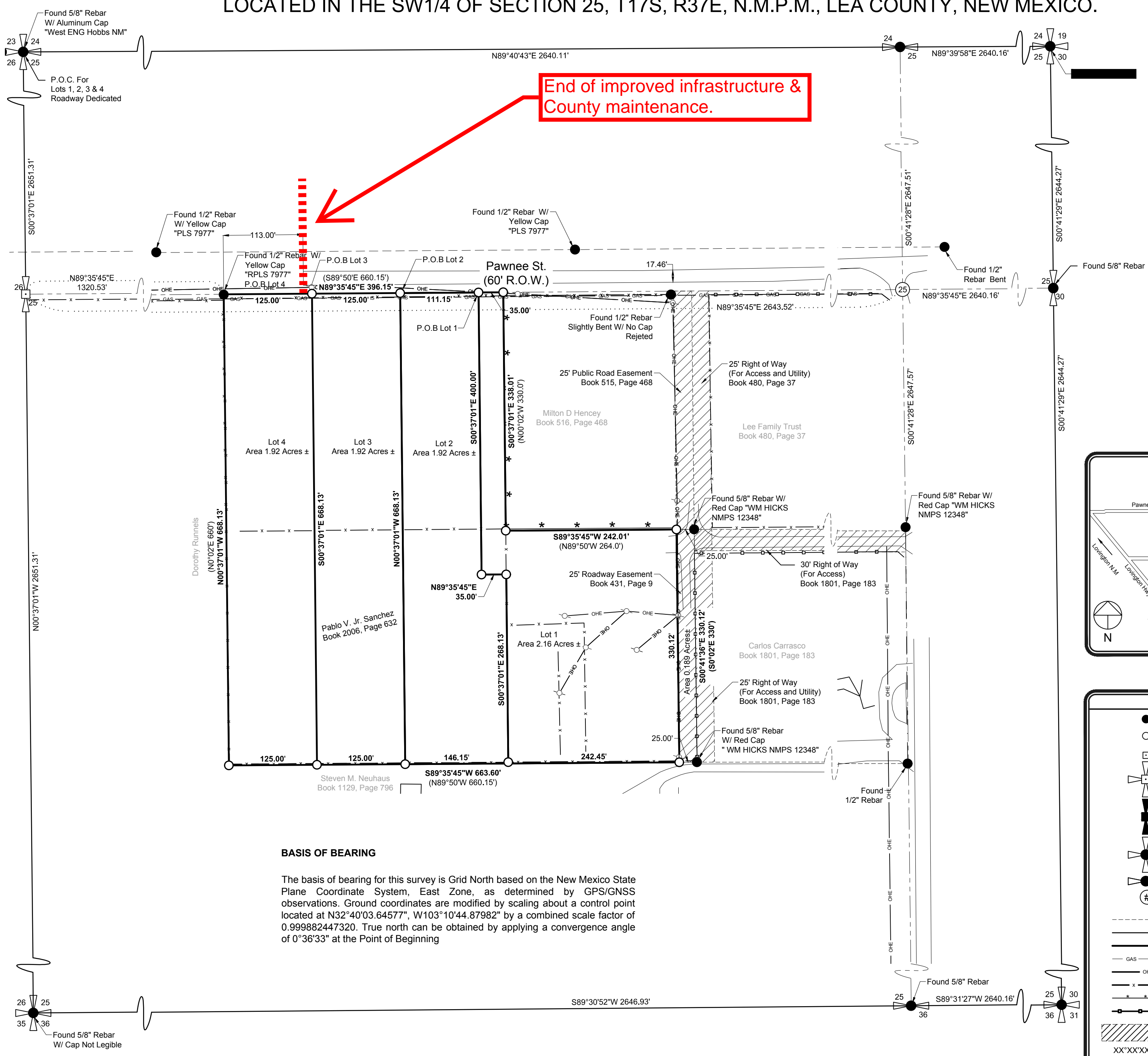
No.	DATE	DESCRIPTION

State of New Mexico, County of \_\_\_\_\_  
 I hereby certify that this instrument was filed for record on:  
 The \_\_\_\_\_ Day of \_\_\_\_\_,  
 20\_\_\_\_ A.D.  
 At \_\_\_\_\_ O'Clock \_\_\_\_\_ M.  
 Cabinet \_\_\_\_\_ Slide \_\_\_\_\_  
 Book \_\_\_\_\_ Page \_\_\_\_\_  
 By \_\_\_\_\_ County Clerk  
 By \_\_\_\_\_ Deputy

**SUBDIVISION PLAT OF SANCHEZ SUBDIVISION FOR PABLO SANCHEZ**

PROJECT NUMBER: **2016.1078**

SHEET: **1 of 2**  
**SU - 101**



**VICINITY MAP N.T.S.**

**LEGEND**

- Found as noted
- Set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"
- Calculated point
- ⊕ Calculated Section corner
- ⊕ Calculated Quarter Section corner
- ⊕ Found section corner
- ⊕ Found quarter section corner
- ⊕ Section section corner
- Lot line
- Section line
- Property line
- GAS --- GAS --- Gas line
- OHE --- Overhead electric line
- x --- x --- Barbed wire fence
- \* --- \* --- Cinder block fence
- # --- # --- Metal fence
- Easement
- XX'XX"XX' XX.XX' Measured bearing and distance
- (XX'XX"XX' XX.XX') Record bearing and distance

**BASIS OF BEARING**  
 The basis of bearing for this survey is Grid North based on the New Mexico State Plane Coordinate System, East Zone, as determined by GPS/GNSS observations. Ground coordinates are modified by scaling about a control point located at N32°40'03.64577", W103°10'44.87982" by a combined scale factor of 0.999882447320. True north can be obtained by applying a convergence angle of 0°36'33" at the Point of Beginning



**RECORD DESCRIPTION - PER DEED BOOK 2006, PAGE 632**

**Tract 1**

A tract of land located in the Northeast Quarter of the Southwest Quarter of Section 25, Township 17 South, Range 37 East, N.M.P.M., Lea County, New Mexico being more particularly described as follows:

Beginning S89°50'E 1320.3 feet from the Northwest corner of the Southwest Quarter of said Section 25; thence S89°50'E 660.15 feet; thence S00°02'E 330.0 feet; thence N89°50'W 660.15 feet; thence N00°02'W 330.0 feet to the point of beginning, LESS AND EXCEPT a tract BEGINNING at a point which lies S89°50'E 1716.45 feet from the West Quarter Corner of said Section 25; thence S89°50'E 264.0 feet; thence S00°02'E 330.0 feet; thence N89°50'W 264.0 feet; thence N00°02'W 330.00 feet to the point of beginning.

**Tract 2**

A tract of land located in the Northeast Quarter of the Southwest Quarter of Section 25, Township 17 South, Range 37 East, N.M.P.M., Lea County, New Mexico being further described as follows; BEGINNING S89°50'E 1320.3 feet and S0°02'E 330 feet from the Northwest corner of the Southwest Quarter of said Section 25; thence S89°50'E 660.15 feet; thence S0°02'E 330 feet; thence N89°50'W 660.15 feet; thence N0°02'E 330 feet to the point of beginning

Subject to reservation, restrictions and easements appearing of record with warranty covenants.

**LEGAL DESCRIPTION NEW LOT 1**

A tract of land located in the SW1/4 of Section 25, T17S, R37E, N.M.P.M., City of Hobbs, Lea County, New Mexico and being more particularly described by metes and bounds as follows:

Commencing at a found 5/8" rebar with Aluminum cap marked "West Eng. Hobbs NM", being the northwest corner of Section 25; thence S00°37'01"E 2651.31 feet along the west line of Section 25; thence N89°35'45"E along the north line of the Southwest Quarter of Section 25 passing a found 1/2" rebar with yellow cap marked "RPLS 7977" at 1320.53 feet, passing a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" at 1445.53 feet, also passing a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" at 1570.53 feet and continuing for a total distance of 1681.68 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" for a Point of Beginning; thence N89°35'45"E 35.00 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S00°37'01"E 338.01 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S89°35'45"W 242.01 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S00°41'36"E 330.12 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S89°35'45"W 242.45 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N00°37'01"W 268.13 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; S89°35'45"W 35.00 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N00°37'01"W 400.00 feet to the Point of Beginning.

Containing 2.16 acres, more or less.

**LEGAL DESCRIPTION NEW LOT 2**

A tract of land located in the SW1/4 of Section 25, T17S, R37E, N.M.P.M., City of Hobbs, Lea County, New Mexico and being more particularly described by metes and bounds as follows:

Commencing at a found 5/8" rebar with Aluminum cap marked "West Eng. Hobbs NM", being the northwest corner of Section 25; thence S00°37'01"E 2651.31 feet along the west line of Section 25; thence N89°35'45"E along the north line of the Southwest Quarter of Section 25 passing a found 1/2" rebar with yellow cap marked "RPLS 7977" at 1320.53 feet, passing a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" at 1445.53 feet and continuing for a total distance of 1570.53 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" for a Point of Beginning; thence N89°35'45"E 111.15 feet along the north line of the Southwest quarter of Section 25 to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N89°35'45"E 35.00 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S00°37'01"E 268.13 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S89°35'45"E 146.15 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N00°37'01"W 668.13 feet to the Point of Beginning.

Containing 1.92 acres, more or less.

**LEGAL DESCRIPTION NEW LOT 3**

A tract of land located in the SW1/4 of Section 25, T17S, R37E, N.M.P.M., City of Hobbs, Lea County, New Mexico and being more particularly described by metes and bounds as follows:

Commencing at a found 5/8" rebar with Aluminum cap marked "West Eng. Hobbs NM", being the northwest corner of Section 25; thence S00°37'01"E 2651.31 feet along the west line of Section 25; thence N89°35'45"E along the north line of the Southwest quarter of Section 25 passing a found 1/2" rebar with yellow cap marked "RPLS 7977" at 1320.53 feet and continuing for a total distance of 1445.53 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" for a Point of Beginning; thence N89°35'45"E 125.00 feet along the north line of the Southwest quarter of Section 25 to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S00°37'01"E 668.13 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S89°35'45"W 125.00 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N00°37'01"W 668.13 feet to the Point of Beginning.

Containing 1.92 acres, more or less.

**LEGAL DESCRIPTION NEW LOT 4**

A tract of land located in the SW1/4 of Section 25, T17S, R37E, N.M.P.M., City of Hobbs, Lea County, New Mexico and being more particularly described by metes and bounds as follows:

Commencing at a found 5/8" rebar with Aluminum cap marked "West Eng. Hobbs NM", being the northwest corner of Section 25; thence S00°37'01"E 2651.31 feet along the west line of Section 25; thence N89°35'45"E 1320.53 feet along the north line of the Southwest quarter of Section 25 to a found 1/2" rebar with yellow cap marked "RPLS 7977" for a Point of Beginning; thence N89°35'45"E 125.00 feet along the north line of the Southwest quarter of Section 25 to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S00°37'01"E 668.13 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S89°35'45"W 125.00 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N00°37'01"W 668.13 feet to the Point of Beginning.

Containing 1.92 acres, more or less.

**CERTIFICATE OF SURVEY**

I, William M. Hicks, III New Mexico Professional Surveyor, hereby certify that this Summary Subdivision Plat was prepared from an actual ground survey performed by me or under my supervision, that this survey is true and correct to the best of my knowledge and belief. That this Summary Subdivision Plat and the field survey upon which it is based meet the Minimum Standards for Surveying in New Mexico.

William M. Hicks, III NMPS #12348 Date

**OWNERS STATEMENT AND AFFIDAVIT**

State of New Mexico: \_\_\_\_\_  
County of Lea: \_\_\_\_\_

The undersigned first duly sworn on oath, state: On behalf of the owners and proprietors we have of our own free will and consent caused this plat with its tracts to be platted, and the tract described and shown hereon as Easement A and Easement B to be dedicated to the public forever for road and utility access. The property described on this plat lies within the platting jurisdiction of Lea County.

By \_\_\_\_\_  
Pablo V. Sanchez Jr.

**ACKNOWLEDGMENT**

State Of New Mexico: \_\_\_\_\_  
County Of Lea: \_\_\_\_\_

On this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, Pablo V. Sanchez Jr. \_\_\_\_\_ to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Witness my hand and official seal the day and year last above written.

My commission expires: \_\_\_\_\_

Notary Public \_\_\_\_\_

**CERTIFICATE OF APPROVAL  
LEA COUNTY PLANNING AND ZONING BOARD**

Be it known that this subdivision plat was submitted to the Lea County Planning and Zoning Board, New Mexico assembled at a meeting on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ and was thereupon approved and accepted by a majority of the members of the said board.

In witness whereof the Planning and Zoning Board of Lea County, New Mexico has caused this instrument to be signed on it's behalf by it's chairman and attested by the County Clerk of Lea County, New Mexico on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Attest: \_\_\_\_\_  
Planning and Zoning Board  
Lea County, New Mexico

Pat Chappelle, County Clerk Kallie Windsor, Chairman

**ACKNOWLEDGMENT**

State of New Mexico: \_\_\_\_\_  
County of Lea: \_\_\_\_\_

The Foregoing Instrument was Acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by the above County Clerk and Chairman of the Planning and Zoning Board.

Witness my hand and official seal the day and year last above written.

My Commission Expires \_\_\_\_\_

Notary Public \_\_\_\_\_

**CERTIFICATE OF MUNICIPAL APPROVAL**

I, Kevin Robinson, Development Director for the City of Hobbs, Lea County, New Mexico, do hereby certify that the foregoing plat in the City of Hobbs, Lea County, New Mexico, was reviewed and deemed compliant with the Municipal Summary Process Regulations on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Kevin Robinson, Development Director

Jan Fletcher, City Clerk

**ACKNOWLEDGMENT**

State of New Mexico: \_\_\_\_\_  
County of Lea: \_\_\_\_\_

On this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, Kevin Robinson and Jan Fletcher to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Witness my hand and official seal the day and year last above written.

My Commission Expires: \_\_\_\_\_

Notary Public \_\_\_\_\_

**PETTIGREW & ASSOCIATES PA**  
ENGINEERING | SURVEYING | TESTING  
DEFINING QUALITY SINCE 1965  
100 E. Navajo - Suite 100, Hobbs New Mexico 88240  
T 575 393 9827 F 575 393 1543  
Pettigrew.us

PROJECT SURVEYOR: J. Baker  
DRAWN BY: D. Trevizo



**INDEXING INFORMATION  
FOR COUNTY CLERK**  
OWNER:  
Pablo Sanchez  
  
LOCATION:  
Located in the SW1/4 of Section 25, T17S,  
R37E, N.M.P.M., City of Hobbs, Lea County  
New Mexico.

**REVISIONS**

No.	DATE	DESCRIPTION

State of New Mexico, County of \_\_\_\_\_,  
I here by certify that this instrument was filed for record on:  
  
The \_\_\_\_\_ Day of \_\_\_\_\_,  
20\_\_\_\_ A.D.  
At \_\_\_\_\_ O'Clock \_\_\_\_\_M.  
Cabinet \_\_\_\_\_ Slide \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_  
By \_\_\_\_\_,  
County Clerk  
  
By \_\_\_\_\_,  
Deputy

**SUMMARY SUBDIVISION PLAT  
OF  
SANCHEZ SUBDIVISION  
FOR  
PABLO SANCHEZ**

PROJECT NUMBER:  
**2016.1078**

SHEET:  
2 of 2  
**SU - 102**

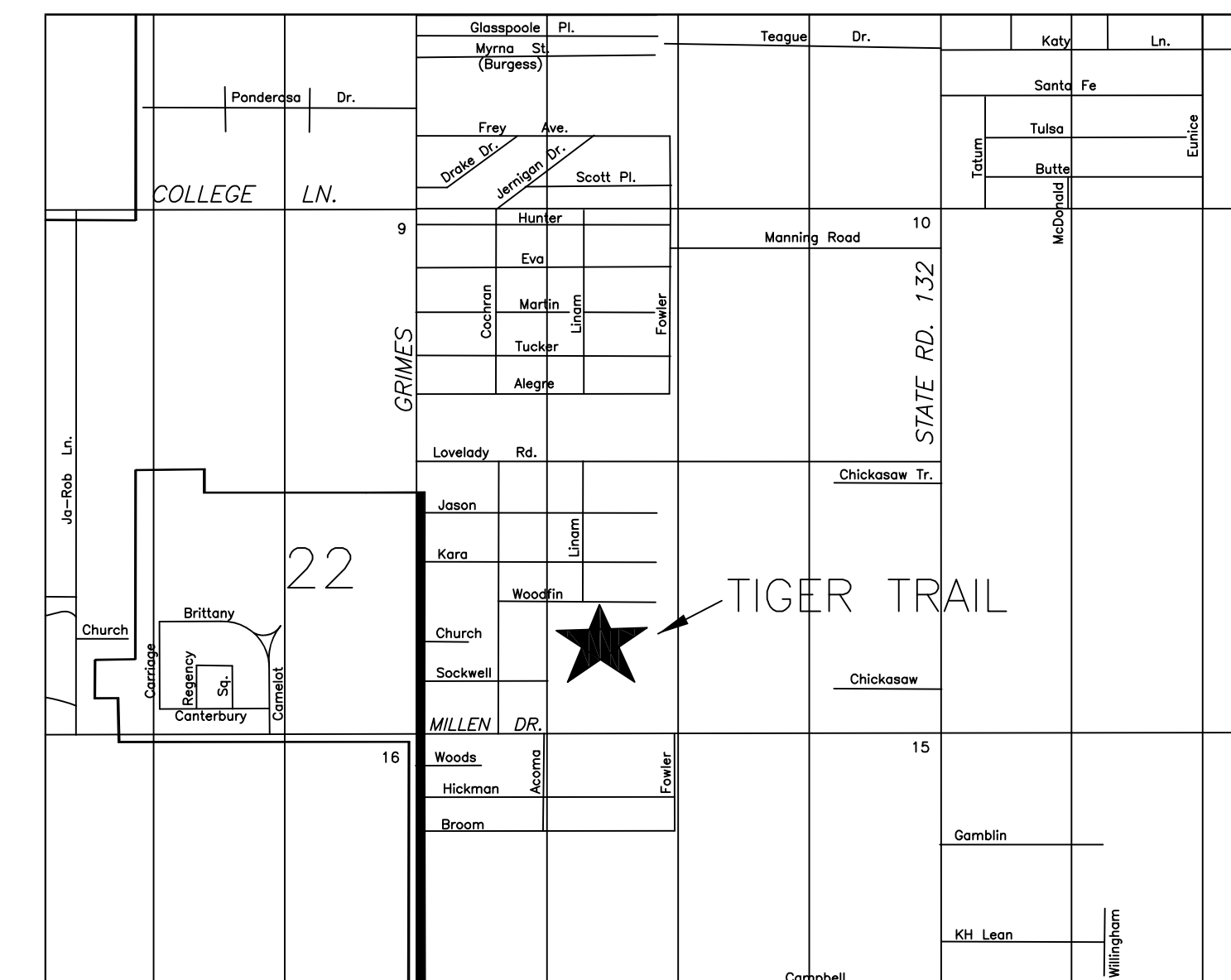
- 6) **Review and Consider Preliminary Plat Approval for the Tiger Trails Subdivision, as submitted by James Owensby, property owner and located northwest of the intersection of Sockwell and N. Fowler Street and within the extra-territorial platting jurisdiction of Hobbs. MC Title 16 allows a maximum block length of 880 linear feet while LC Code 16.2.1 – F allows a maximum block length of 1,320 linear feet. The proposed block length of +/- 1,215', would be compliant with the County's Code but would require a municipal variance.**

# SUBDIVISION PLANS TIGER TRAIL SUBDIVISION

LEA COUNTY, NEW MEXICO  
SECTION 10, TOWNSHIP 18 SOUTH, RANGE 38 EAST

## INDEX OF SHEETS

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A4	UTILITY LAYOUT
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T2	TRAFFIC SIGN DETAILS CONTINUED



LOCATION MAP

Not to Scale

Engineer of Record certification  
required prior to approval of Final  
Plat and acceptance of Municipal  
Infrastructure.

410 n. dal paso  
hobbs, new mexico 88240  
(575) 392-7918 bus  
(575) 392-9114 fax

**the ROSS GROUP**  
CONSULTING ENGINEERS

GENERAL NOTES:

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, AND THE CITY OF HOBBS STANDARDS.
2. TRENCHES WILL CROSS PAVEMENT, NATIVE SOIL, AND COMPACTED CALICHE PADS. CONTRACTOR TO SAW-CUT EDGES AND CONSTRUCT PAVEMENT PATCH ACCORDING TO DETAILS.
3. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES FOR SIZE, TYPE, DEPTH AND LOCATION. EXISTING UTILITIES SHOWN ARE TAKEN FROM RECORD DRAWINGS AND FIELD OBSERVATIONS, CONTRACTOR SHALL FOLLOW NEW MEXICO ONE-CALL PROCEDURES.
4. TRAFFIC CONTROL DEVICES SHALL BE INSTALLED, INSPECTED AND MAINTAINED BY CERTIFIED PERSONNEL. ENGINEER AND OWNER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY CHANGES IN TRAFFIC CONTROL PHASES, SO THAT THE OWNER CAN NOTIFY THE PUBLIC.
5. CONTRACTOR SHALL MAINTAIN GOOD HOUSEKEEPING THROUGHOUT THE PROJECT AND UPON PROJECT COMPLETION THE RIGHT-OF-WAY SHALL BE FREE OF ROCKS GREATER THAN 2" DIAMETER. ROCKS GREATER THAN 2" IN DIAMETER SHALL BE CRUSHED OR REMOVED.
6. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL BUSINESSES AND ADJACENT LANDOWNERS DURING THE ENTIRE PROJECT.
7. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY UPON FINDING DIFFERING FIELD CONDITIONS.
8. CONTRACTOR SHALL NOT DAMAGE EXISTING SURVEY MONUMENTS. ANY MONUMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY A LICENSED SURVEYOR AT THE CONTRACTOR'S EXPENSE.
10. PAY ITEMS SHALL BE AS LISTED ON THE BID FORM. ITEMS SHALL BE MEASURED AND PAID FOR BY THE UNITS LISTED ON THE BID FORM. ITEMS NECESSARY FOR CONSTRUCTION AND NOT LISTED SHALL BE CONSIDERED INCIDENTAL TO THE ITEM BEING INSTALLED.
11. MAXIMUM 300 LINEAR FEET OF WATERLINE TRENCH OR 350 LINEAR FEET OF SEWERLINE TRENCH (MANHOLE TO MANHOLE) OPEN AT A TIME UNLESS APPROVED BY OWNER IN ADVANCE.
12. DITCH SPOIL TO BE PLACED BETWEEN DITCH AND ROADWAY WHERE FIELD CONDITIONS ALLOW.
13. EXCAVATION AREAS TO BE PROPERLY FENCED WHEN CONSTRUCTION ACTIVITIES ALLOW, ESPECIALLY WHEN CONTRACTOR IS NOT WORKING IN THE AREA.
14. OSHA EXCAVATION REGULATIONS TO BE OBSERVED AT ALL TIMES.
15. WARNING LIGHTS ON TRAFFIC CONTROL DEVICES ARE NOT OPTIONAL ON THIS PROJECT.
16. PROJECT SHALL NOT BE DEEMED COMPLETE UNTIL ALL ROADS, CURBS AND DRAINAGE STRUCTURES HAVE BEEN TESTED SHOWN TO PROPERLY DRAIN.
17. SIGNS FOR PERMANENT TRAFFIC CONTROL (SPEED LIMITS, DIRECTIONS, ETC.) EXIST IN THE RIGHT-OF-WAY; THESE SIGNS WILL BE CAREFULLY AVOIDED OR REMOVED AND RE-INSTALLED AS PER NMDOT STANDARD DRAWINGS, SEE DETAILS.
18. WHERE GRADES ARE SHOWN WITH TWO DIGITS PRECEDING THE DECIMAL POINT, IT SHALL BE ASSUMED THAT 3600 FEET IS ADDED.
19. ALL CONCRETE USED IN THIS PROJECT SHALL INCLUDE FIBER REINFORCEMENT. FIBERS SHALL BE VIRGIN POLYPROPYLENE STRANDS (APPROX. 3/4 INCHES IN LENGTH). ALL CONCRETE SHALL CONTAIN APPROXIMATELY 1.5 LBS. OF FIBER PER CUBIC YARD OF CONCRETE. NO SEPARATE MEASUREMENT OF PAYMENT WILL BE MADE FOR SUCH WORK AND IT SHALL BE CONSIDERED INCIDENTAL TO THE CONSTRUCTION. FIBER REINFORCEMENT DOES NOT DELETE REQUIREMENTS FOR STEEL REINFORCEMENT WHEN REQUIRED ON DETAILS.
20. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES.
21. CONTRACTOR SHALL MINIMIZE DISTURBED VEGETATION AND IMPLEMENT NECESSARY BMP'S (BEST MANAGEMENT PRACTICES) IN COMPLIANCE WITH THEIR STORM WATER POLLUTION PREVENTION PLAN.

INSTALLATION OF WATER AND SEWER IMPROVEMENTS

Materials and equipment used in the installation of water and sewer improvements shall be new and unused, manufactured in compliance with standards published by the American Society for Testing and Materials (ASTM), the American Water Works Association (AWWA) or other published applicable standards.

Where specific items are called for by name, make or catalog number such reference shall be interpreted as establishing a standard quality and not construed as limiting competition. The use of substitutes is permissible in most cases, provided written request and proper certification are submitted to the ENGINEER for THE CITY'S review and approval prior to bidding. Installation, construction specifications, and testing requirements shall be governed by the 2006 New Mexico Standard Public Works Specifications and City of Hobbs Supplemental Specifications.

SANITARY SEWER SYSTEM

Collector: PVC, SDR 26, push on, gasketed sewer pipe  
 Service: PVC, SCH 40 or SDR 21 push on, gasketed (or glued) sewer pipe  
 Fittings: PVC, SCH 40, push on, gasketed (or glued) sewer pipe  
 Manholes: Pre-cast reinforced concrete, 4 ft. inside diameter, type C Concentric manholes OR Pre-cast fiberglass manholes, 4 ft. inside diameter, type C OR Cast-in-place manholes may be permitted with prior approval from City. (Manhole opening to be 30 inches diameter, typical all manholes)  
 Manhole ring and cover: Heavy Duty East Jordan Iron Works product #41430120A01 standard cast iron, bottom flange, 270 lb. manhole rim and lid, concealed pick slot.  
 Force Mains: HDPE DR 13.4 C-906 (WPR 130 psi) or PVC DR14 Class 200 C-900 (WPR 145 psi).

WATER SYSTEM

Distribution Lines (12 inch and Smaller): PVC, DR 18, Class 150, C 900 push on, gasketed water pipe OR HDPE, DR 17, C 906 blue or blue stripe.  
 Fittings: Mechanical joint (MJ), class 250 Or 350 S.S.B. type, ductile iron pipe fittings for PVC. Polyethylene fittings may be MJ or fused fittings, ductile iron pipe sizes. All HDPE pipe shall utilize MJ adapters when connection to Ductile Iron Fittings. Mega Lug restrained fittings shall be used along with concrete thrust blocking. Valves may be FL x MJ when connected at fittings.  
 Gate Valves: Mueller bonded resilient seat, non raising stem type, mechanical joint, fuse bonded epoxy coated inside and out, 2 inch operating nut, opens counter clockwise.  
 Fire Hydrants: Kennedy Guardian K81D, 5 1/4 Main Valve Fire hydrant (Painted Chrome Yellow)  
 Valve Box: Tyler 461S, or approved equal  
 Water Meter Box: Regular Meter Box - East Jordan product number 32234002A04, round 18 in. x 18 in. and DFW Plastics Inc. plastic blue cover product number (18AMR-49). Commercial Meter Box - See Details if required.  
 Water Service Laterals: 1 inch poly line shall be CT size and 2 inch poly lines shall be IP size. Service lateral saddles shall be shown on the City of Hobbs Standard Details. Commercial Services: See Meter Box Details if required.

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JAMES OWENSBY  
TIGER TRAIL SUBDIVISION  
GENERAL NOTES & MATLS. SPECS.

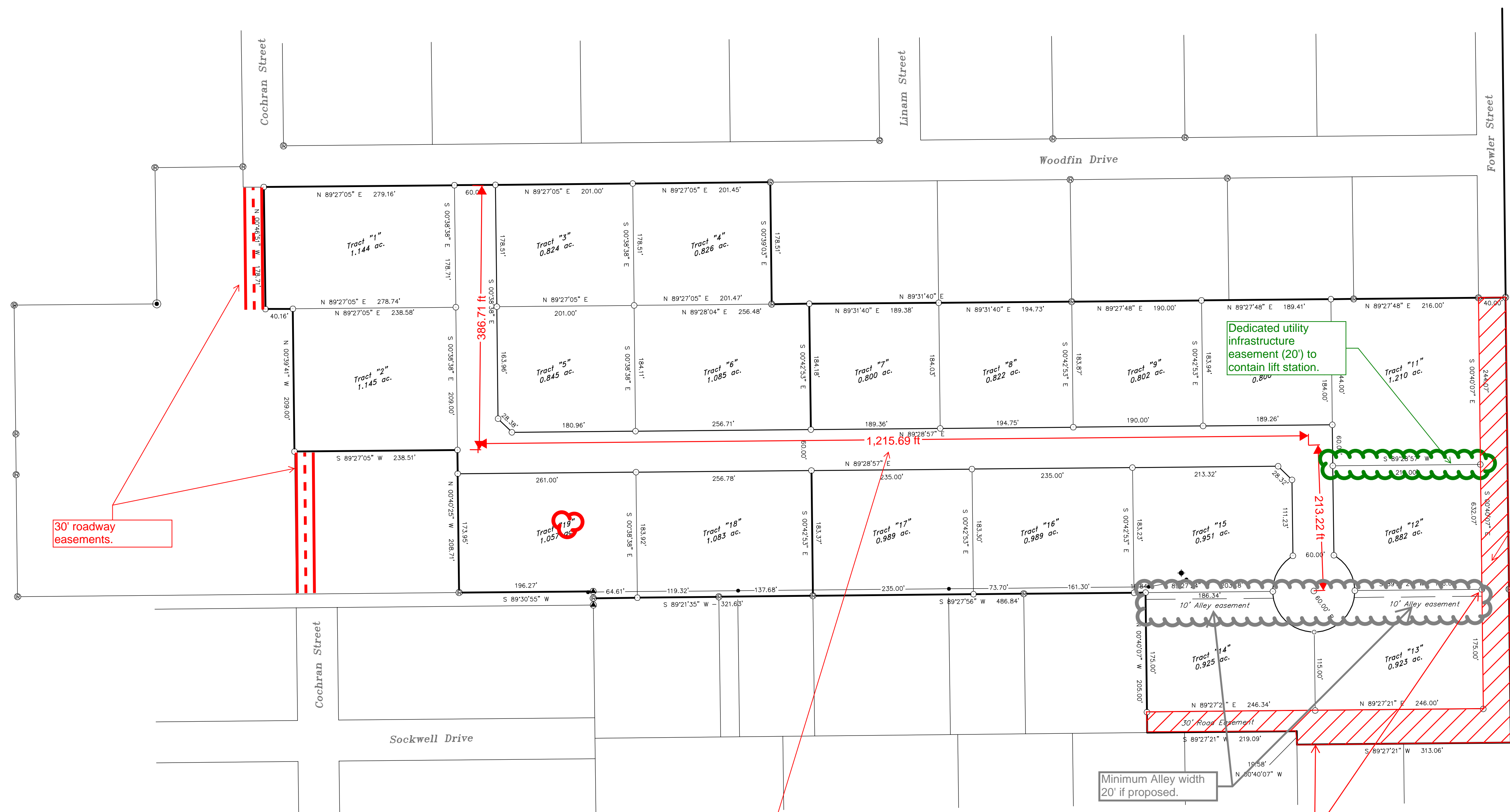


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SHEET  
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A2 of A4 sheets

ORIGINAL DRAWING SIZE 24" X 36"

TIGER TRAIL SUBDIVISION  
SECTION 10, TOWNSHIP 18 SOUTH, RANGE 38 EAST,  
N.M.P.M., LEA COUNTY, NEW MEXICO.



**CERTIFICATE OF APPROVAL OF EXEMPTION TO SUBDIVISION REGULATIONS BY LEA COUNTY**

PURSUANT TO LEA COUNTY REGULATIONS, SECTION 7.5 (1997) THE PLAT AND CLAIM OF EXEMPTION MEET THE CRITERIA FOR THE DIVISION OF LAND RESULTING ONLY IN THE ALTERATION OF PARCEL BOUNDARIES WHERE PARCELS ARE ALTERED FOR THE PURPOSE OF INCREASING OR REDUCING THE SIZE OF CONTIGUOUS PARCELS AND WHERE THE NUMBER OF PARCELS IS NOT INCREASED AND IS APPROVED FOR A CLAIM OF EXEMPTION ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2014 AD.

LEA COUNTY, NEW MEXICO  
BY: \_\_\_\_\_  
MIKE GALLAGHER, COUNTY MANAGER  
STATE OF NEW MEXICO }  
COUNTY OF LEA } ss  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2014 BY MIKE GALLAGHER.  
MY COMMISSION EXPIRES \_\_\_\_\_

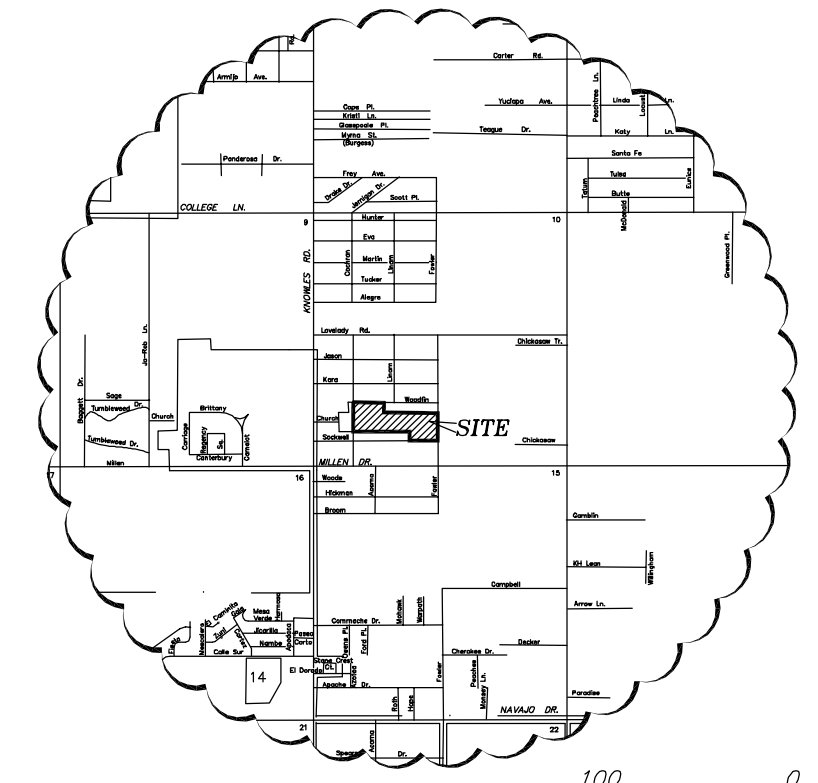
**CERTIFICATE OF MUNICIPAL SUMMARY PROCESS APPROVAL**

I, KEVIN ROBINSON, THE DULY APPOINTED DEVELOPMENT DIRECTOR FOR THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING PLAT IN THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, WAS REVIEWED AND DEEMED COMPLIANT WITH THE MUNICIPAL SUMMARY PROCESS REGULATIONS ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2014.

KEVIN ROBINSON - DEVELOPMENT DIRECTOR  
ATTEST - JAN FLETCHER, CITY CLERK  
STATE OF NEW MEXICO }  
COUNTY OF LEA } ss  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2012 BY KEVIN ROBINSON AND JAN FLETCHER.  
MY COMMISSION EXPIRES \_\_\_\_\_  
NOTARY PUBLIC

- LEGEND**
- ⊗ - FIND 1/2" REBAR
  - - SET 1/2" REBAR
  - - FIND NAIL
  - ⦿ - FIND 4/2"
  - ◆ - ELEC. POLE
  - ♦ - WATER WELL
  - — — — — FENCE

**CERTIFICATE OF SURVEY**  
I HEREBY CERTIFY THIS PLAT TO BE A TRUE COPY OF A SURVEY MADE IN THE FIELD UNDER MY SUPERVISION AND MEETS THE REQUIREMENTS OF THE MINIMUM STANDARDS OF SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS. THIS IS A SURVEY PLAT OF A SUBDIVISION AND IS BEING SUBDIVIDED UNDER THE CITY OF HOBBS SUMMARY REVIEW PROCESS AND LEA COUNTY CLAIM OF EXEMPTION PROCESS. IN WITNESS WHEREOF, I HEREBY SET MY HAND AND AFFIX MY OFFICIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2016.  
Gary L. Jones,  
N.M. P.S. 7977



Note on St. Plane Coord.4



Dedicate & Develop per LC Code 16.2

Block length of 1,815' exceeds LC Code maximum of 1,320' and requires a variance from MC 16.16.040 allowing a maximum block length of 880'.

Provide egress to other public street at 1 of these locations.

Minimum Alley width 20' if proposed.

30' roadway easements.

Dedicated utility infrastructure easement (20') to contain lift station.

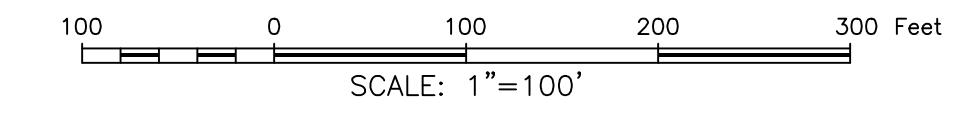
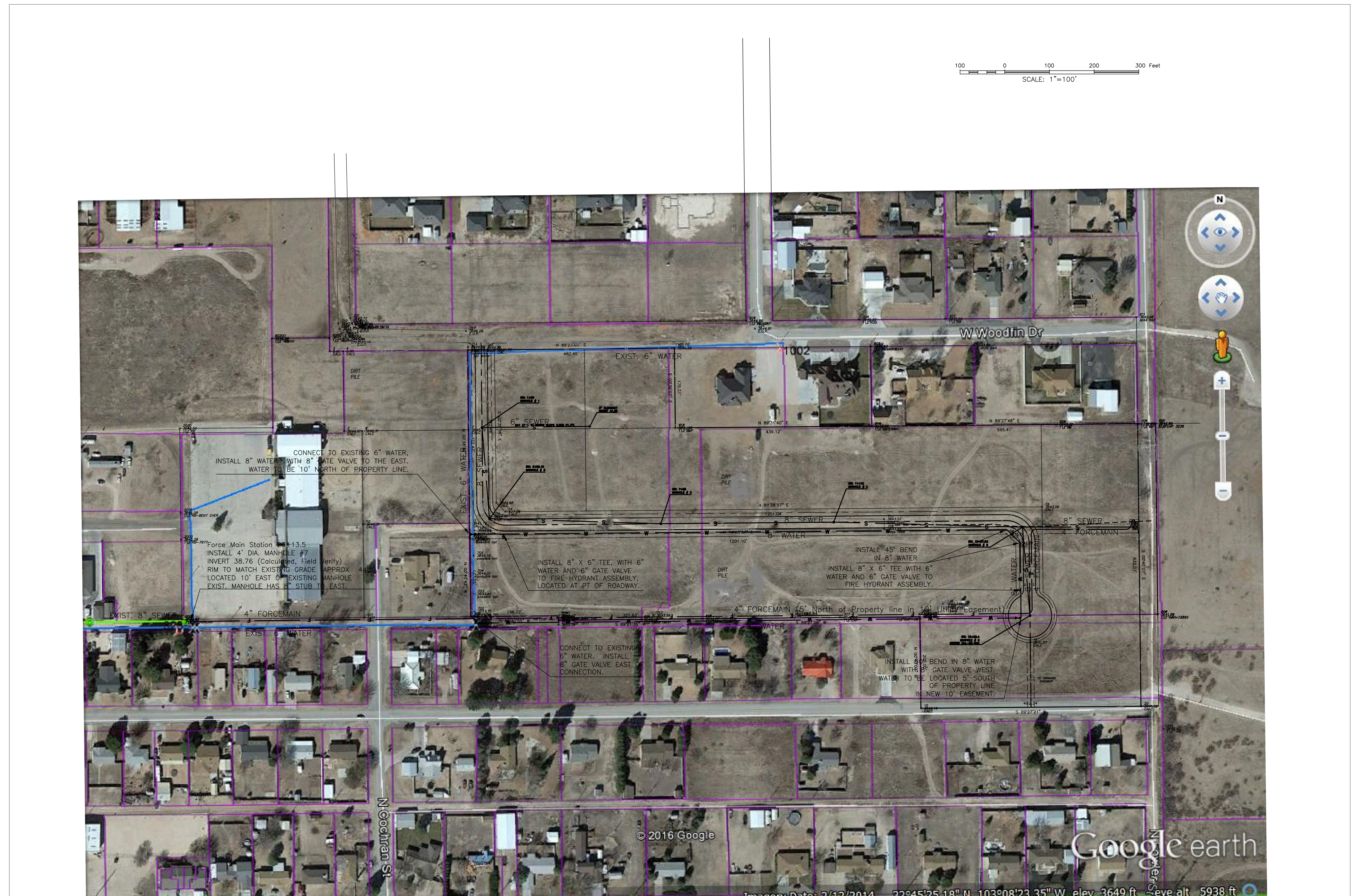
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Prepared by:  
**BASIN SURVEYS**  
1120 N. West County Rd.  
808A, New Mexico 88240  
Ph: (575)393-7316 Fax: (575)392-2208

Title: TIGER TRAIL No. 2 Date: 04-01-16


STATE OF NEW MEXICO  
COUNTY OF LEA  
FILED

\_\_\_\_\_ 2016  
AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M  
AND RECORDED IN BOOK \_\_\_\_\_  
PAGE \_\_\_\_\_  
PAT CHAPPELLE, LEA COUNTY CLERK



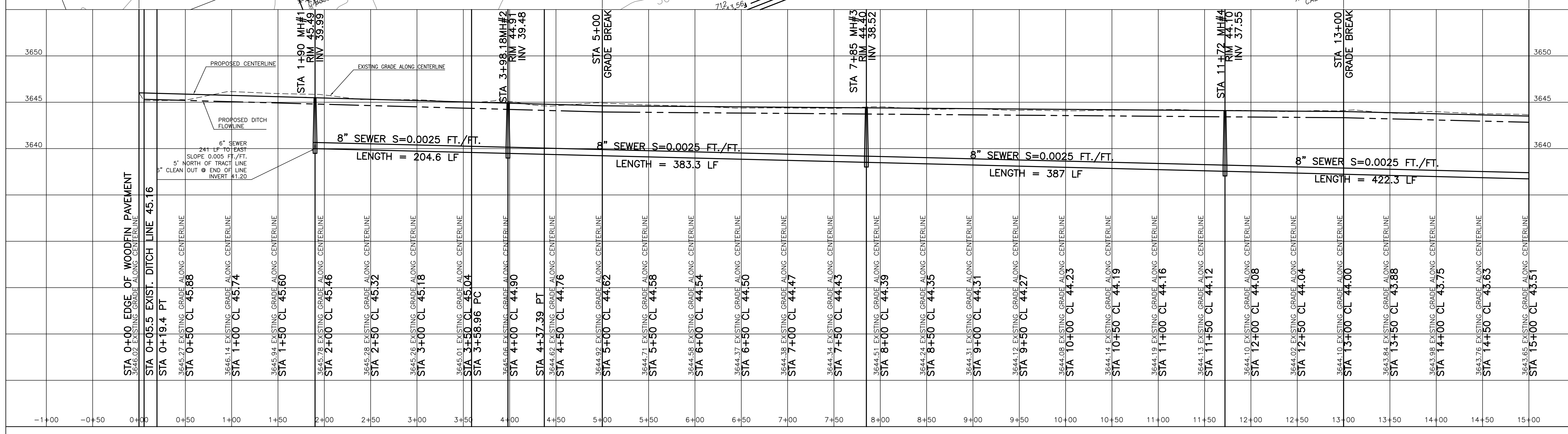
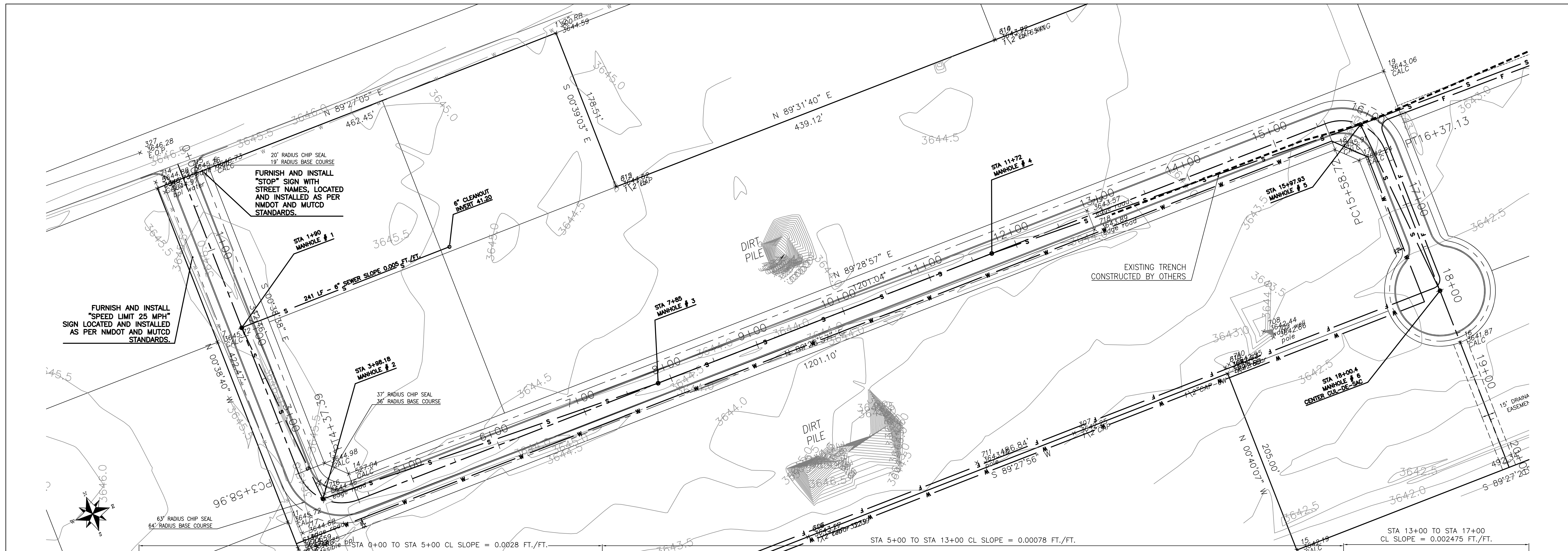
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**JAMES OWENSBY**  
**TIGER TRAIL SUBDIVISION**  
**UTILITY LAYOUT**


**the ROSS GROUP**  
 CONSULTING ENGINEERS  
 410 N. DAL PASO  
 HOBBS, NEW MEXICO 88240  
 (575) 392-7918 TELE.  
 (575) 392-9114 FAX

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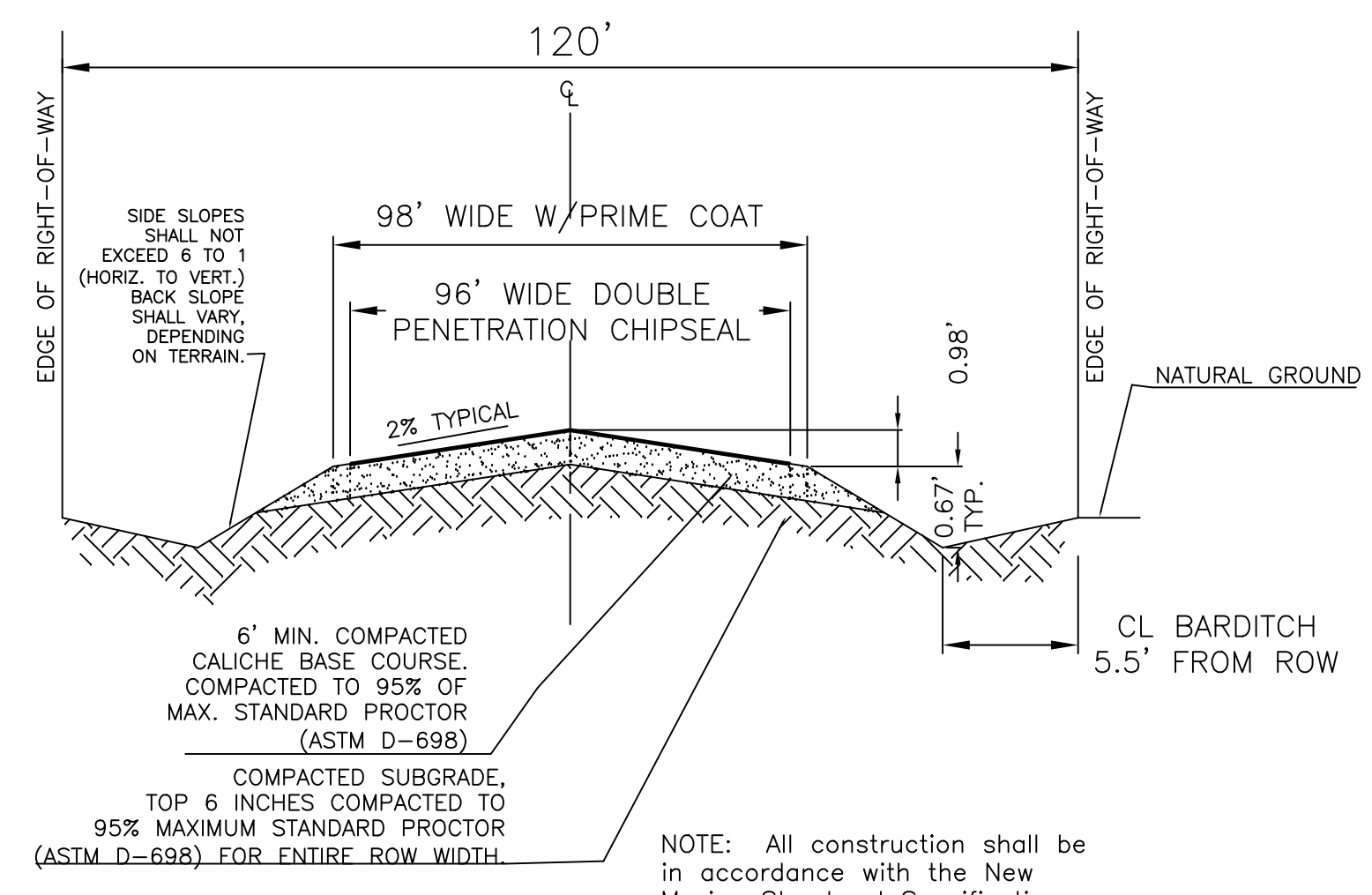
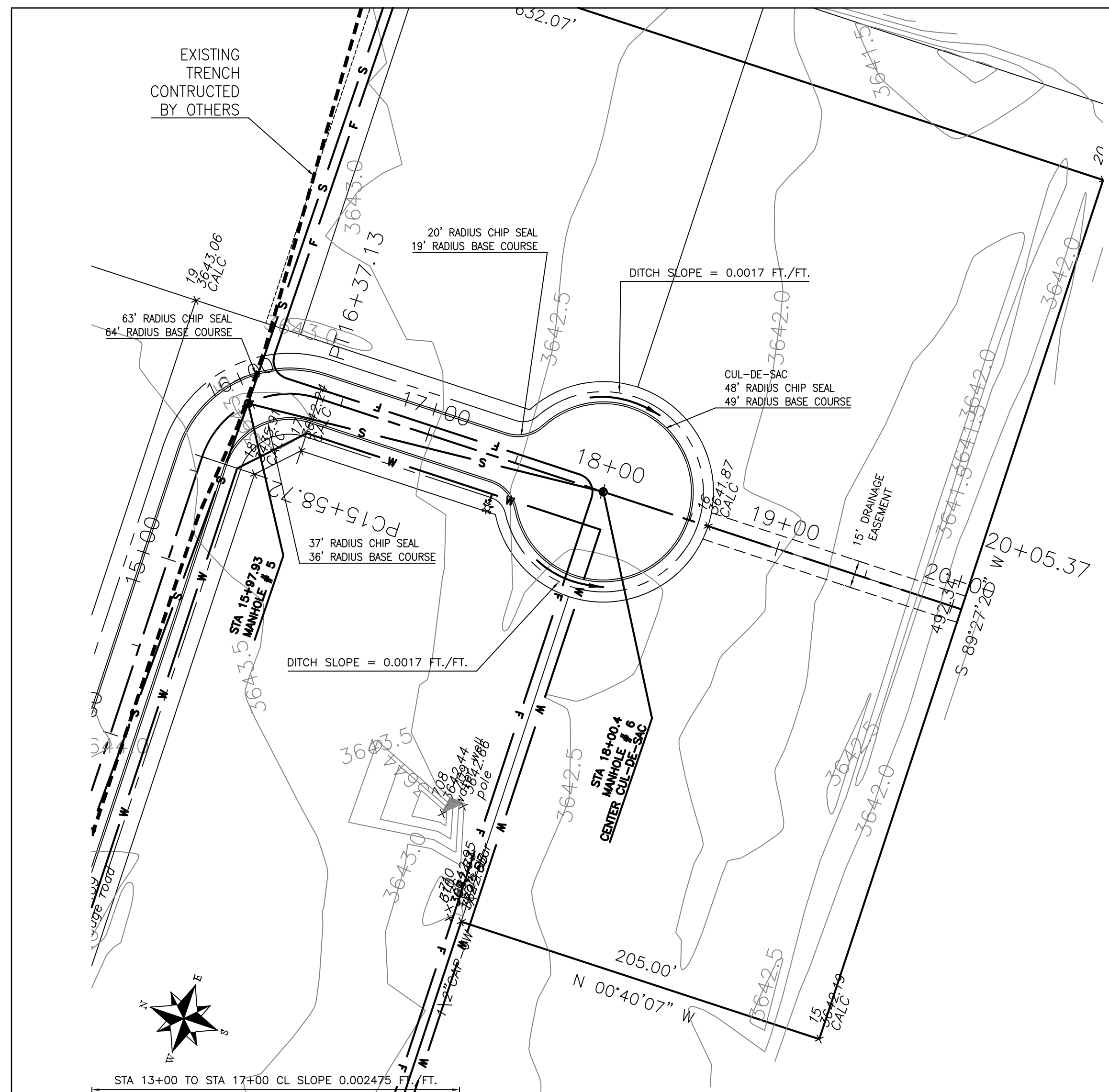
410 N. Dal Paso  
 Hobbs, New Mexico 88240  
 Telephone (575) 392-7918  
 Fax (575) 392-9114

TIGER TRAIL SUBDIVISION  
 LEA COUNTY, NEW MEXICO

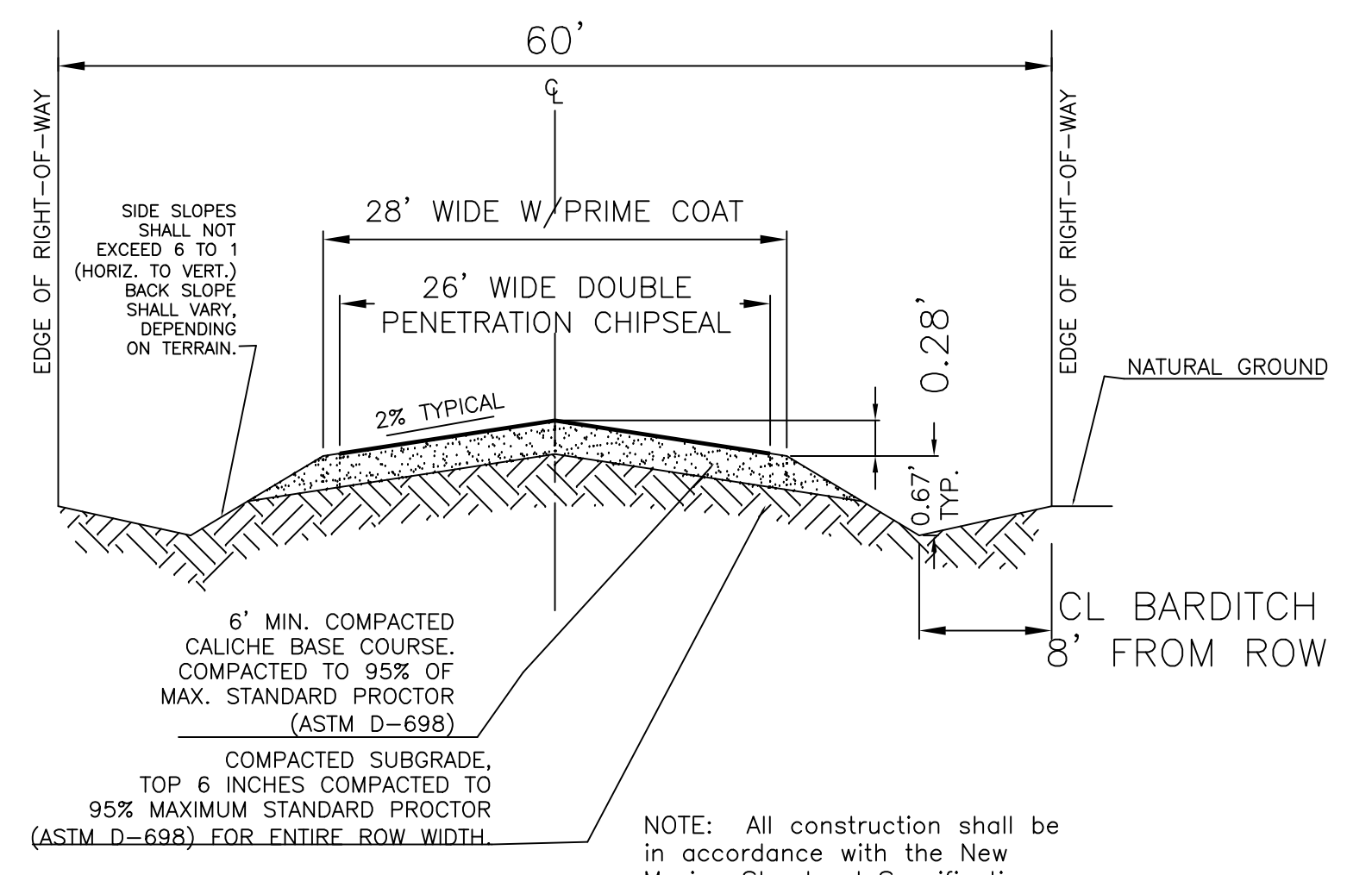
??? ROAD PLAN & PROFILE  
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 P2

ORIGINAL DRAWING 24" X 36"

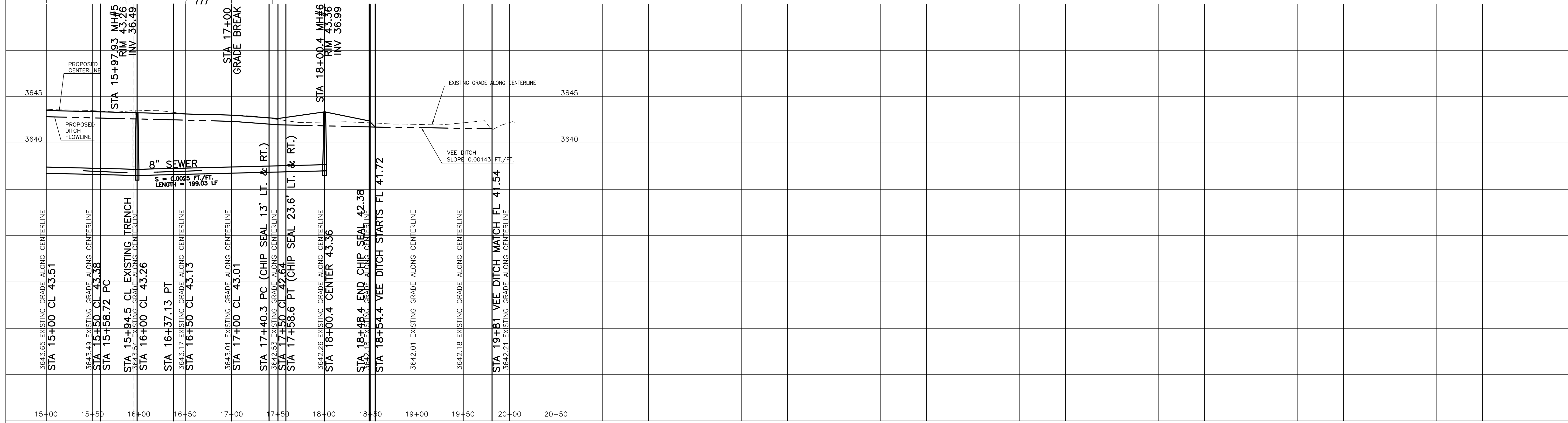


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TYPICAL CROSS SECTION OF COUNTY ROAD  
NOT TO SCALE

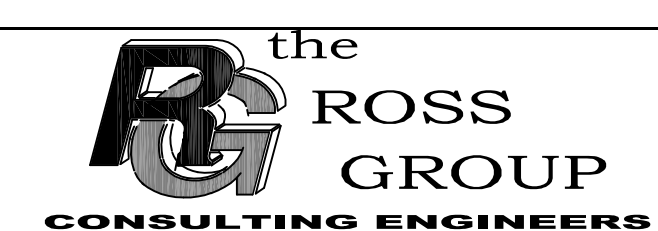
- NOTES:
- SEE PROFILE FOR PROPOSED CENTERLINE GRADE AT EVERY STATION AND HALF STATION.
  - PROPOSED BAR DITCH AND EDGE OF ROAD GRADES AT EVERY STATION WITH SLOPE CHANGES ARE ALSO INCLUDED IN PROFILE AND PLAN VIEW.



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SCALE:  
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410 N. Dal Paso  
Hobbs, New Mexico 88240  
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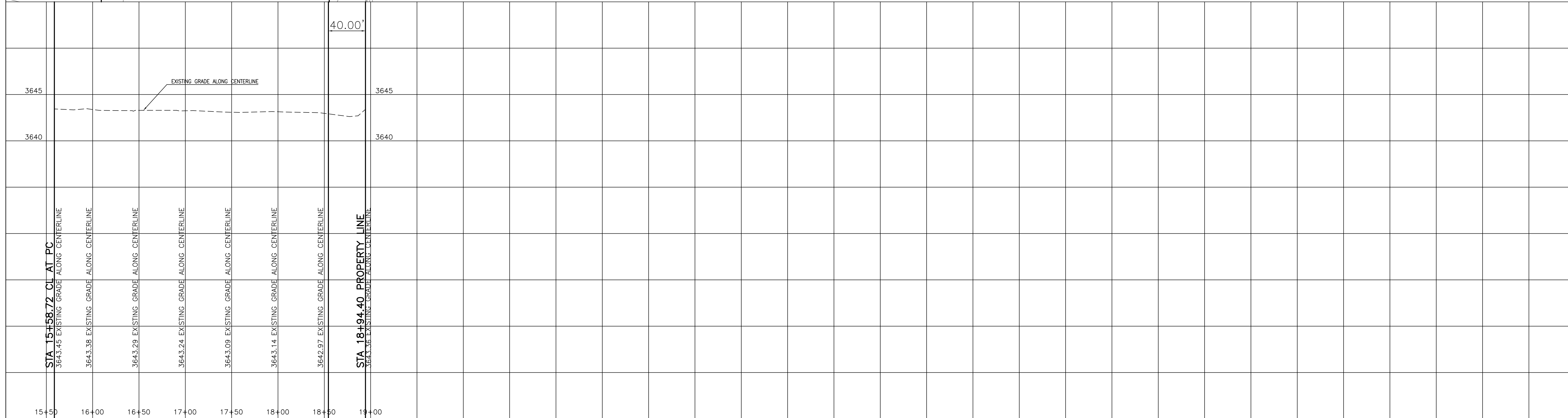
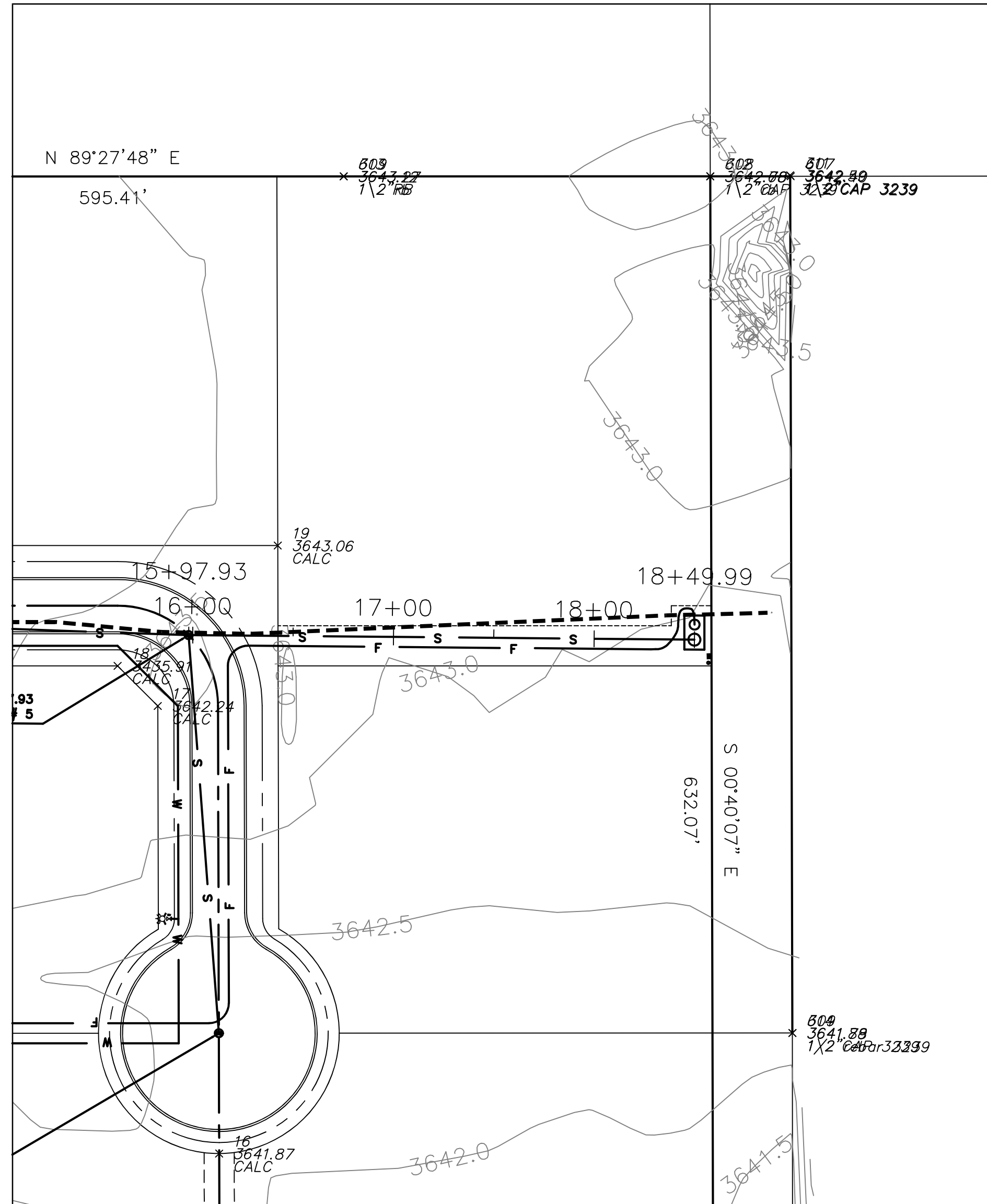
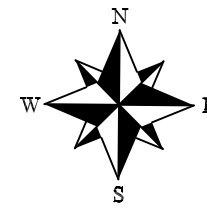
TIGER TRAIL SUBDIVISION  
LEA COUNTY, NEW MEXICO

??? ROAD PLAN & PROFILE  
STA 15+00 TO STA 20+00

SHEET P1 OF P2

ORIGINAL DRAWING 24" X 36"





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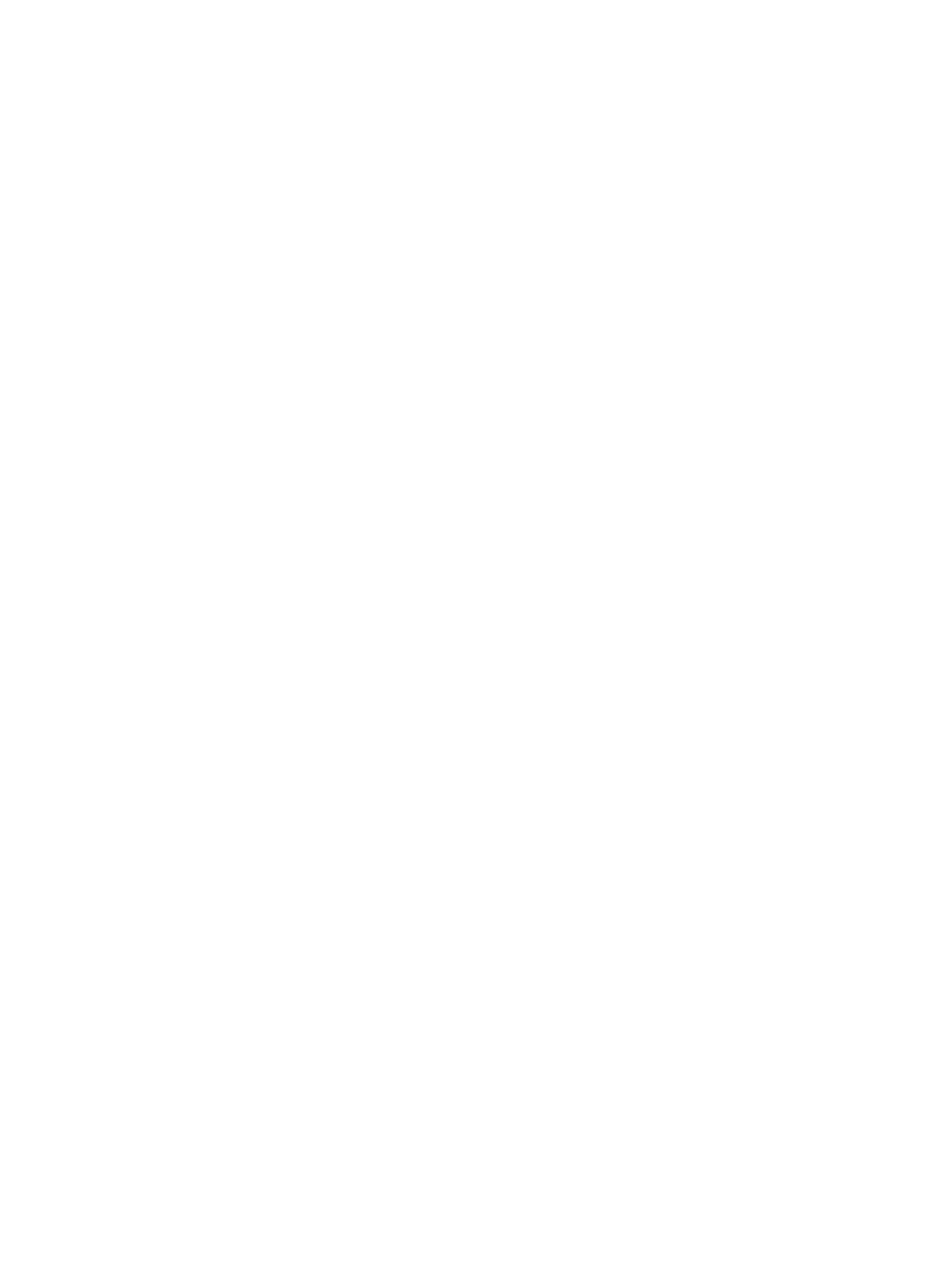
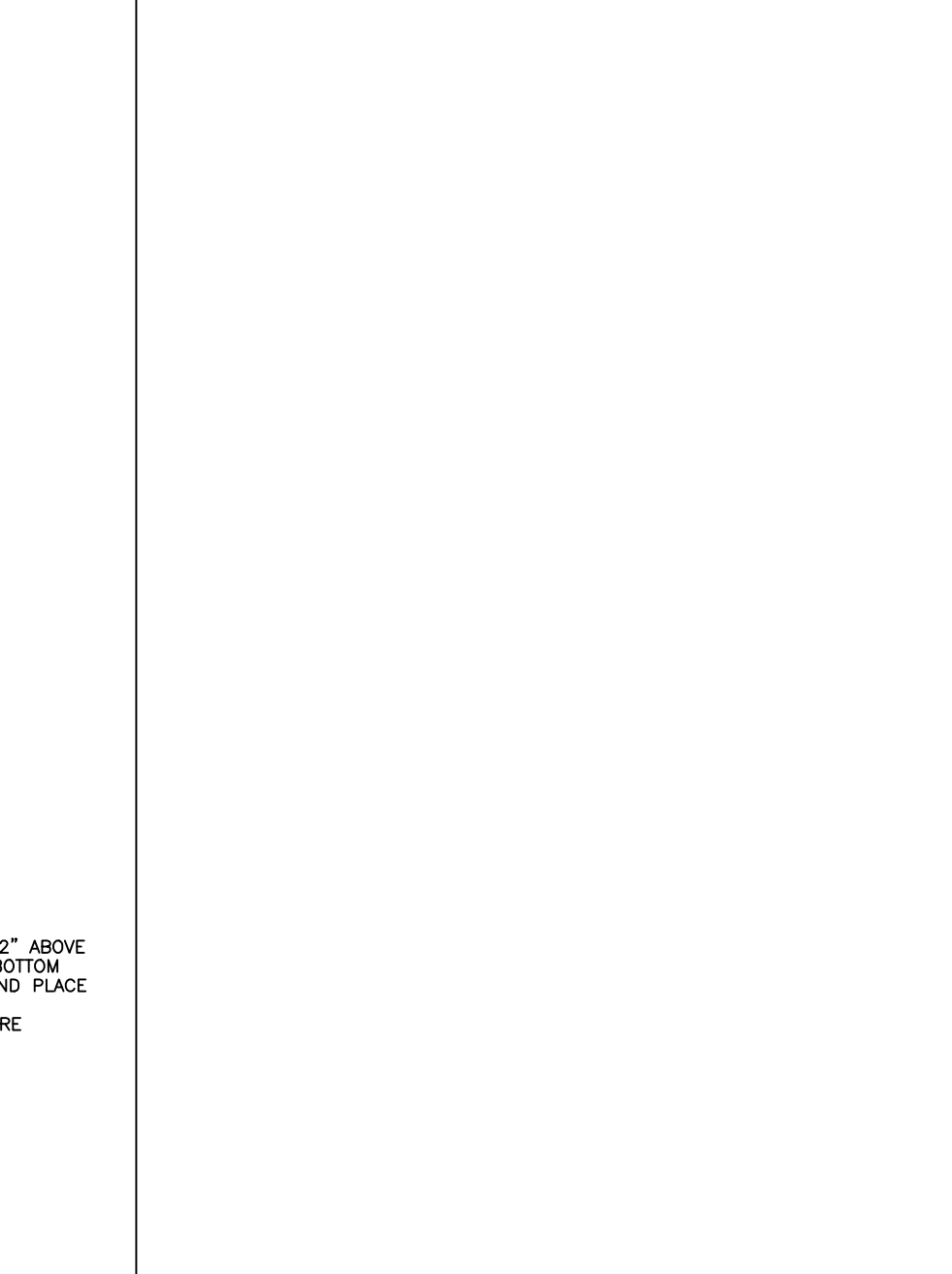
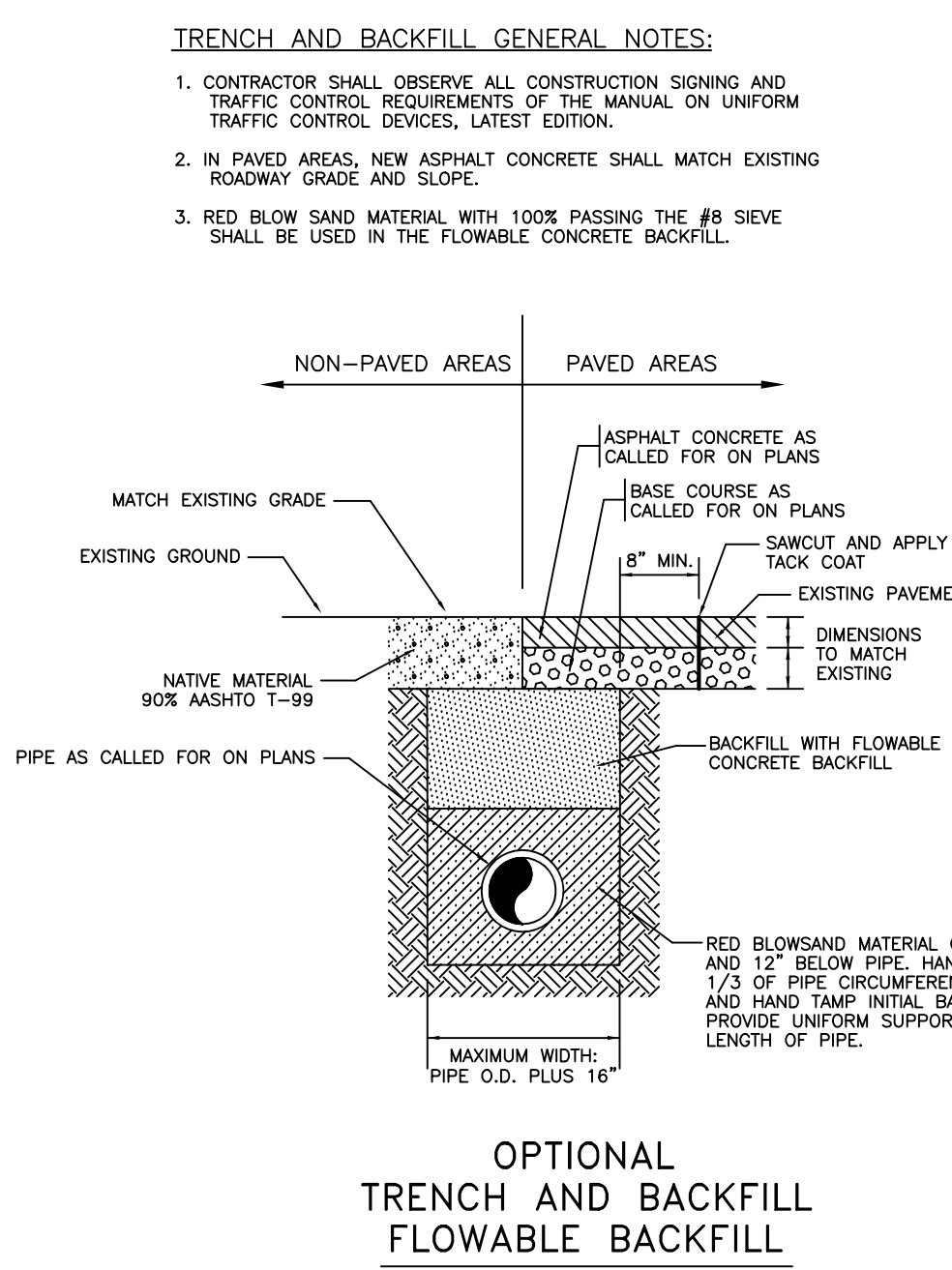
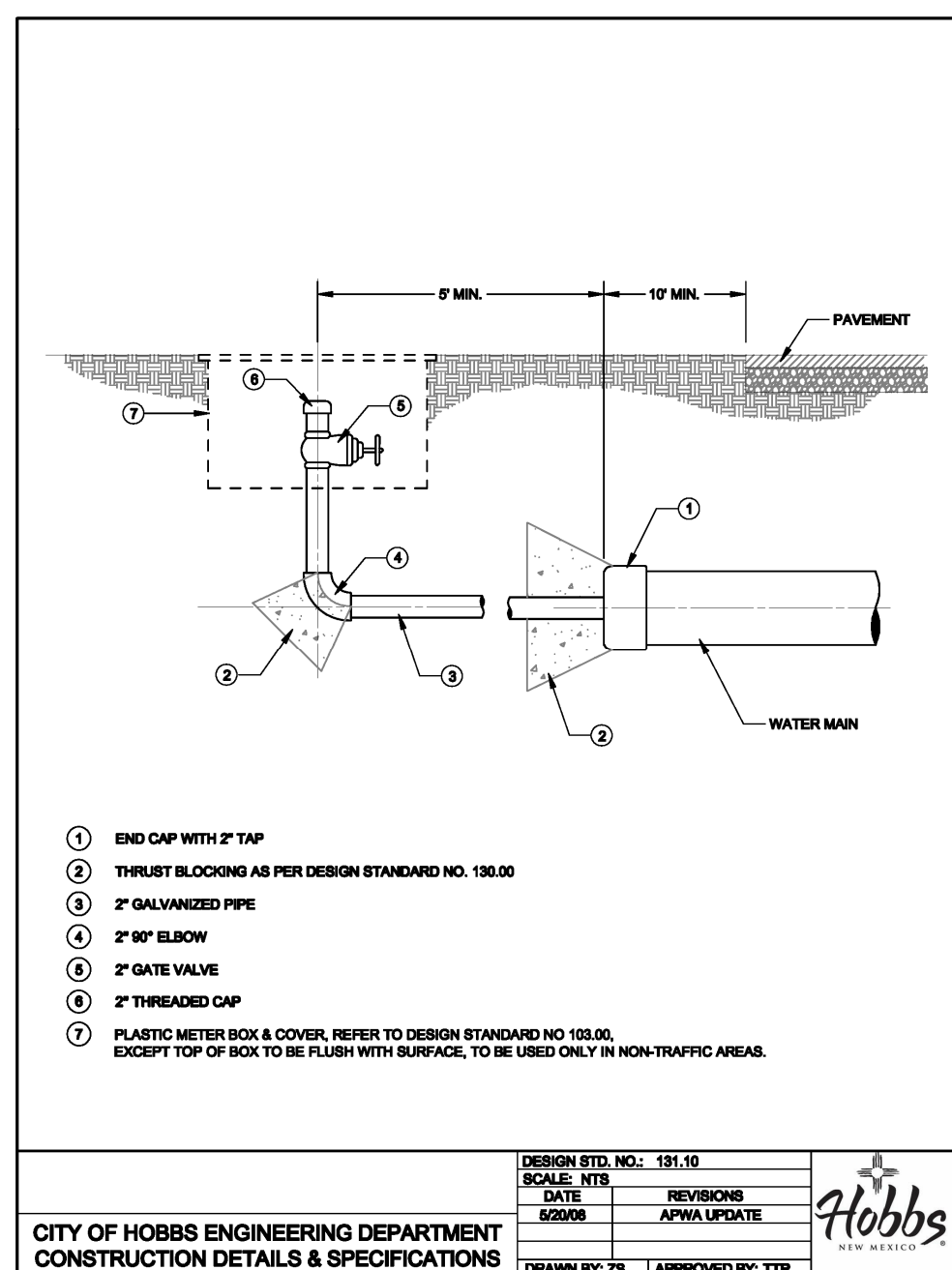
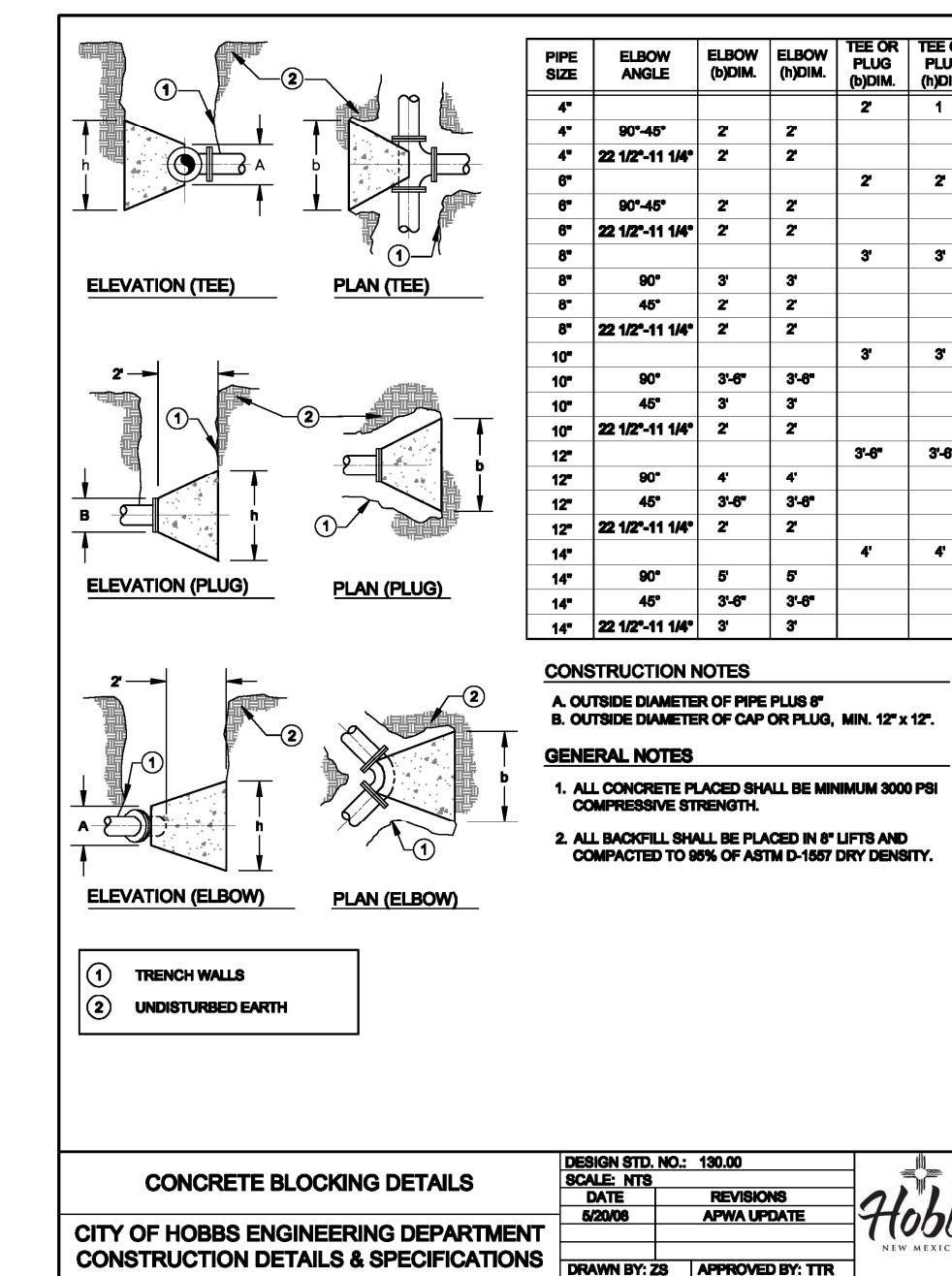
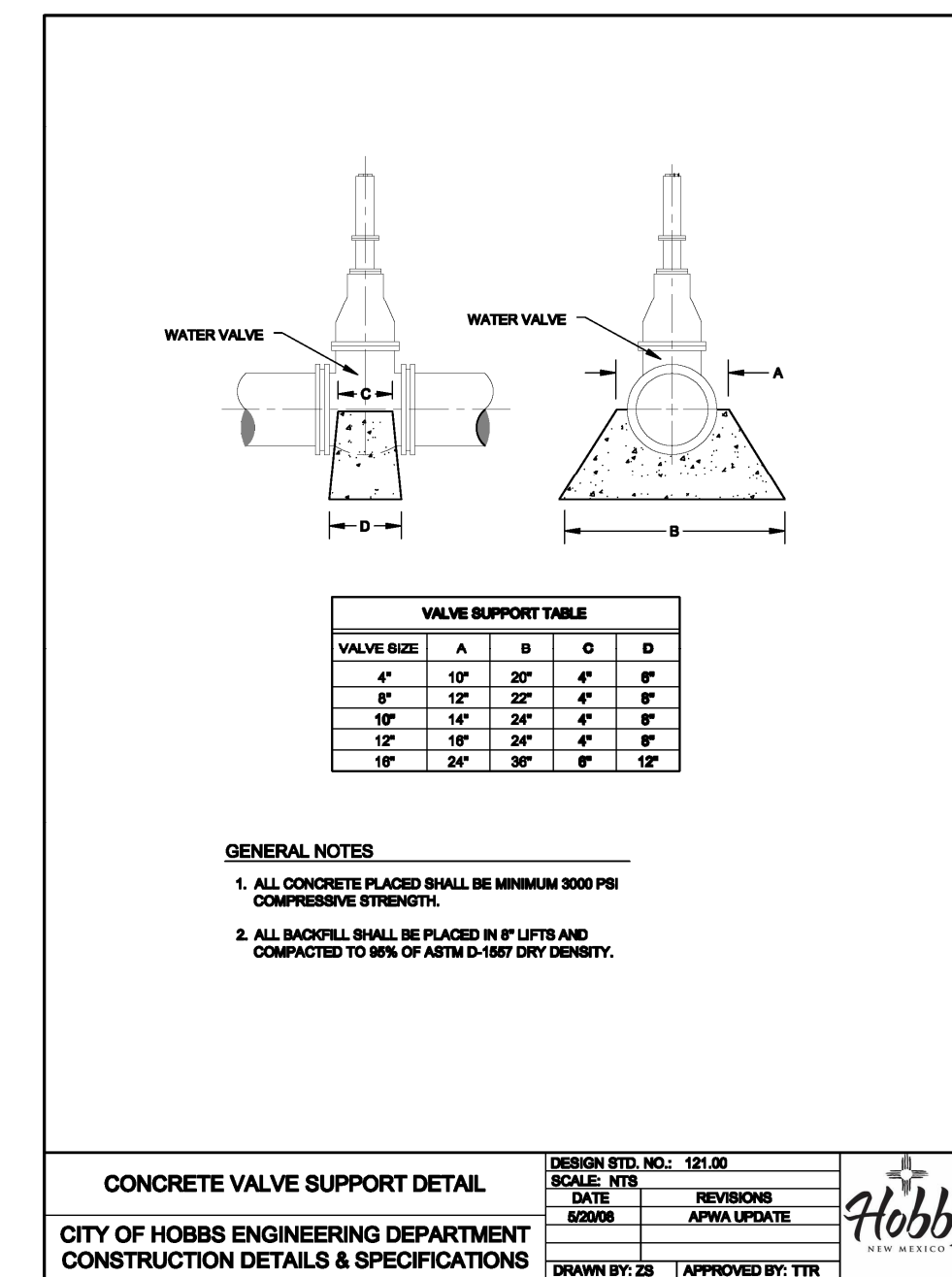
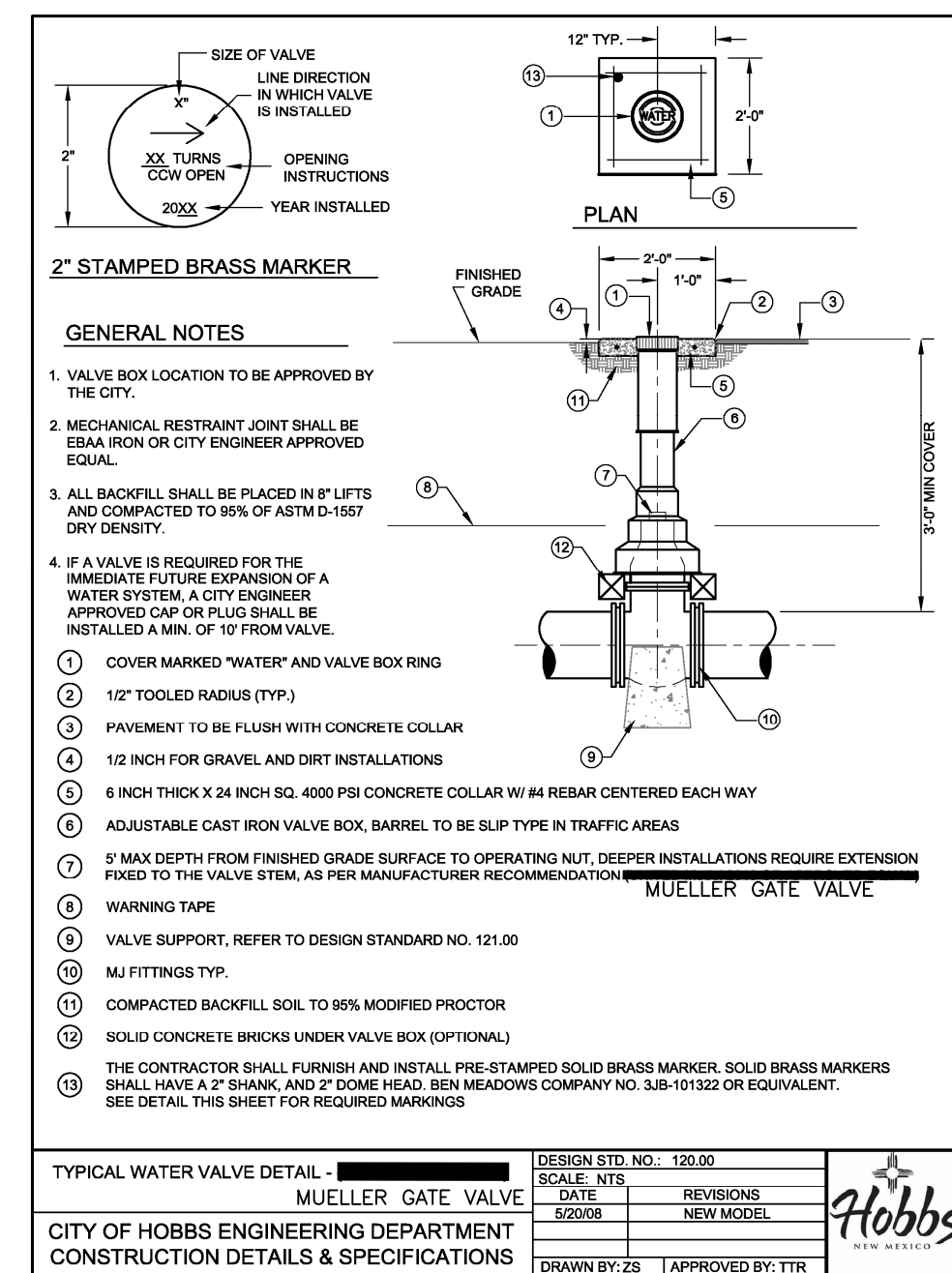
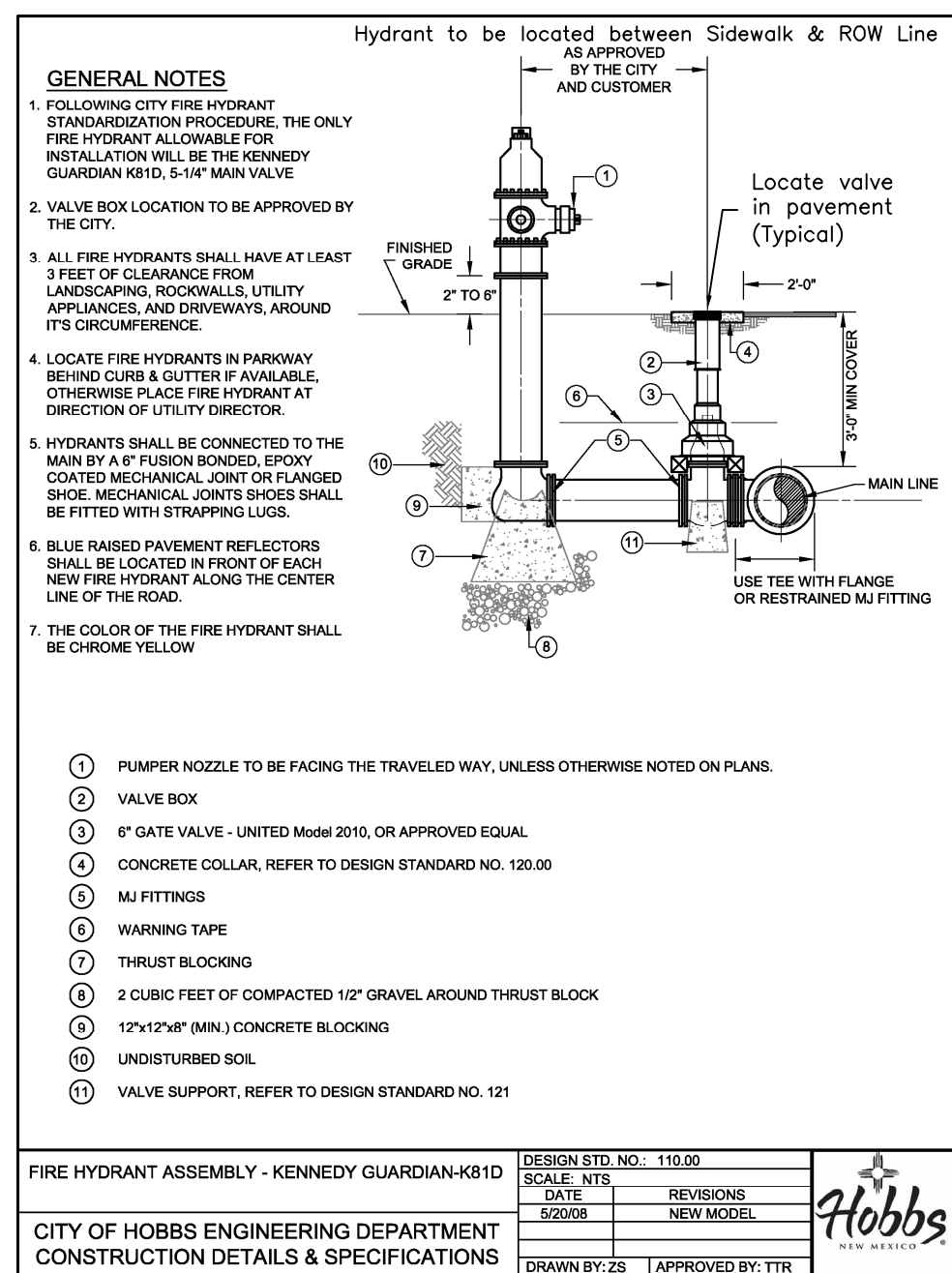
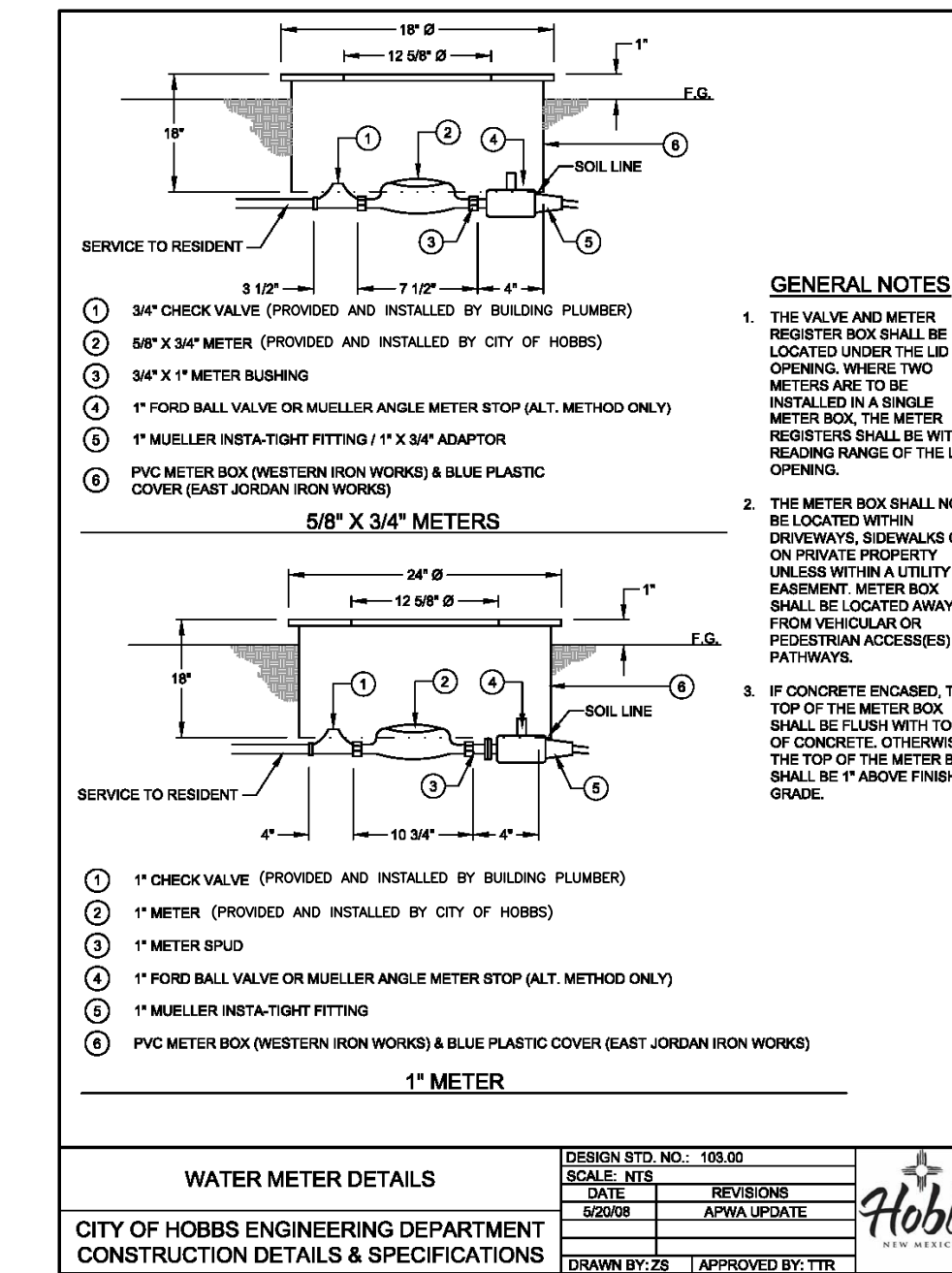
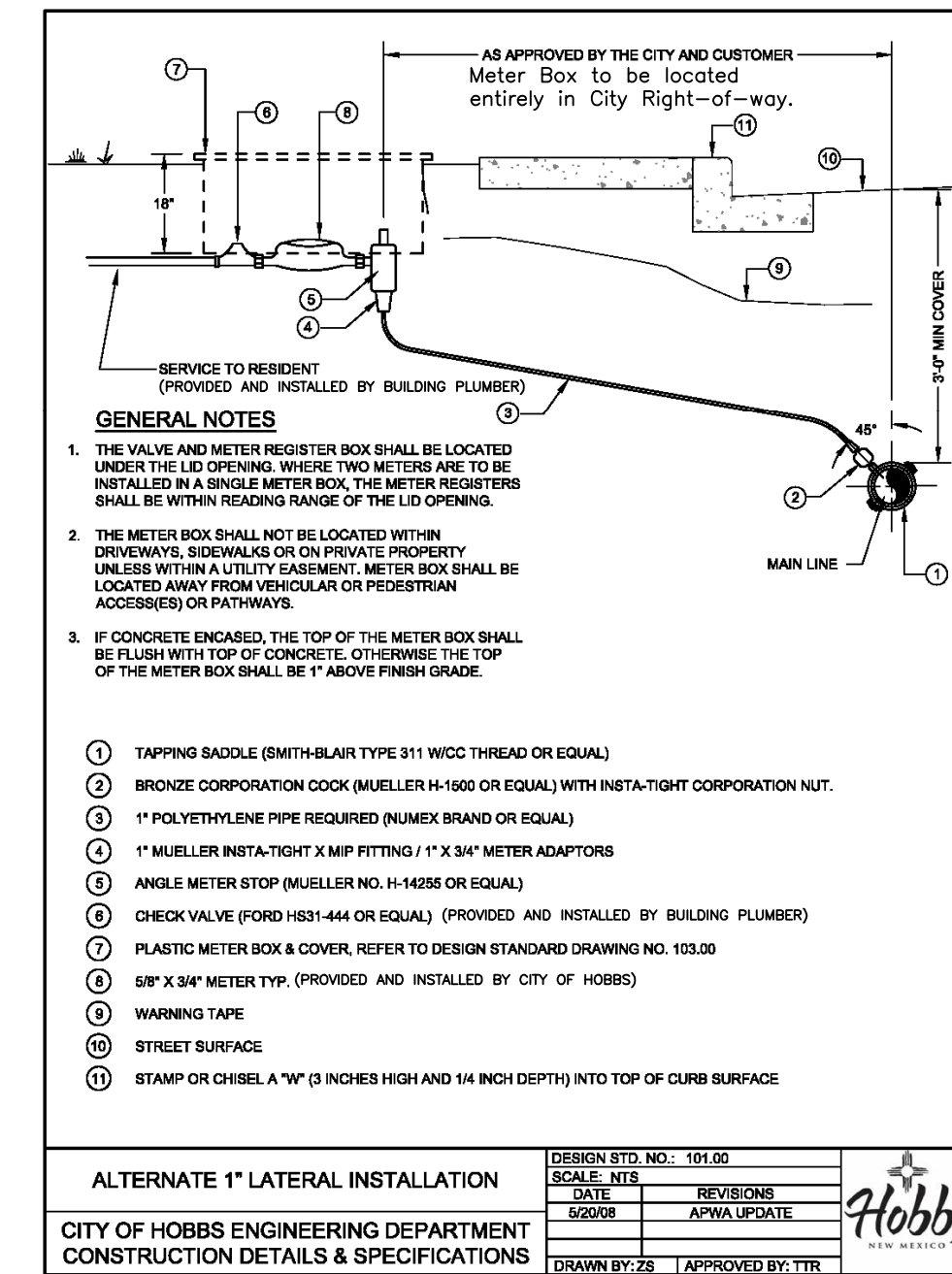
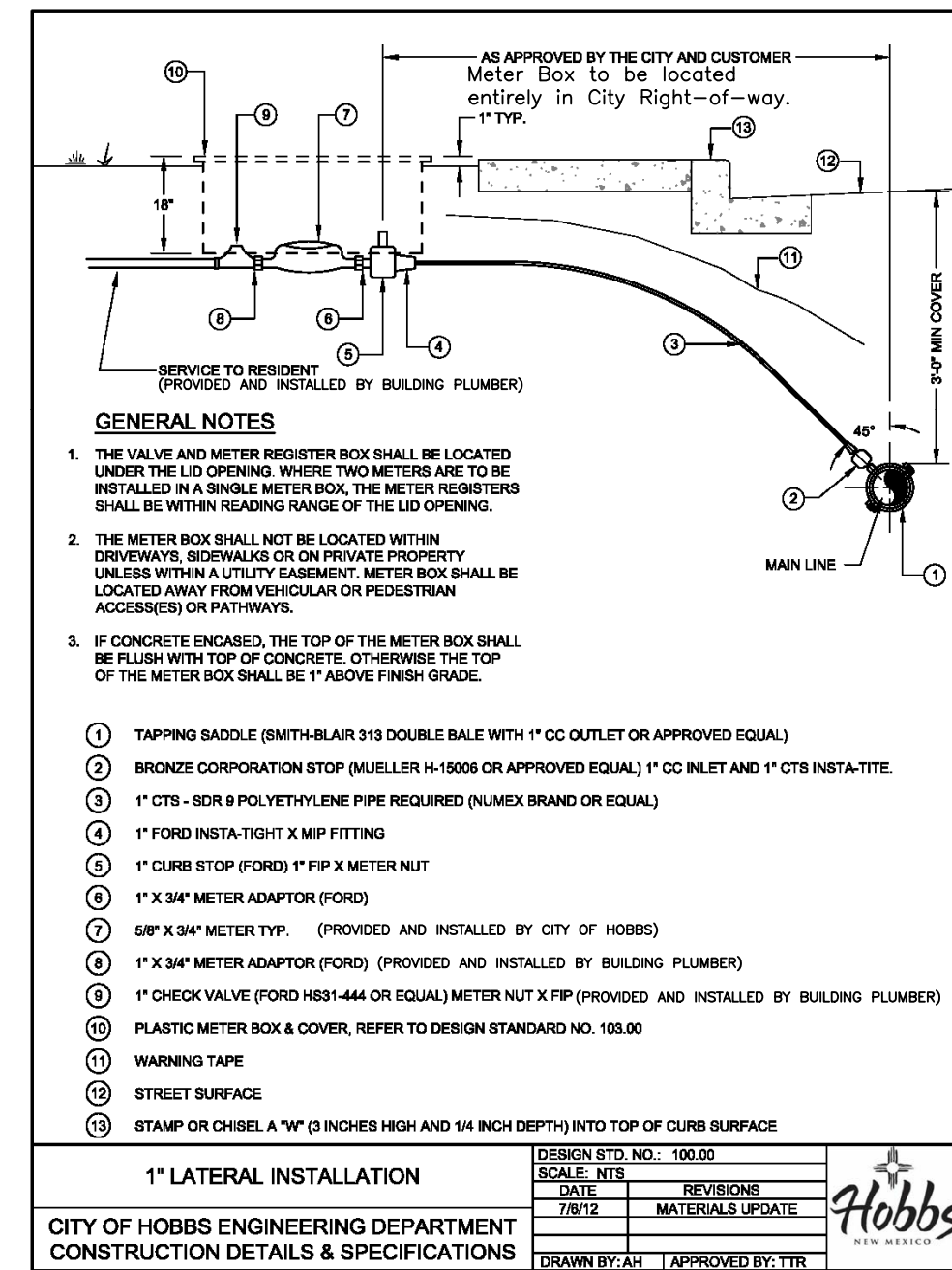
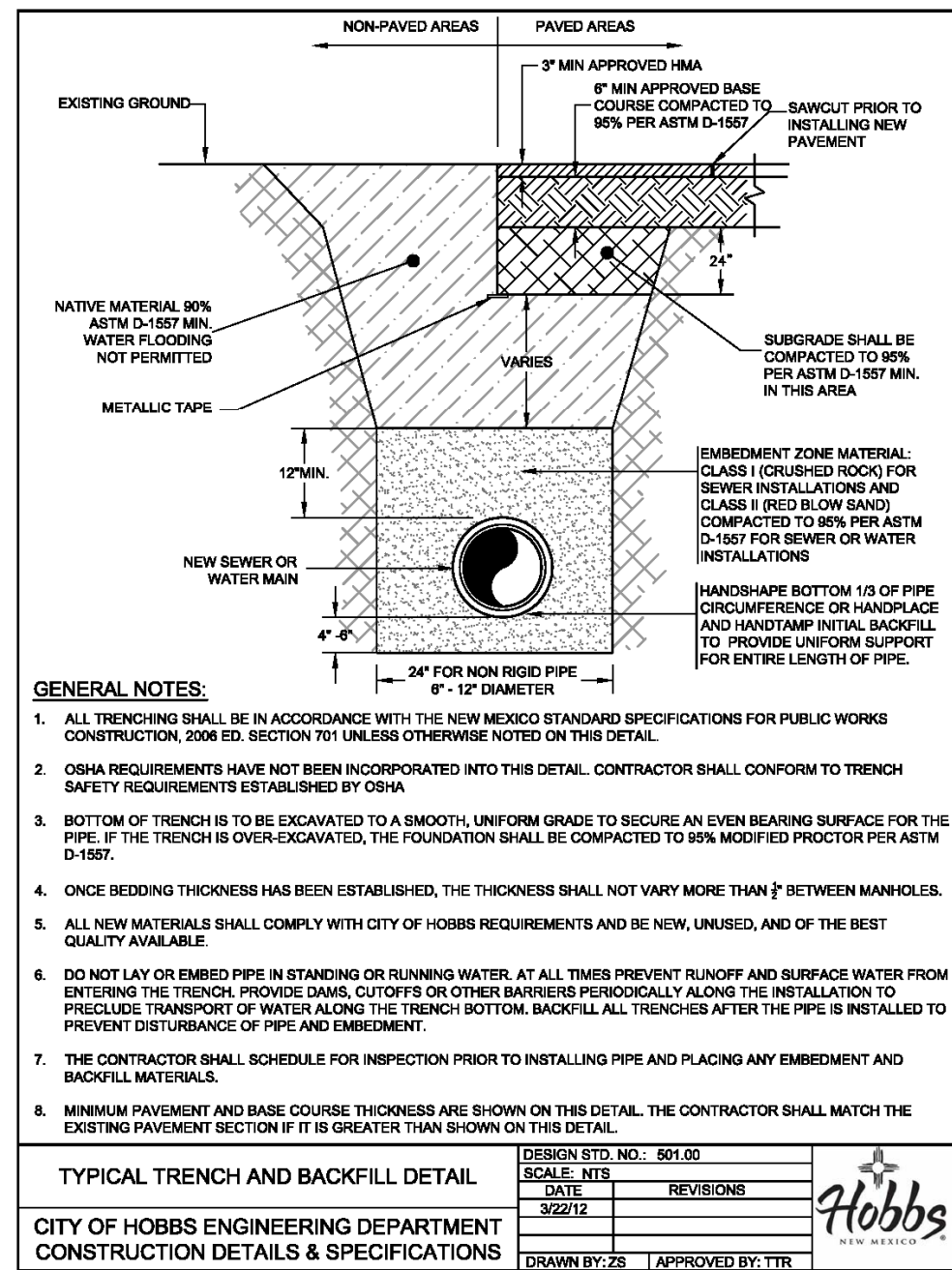
410 N. Dal Paso  
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TIGER TRAIL SUBDIVISION  
 LEA COUNTY, NEW MEXICO

CL ROAD EXTENDED TO EAST PLAN & PROFILE  
 STA 15+58.72 TO 18+94.40

SHEET  
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 S1

ORIGINAL DRAWING 24" X 36"



ORIGINAL DRAWING SIZE 24" X 36"

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JAMES OWENSBY  
TIGER TRAIL SUBDIVISION  
WATER DETAILS

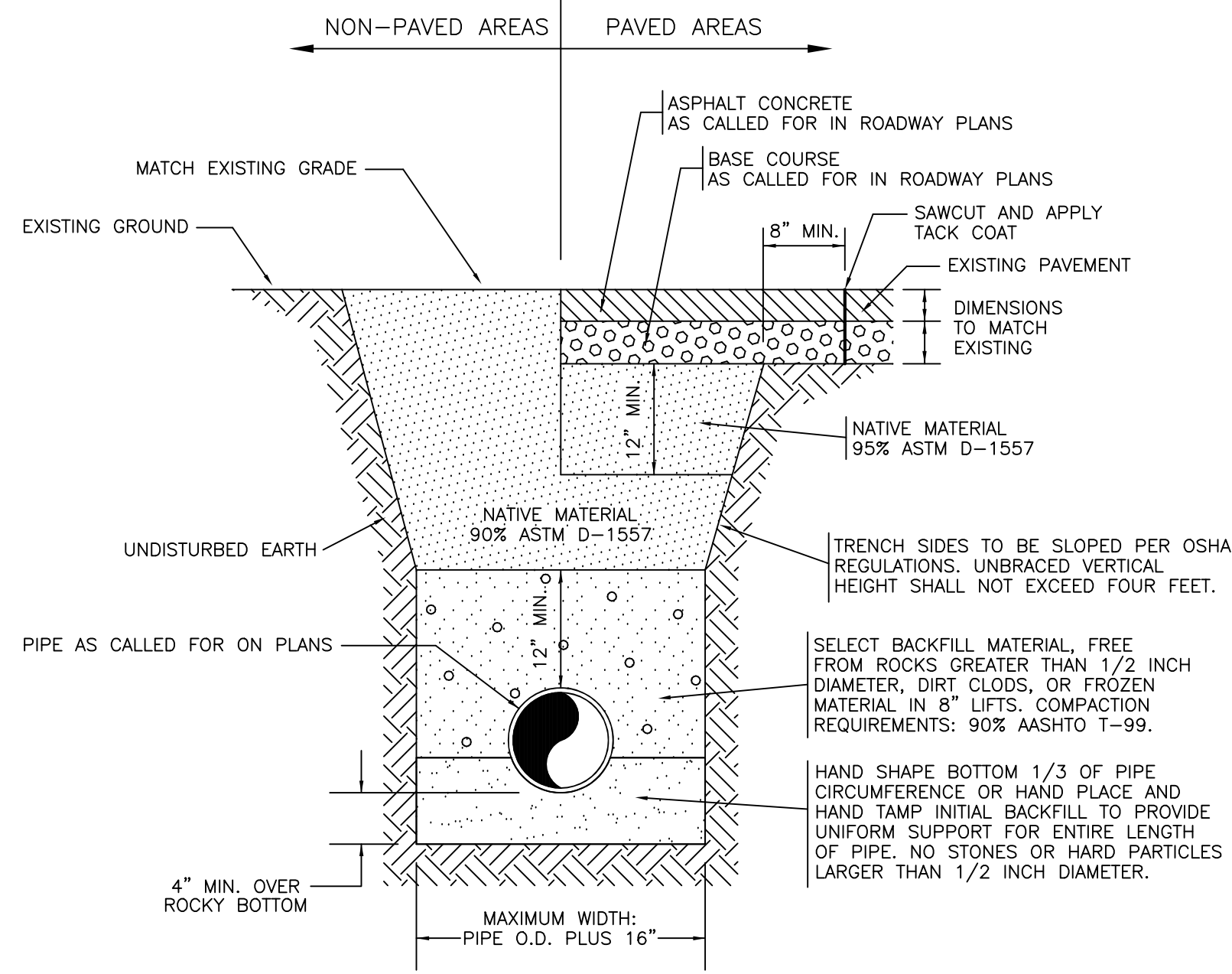
the ROSS GROUP  
CONSULTING ENGINEERS  
410 N. DAL PASO  
HOBBES, NEW MEXICO 88240  
(575) 392-7918 TELE.  
(575) 392-9114 FAX

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WATER

SHEET  
**W1**  
W1 of W1 sheets

**TRENCH AND BACKFILL GENERAL NOTES:**

- CONTRACTOR SHALL OBSERVE ALL CONSTRUCTION SIGNING AND TRAFFIC CONTROL REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- IN PAVED AREAS, NEW ASPHALT CONCRETE SHALL MATCH EXISTING ROADWAY GRADE AND SLOPE.

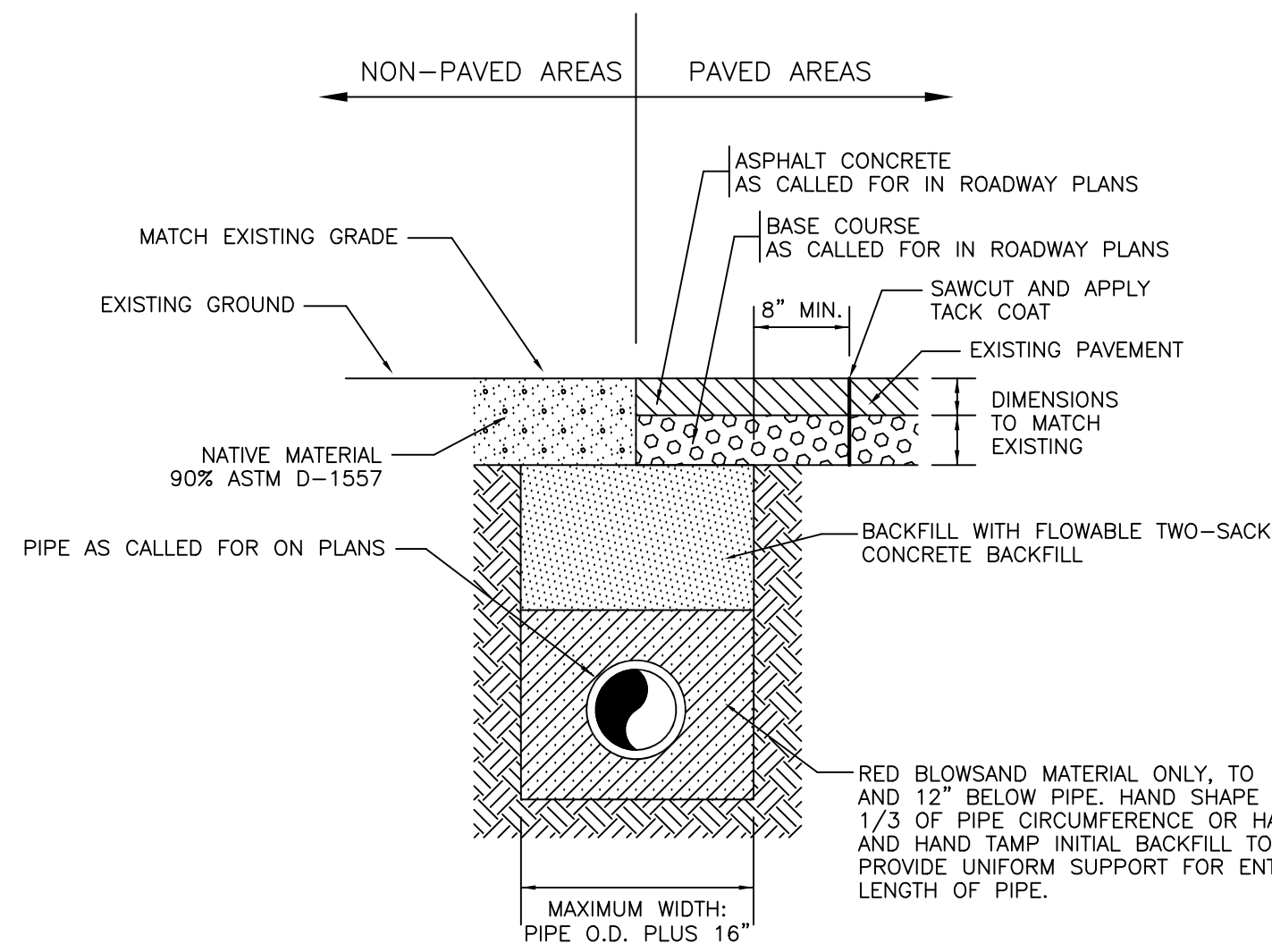


**TRENCH AND BACKFILL MECHANICAL COMPACTION**  
NOT TO SCALE

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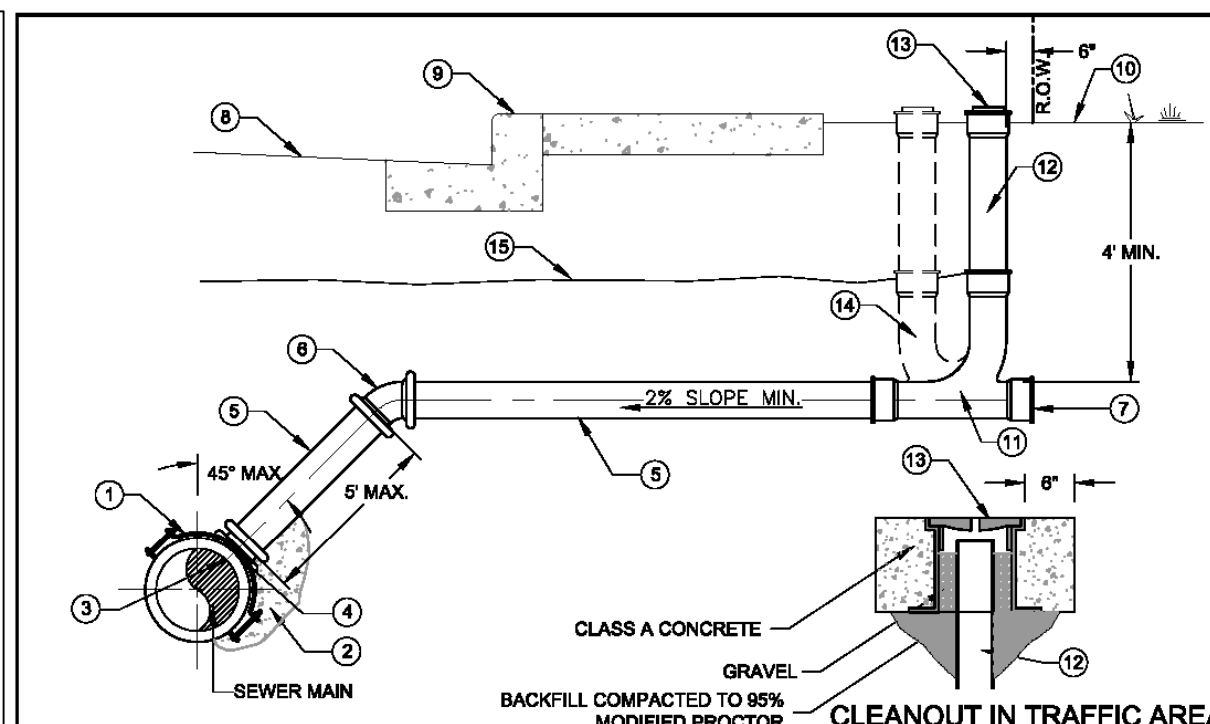
**TRENCH AND BACKFILL GENERAL NOTES:**

- CONTRACTOR SHALL OBSERVE ALL CONSTRUCTION SIGNING AND TRAFFIC CONTROL REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- IN PAVED AREAS, NEW ASPHALT CONCRETE SHALL MATCH EXISTING ROADWAY GRADE AND SLOPE.
- RED BLOW SAND MATERIAL WITH 100% PASSING THE #8 SIEVE SHALL BE USED IN THE FLOWABLE CONCRETE BACKFILL.



**TRENCH AND BACKFILL FLOWABLE BACKFILL**  
NOT TO SCALE

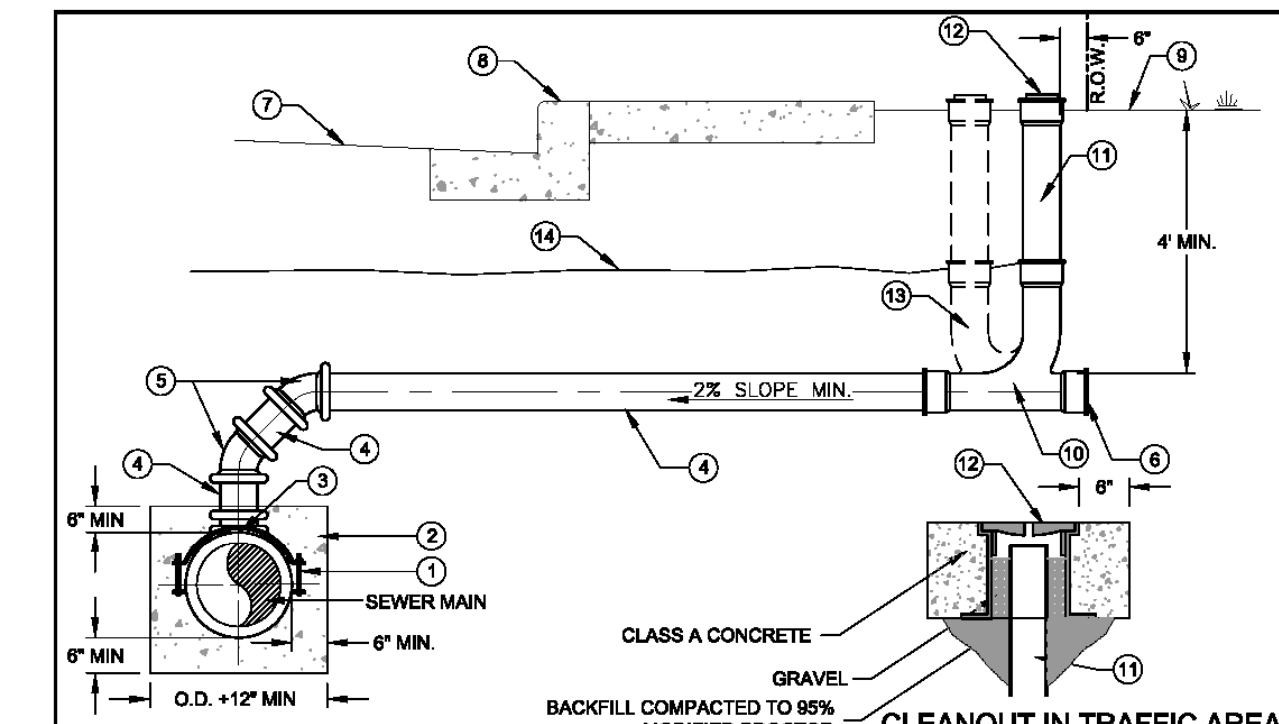
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**SEWER LATERAL DETAIL**

- GENERAL NOTES**
- ALL SERVICE LINES AND INSTALLATION SHALL CONFORM TO THE LATEST EDITION OF THE NEW MEXICO CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION.
  - SANITARY SEWER TAPPING TEE, USING PIONEER OR GENERAL ENGINEERING CO. SADDLES OR APPROVED EQUAL. DO NOT OVER TIGHTEN SADDLE BOLTS WHICH WOULD PREVENT FREE PASSAGE OF REQUIRED MANDREL. BACKFILL UNDER SERVICE WITH MIN. 1 CUBIC FOOT OF P.C. CONCRETE (SACKCRETE OR EQUAL ALLOWABLE).
  - SERVICE LINE SHALL NOT PROTRUDE INTO SEWER MAIN.
  - CORE DRILLED USING FOWLER QUICK-WAY DRILL SYSTEM, OR PILOT HOLE CUTTER SYSTEM, OR APPROVED EQUAL.
  - 4" SERVICE LINE, CAST IRON SOIL PIPE (SERVICE WEIGHT), PVC SCHEDULE 40, OR ABS SCHEDULE 40
  - 22.5' OR 45' BEND
  - PLUG OR CAP
  - STREET SURFACE
  - STAMP OR CHISEL A "S" (3 INCHES HIGH AND 1/4 INCH DEPTH) INTO TOP OF CURB SURFACE AT EACH SERVICE LATERAL.
  - FINISHED GRADE
  - WYE
  - 4" PVC RISER
  - CONCRETE ENCASED TRAFFIC RATED SEWER CLEANOUT FRAME AND COVER ASSEMBLY (LBW LB 1240X-610A OR APPROVED EQUAL). PVC CAP IN NON TRAFFIC AREAS
  - OPTIONAL DOUBLE WYE ASSEMBLY (4" PVC RISER & PVC CLEAN OUT)
  - WARNING TAPE

DESIGN STD. NO.: 200.00	SCALE: NTS	DATE: 12/20/11	REVISIONS: TRAFFIC RATED CLEANOUT
CITY OF HOBBS ENGINEERING DEPARTMENT		DRAWN BY: ZB APPROVED BY: TTR	

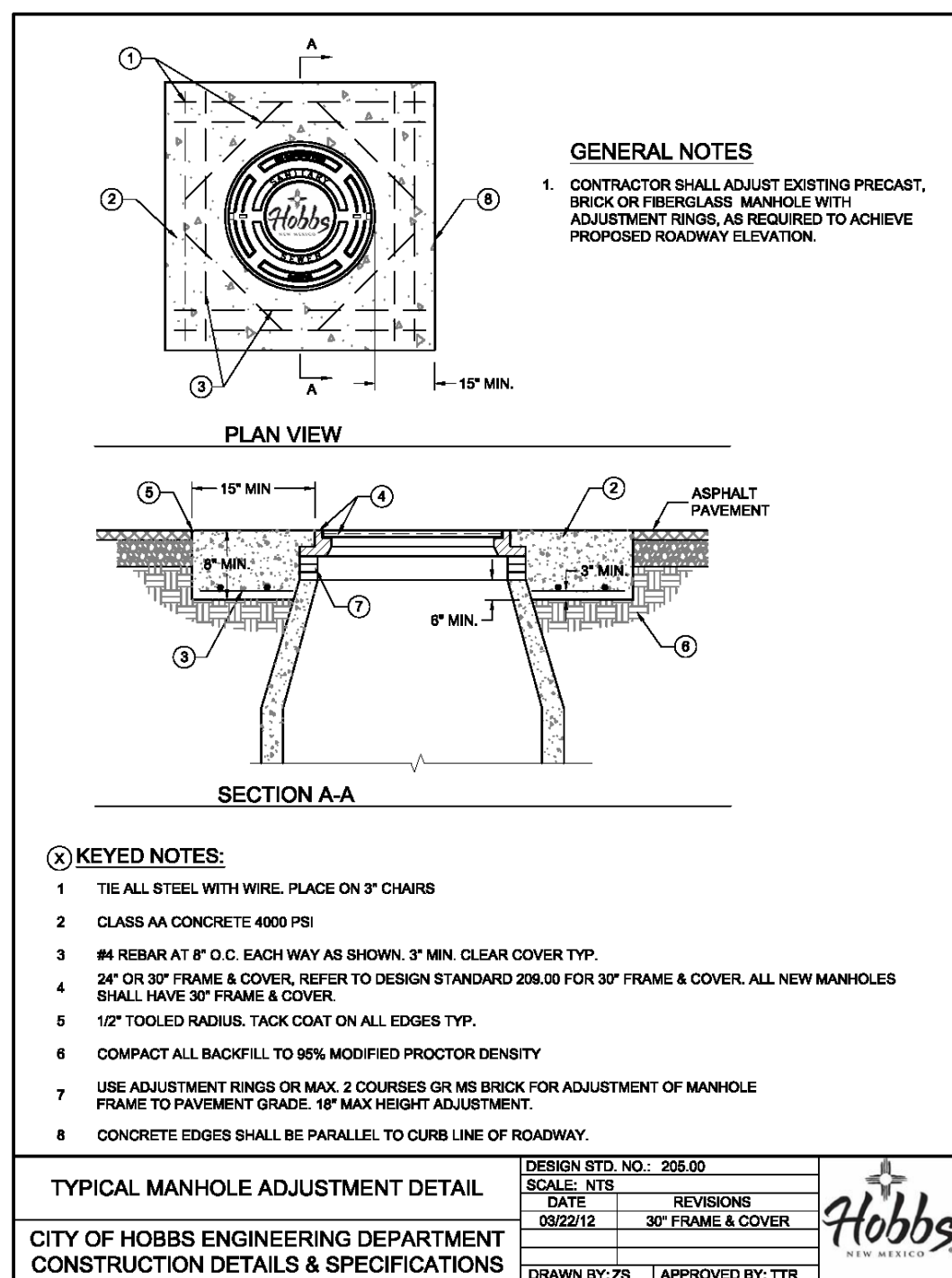


**ALTERNATE SEWER LATERAL DETAIL**

- GENERAL NOTES**
- ALL SERVICE LINES AND INSTALLATION SHALL CONFORM TO THE LATEST EDITION OF THE NEW MEXICO CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION.
  - SANITARY SEWER TAPPING TEE, USING PIONEER OR GENERAL ENGINEERING CO. SADDLES OR APPROVED EQUAL. DO NOT OVER TIGHTEN SADDLE BOLTS WHICH WOULD PREVENT FREE PASSAGE OF REQUIRED MANDREL. (RIGID PIPE ONLY)
  - INSTALL CONCRETE CRADLE ON TEE, 1-4" CENTERED HORIZONTALLY ALONG SEWER MAIN, VERTICAL AS SHOWN.
  - CORE DRILLED USING FOWLER QUICK-WAY DRILL SYSTEM, OR PILOT HOLE CUTTER SYSTEM, OR APPROVED EQUAL. SERVICE LINE SHALL NOT PROTRUDE INTO SEWER MAIN.
  - 4" SERVICE LINE, CAST IRON SOIL PIPE (SERVICE WEIGHT), PVC SCHEDULE 40, OR ABS SCHEDULE 40
  - 45' BEND
  - PLUG OR CAP
  - STREET SURFACE
  - STAMP OR CHISEL A "S" (3 INCHES HIGH AND 1/4 INCH DEPTH) INTO TOP OF CURB SURFACE AT EACH SERVICE LATERAL.
  - FINISHED GRADE
  - WYE
  - 4" PVC RISER
  - CONCRETE ENCASED TRAFFIC RATED SEWER CLEANOUT FRAME AND COVER ASSEMBLY (LBW LB 1240X-610A OR APPROVED EQUAL). PVC CAP IN NON TRAFFIC AREAS
  - OPTIONAL DOUBLE WYE ASSEMBLY (4" PVC RISER & PVC CLEAN OUT)
  - WARNING TAPE

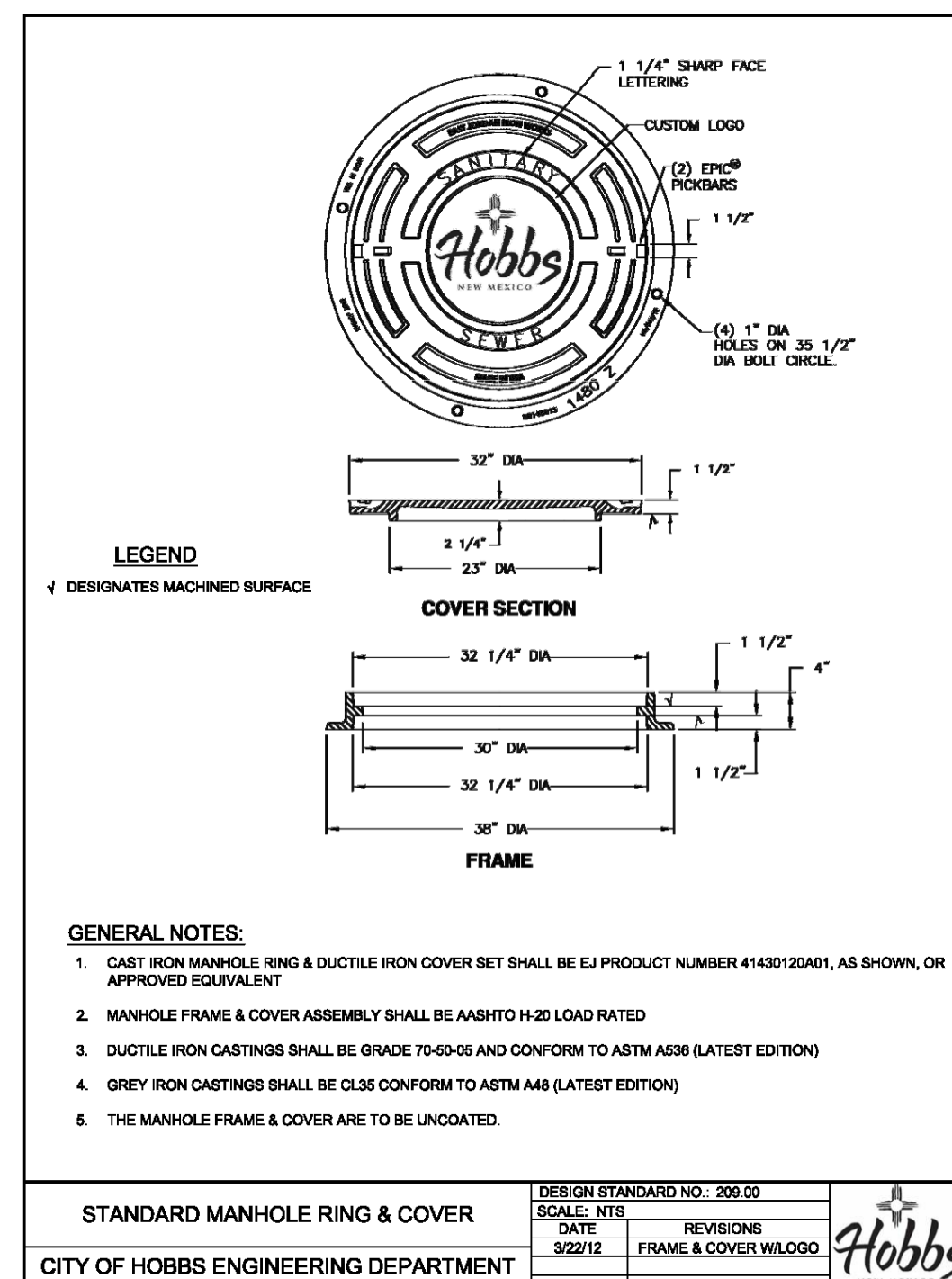
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CITY OF HOBBS ENGINEERING DEPARTMENT		DRAWN BY: ZB APPROVED BY: TTR	

SEWER LATERALS TO BE MID LOT FOR ALL TRACTS EXCEPT TRACTS 1, 3 & 4 (THESE TRACTS TO HAVE SERVICES FIELD DETERMINED).



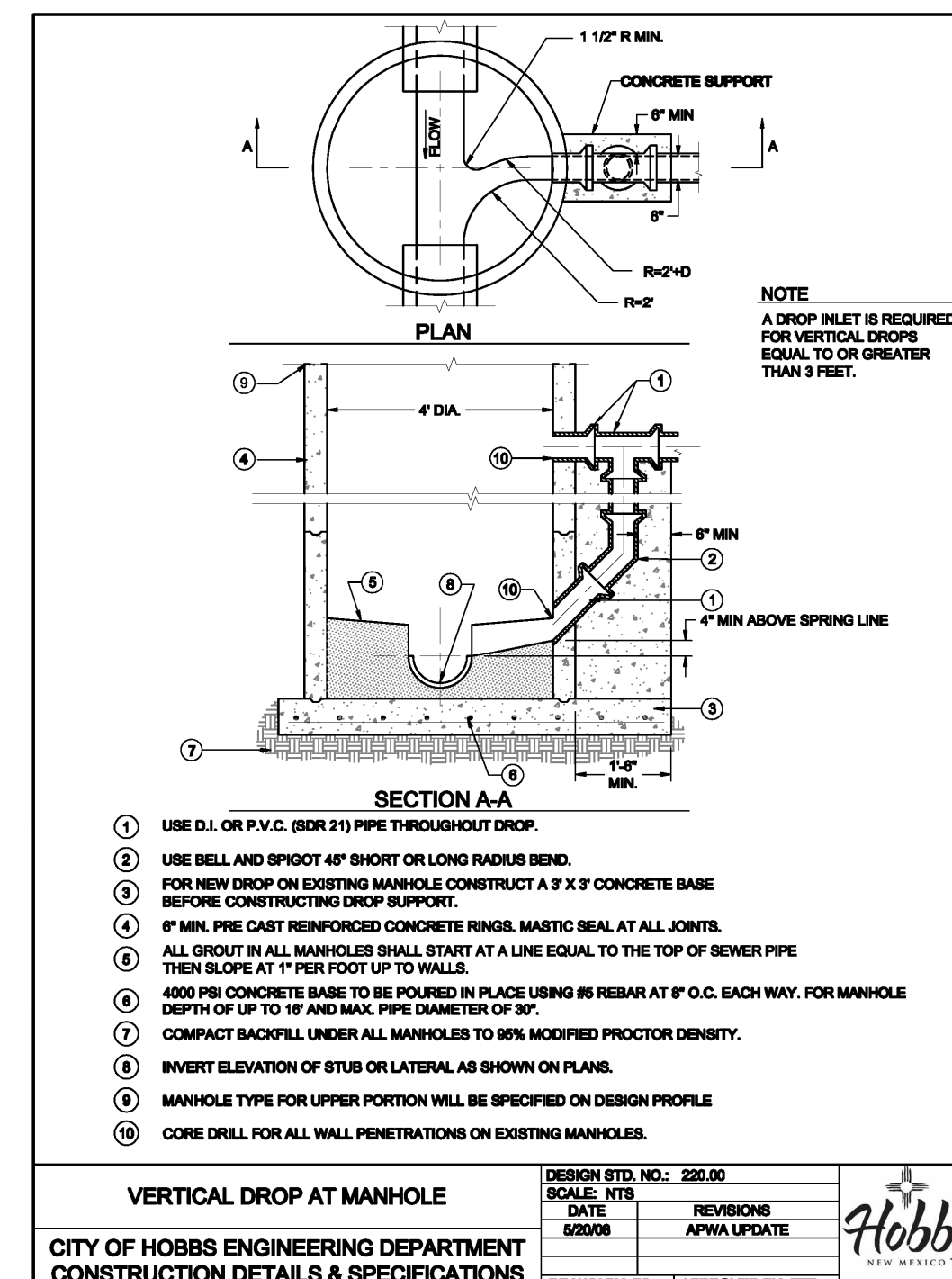
**TYPICAL MANHOLE ADJUSTMENT DETAIL**

DESIGN STD. NO.: 208.00	SCALE: NTS	DATE: 08/22/12	REVISIONS: 30" FRAME & COVER
CITY OF HOBBS ENGINEERING DEPARTMENT		DRAWN BY: ZB APPROVED BY: TTR	



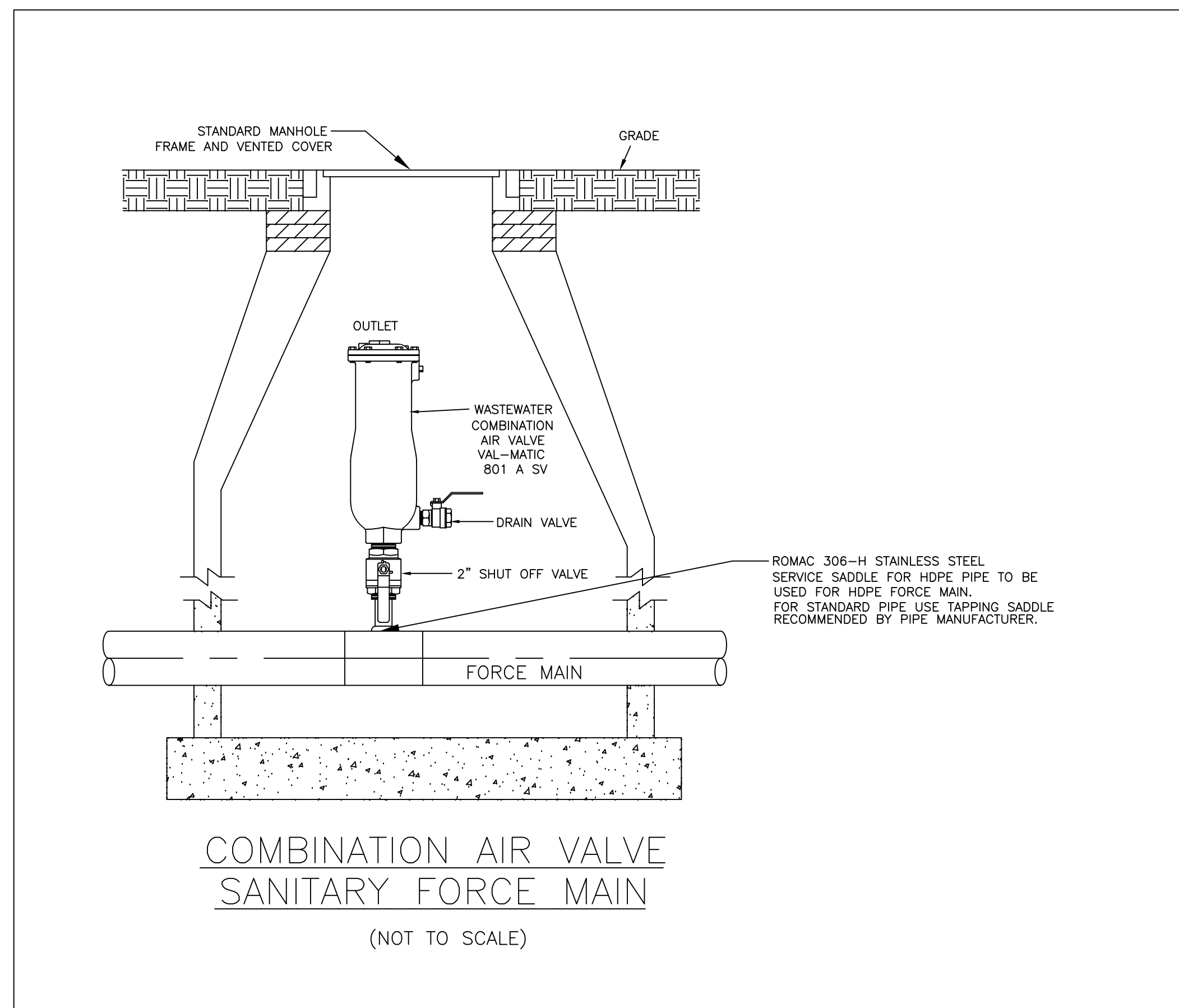
**STANDARD MANHOLE RING & COVER**

DESIGN STANDARD NO.: 209.00	SCALE: NTS	DATE: 02/02/12	REVISIONS: FRAME & COVER W/LOGO
CITY OF HOBBS ENGINEERING DEPARTMENT		DRAWN BY: ZB APPROVED BY: TTR	



**VERTICAL DROP AT MANHOLE**

DESIGN STD. NO.: 200.00	SCALE: NTS	DATE: 02/02/12	REVISIONS: APWA UPDATE
CITY OF HOBBS ENGINEERING DEPARTMENT		DRAWN BY: ZB APPROVED BY: TTR	



**COMBINATION AIR VALVE SANITARY FORCE MAIN**  
(NOT TO SCALE)

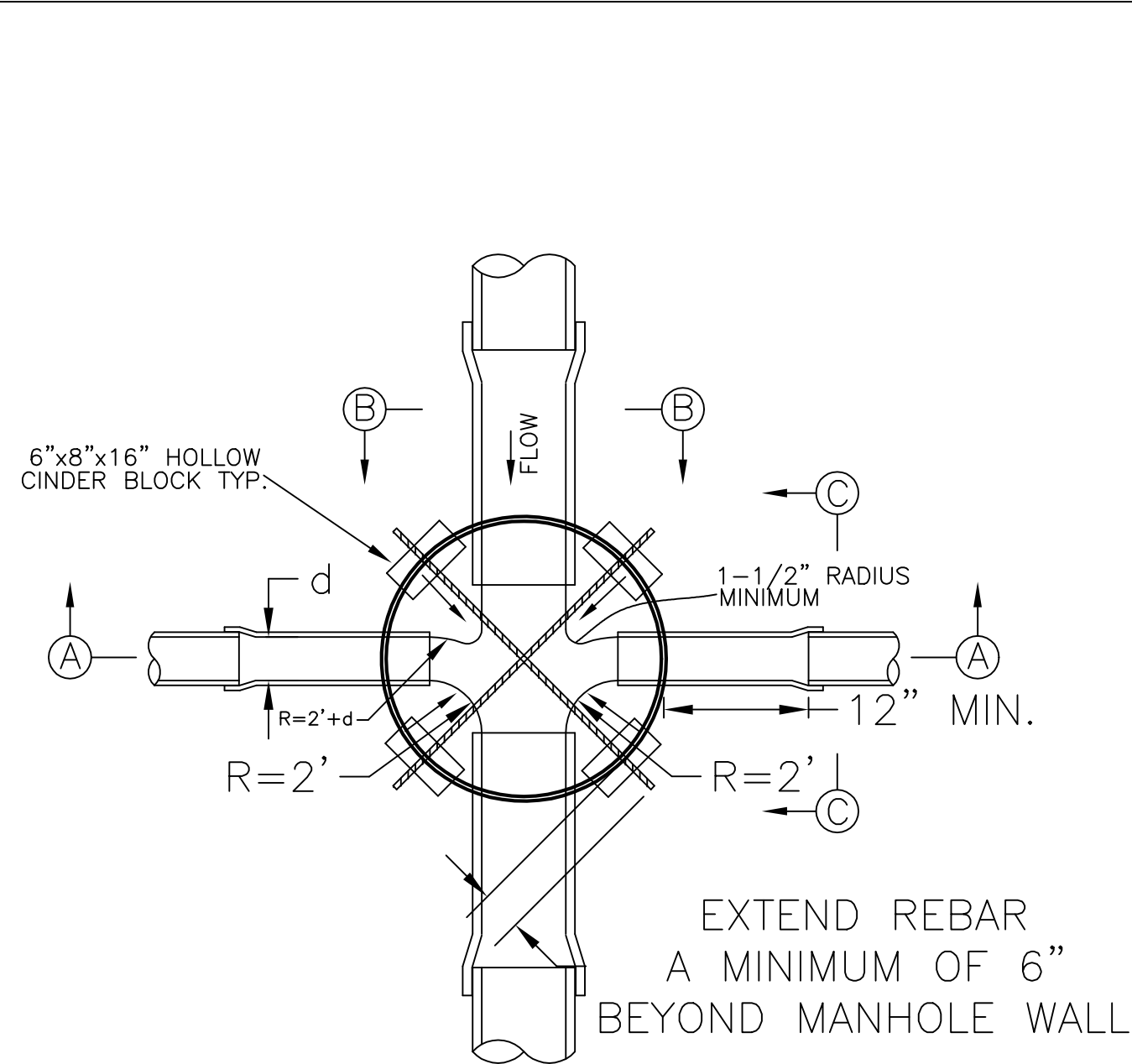
ORIGINAL DRAWING SIZE 24" X 36"

JAMES OWENSBY  
TIGER TRAIL SUBDIVISION  
SEWER/FORCEMAIN DETAILS

the ROSS GROUP  
CONSULTING ENGINEERS  
378 W. BENDER  
HOBBS, NEW MEXICO 88240  
(505) 392-7916 TEL.  
(505) 392-9114 FAX

Drawn By:	Checked by:
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Date:	Disk:
5/10/16	GENERAL
File Name:	Job No.:
SEWER	

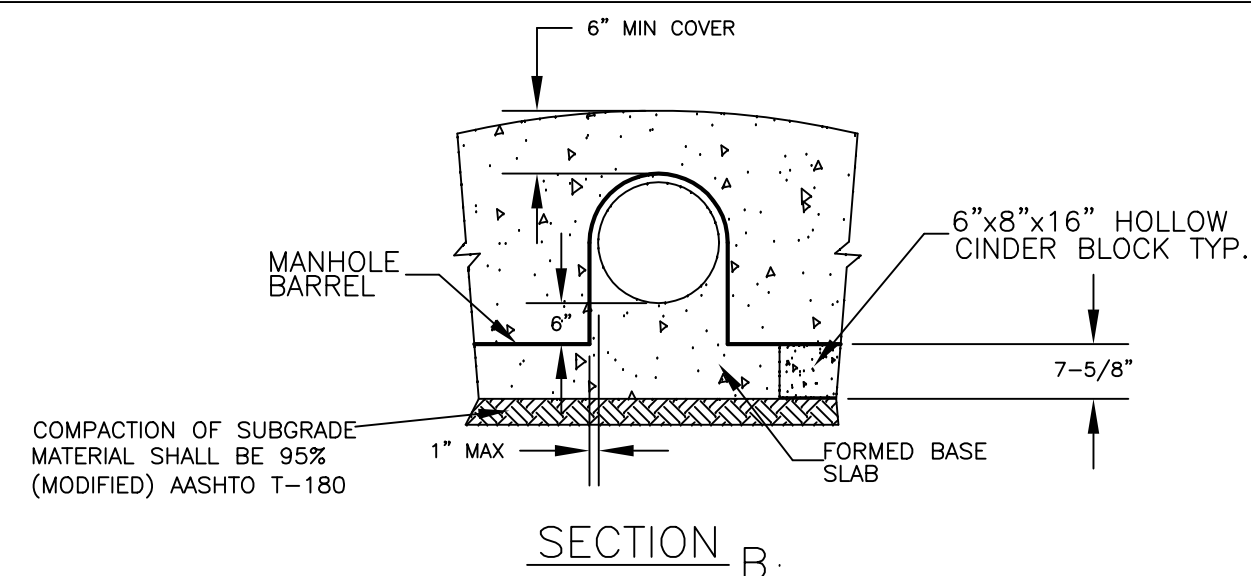
SHEET  
**SS1**  
SS1 of SS2 sheets



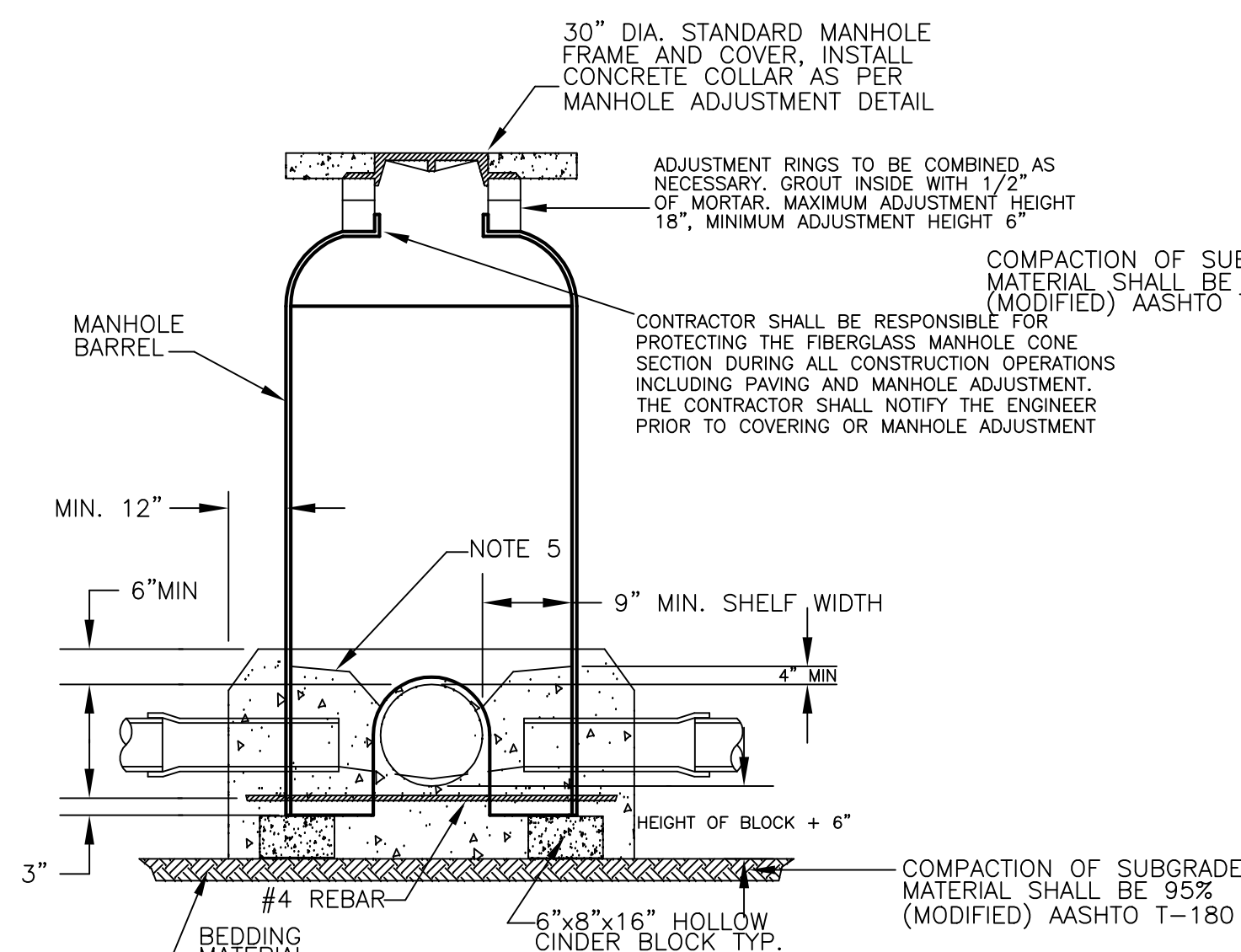
PLAN VIEW

INSTALLATION NOTES:

- 1.) COMPACT SUBGRADE MATERIAL TO A MINIMUM OF 95% MODIFIED PROCTOR. AASHTO T-180
- 2.) LEVEL SUB GRADE MATERIAL AND PLACE 4 6"x8"x16" HOLLOW CINDER BLOCKS.
- 3.) MAKE CUTOUT FOR PIPE PENETRATION TO FOLLOW CURVATURE OF THE PIPE AND WITH A MAXIMUM OF 1" CLEARANCE. SEAL CUT EDGES WITH RESIN. PIPE PENETRATION CUTOUT MAY EXTEND TO THE BARREL BOTTOM (AS SHOWN IN SECTION B). PLACE MANHOLE, LEVEL, ON BLOCKS.
- 4.) INSERT #4 REBAR
- 5.) FORM FLOW SURFACE AND MOUND CONCRETE AROUND PIPE PENETRATIONS, TO FORM A SEAL, IN ONE CONTINUOUS PLACEMENT OPERATION.
- 6.) CONTRACTOR SHALL ADJUST EXISTING PRECAST FIBER GLASS MANHOLE WITH CONCRETE ADJUSTMENT RINGS, AS REQUIRED TO ACHIEVE PROPOSED ROADWAY ELEVATION, AND GROUT INSIDE WITH 1/2" OF MORTAR.



SECTION B

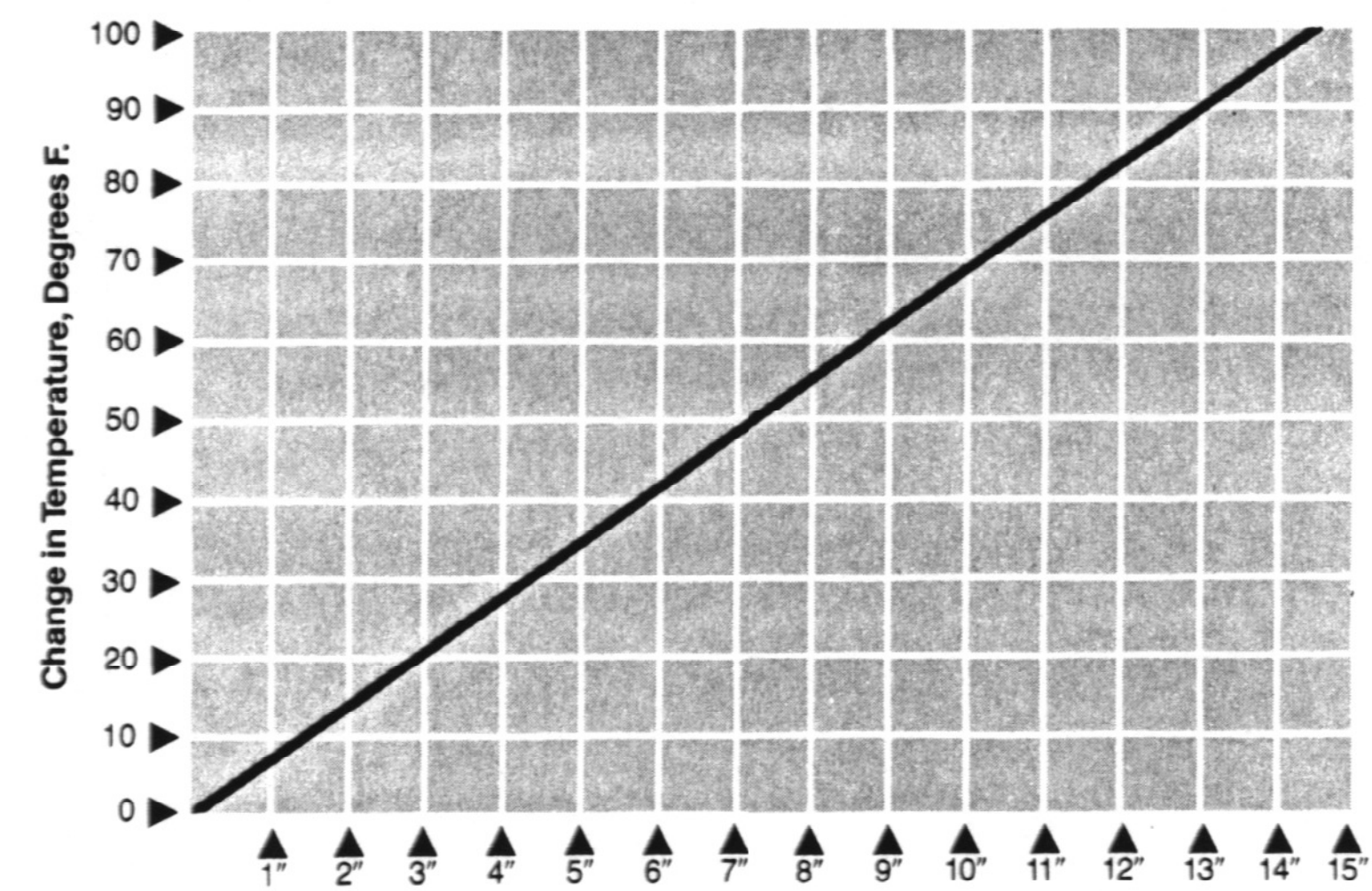


SECTION A

FIBERGLASS MANHOLE DETAIL

NOT TO SCALE

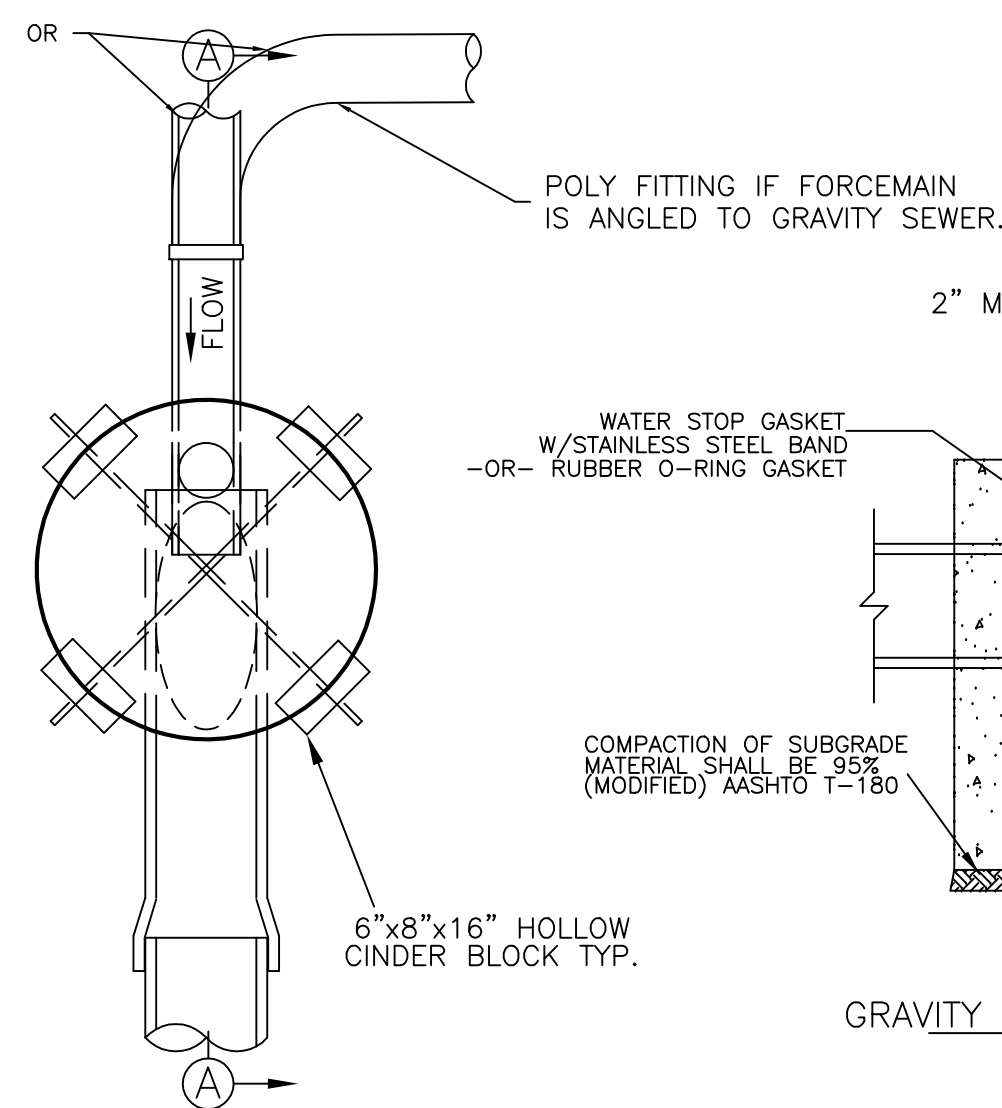
Linear Expansion & Contraction of Driscopipe



Note: Expansion or contraction is not a function of diameter or wall thickness

FINAL PIPE CUT AND TIE-IN FOR ALL HDPE PIPE SHALL BE COMPLETED AND BACKFILLED WHEN PIPING MATERIAL IS COOL (MAXIMUM 70°F) TO MINIMIZE THERMAL CONTRACTION.

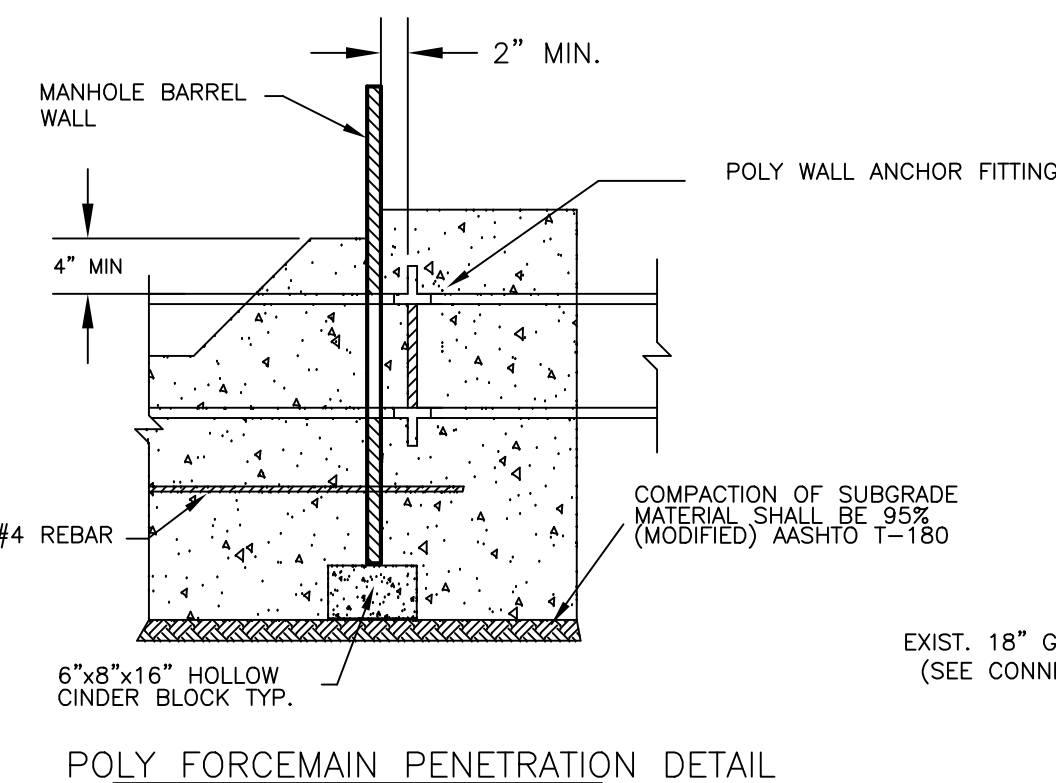
THE ABOVE CHART ILLUSTRATES THE EXPANSION AND CONTRACTION PROPERTIES OF HDPE PIPE.



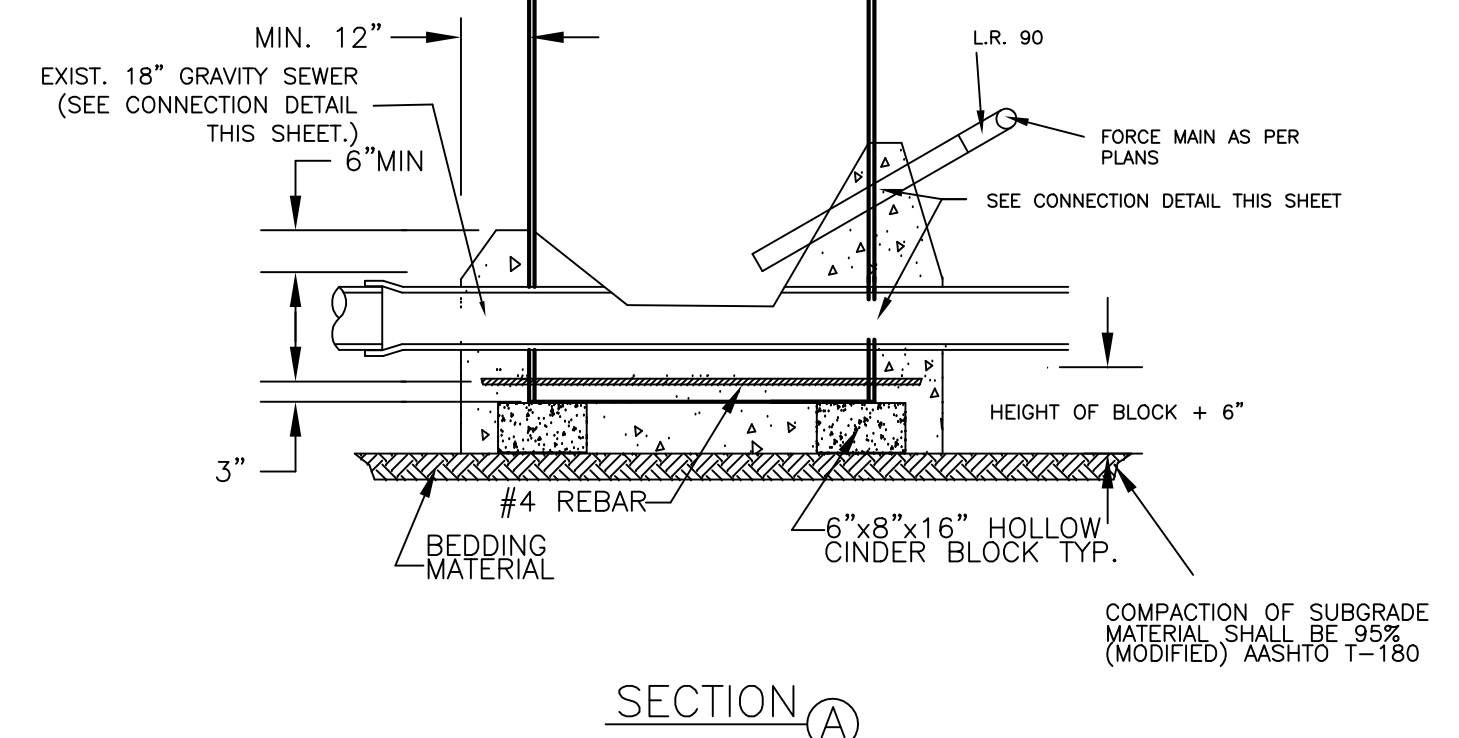
PLAN VIEW

INSTALLATION NOTES:

- 1.) COMPACT SUBGRADE MATERIAL TO A MINIMUM OF 95% MODIFIED PROCTOR. AASHTO T-180
- 2.) LEVEL SUB GRADE MATERIAL AND PLACE 4 6"x8"x16" HOLLOW CINDER BLOCKS.
- 3.) MAKE CUTOUT FOR PIPE PENETRATION TO FOLLOW CURVATURE OF THE PIPE AND WITH A MAXIMUM OF 1" CLEARANCE. SEAL CUT EDGES WITH RESIN. PIPE PENETRATION CUTOUT MAY EXTEND TO THE BARREL BOTTOM (AS SHOWN IN SECTION B). PLACE MANHOLE, LEVEL, ON BLOCKS.
- 4.) INSERT #4 REBAR
- 5.) FORM FLOW SURFACE AND MOUND CONCRETE AROUND PIPE PENETRATIONS, TO FORM A SEAL, IN ONE CONTINUOUS PLACEMENT OPERATION.
- 6.) CONTRACTOR SHALL ADJUST EXISTING PRECAST FIBER GLASS MANHOLE WITH CONCRETE ADJUSTMENT RINGS, AS REQUIRED TO ACHIEVE PROPOSED ROADWAY ELEVATION OR TO MATCH FINISH GRADE, AND GROUT INSIDE WITH 1/2" OF MORTAR.



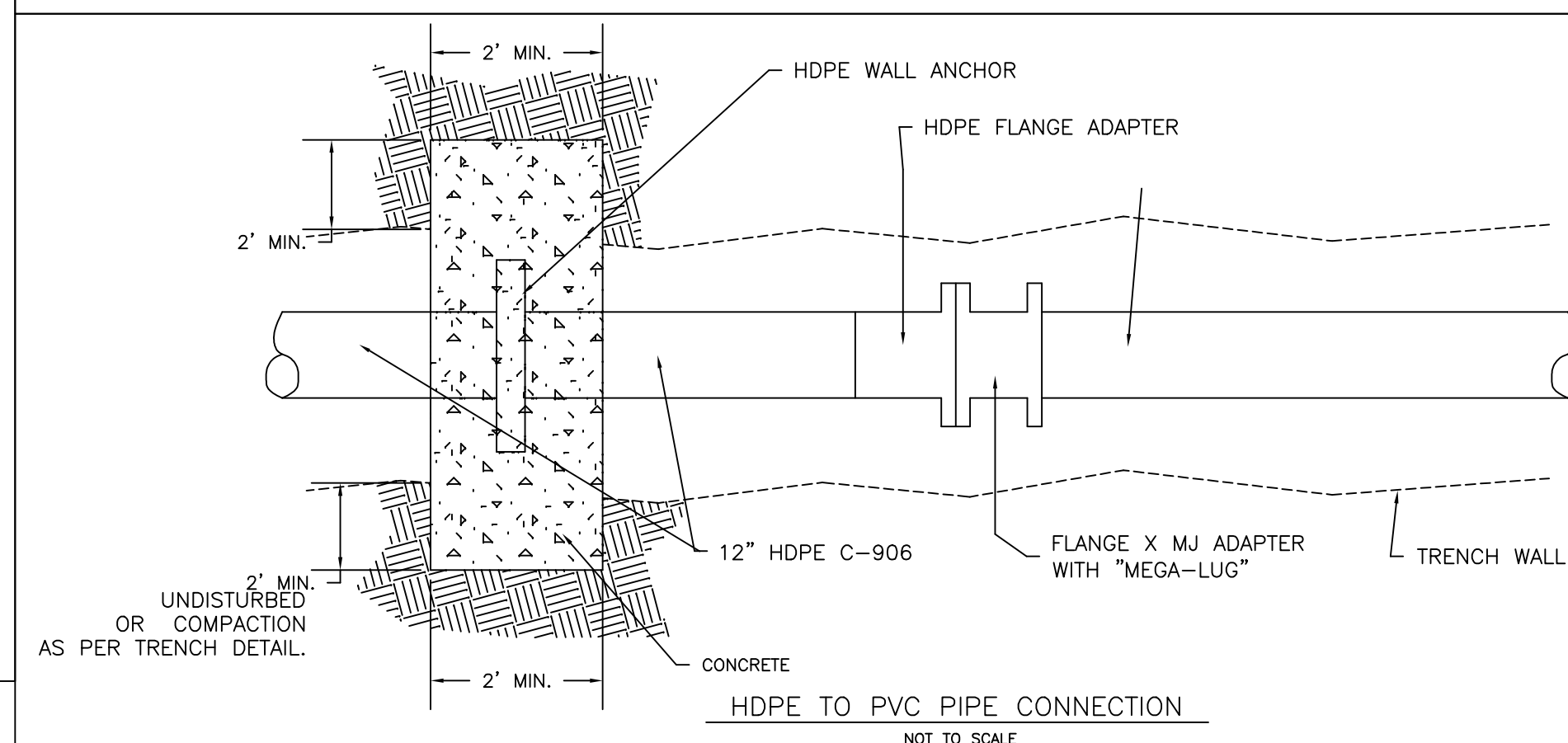
POLY FORCEMAIN PENETRATION DETAIL



SECTION A

FORCE MAIN TO GRAVITY SEWER INSIDE EXIST. OR PROPOSED MANHOLE

NOT TO SCALE



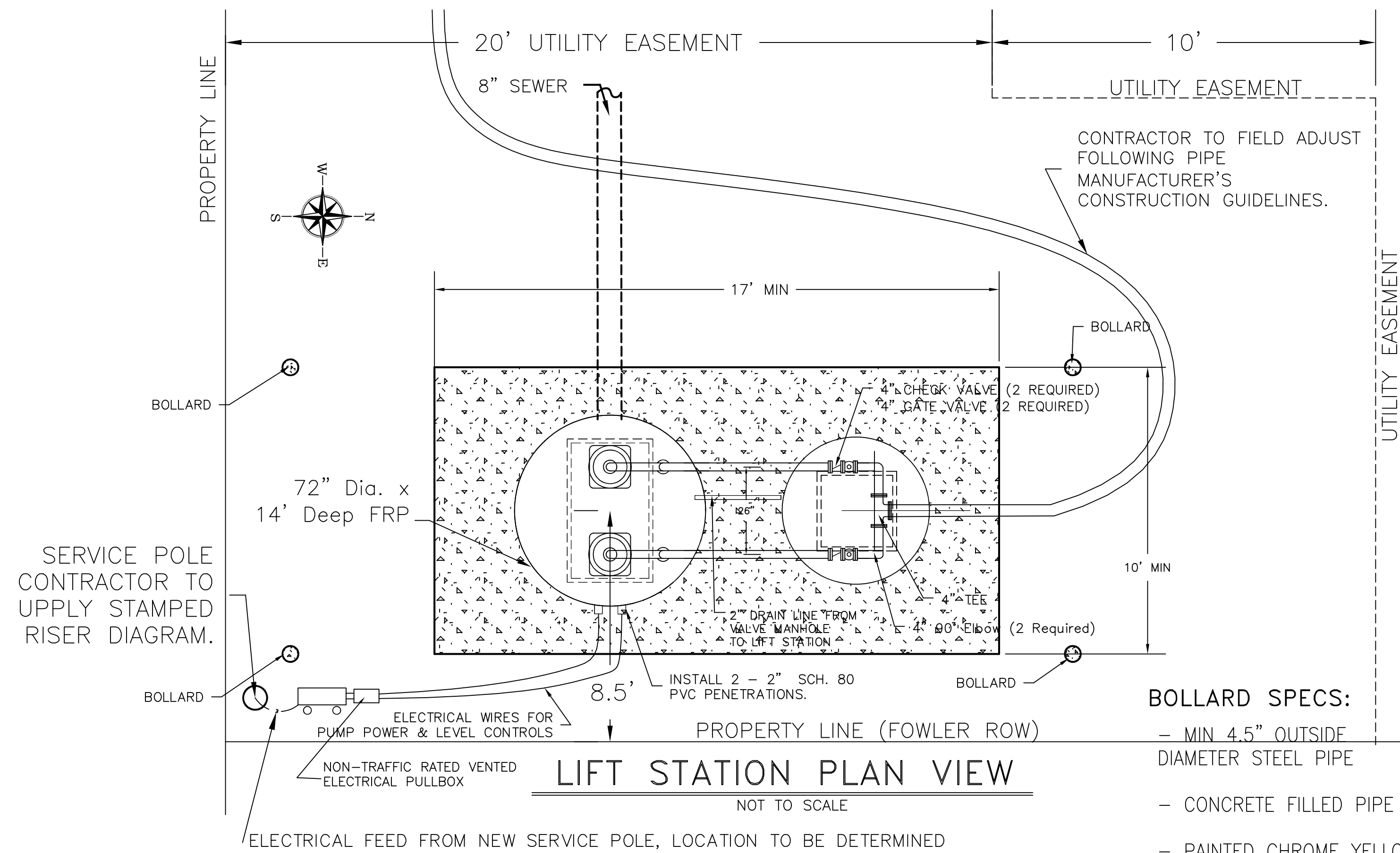
ORIGINAL DRAWING SIZE 24" X 36"

NO.	DATE	REVISIONS:	BY	CHK	ENGR	APP.

JAMES OWENSBY  
TIGER TRAIL SUBDIVISION  
SEWER/FORCEMAIN DETAILS, CONT.

the ROSS GROUP  
CONSULTING ENGINEERS  
318 W. BENDER  
HOBBES, NEW MEXICO 88240  
(505) 392-7916 TELE.  
(505) 392-9114 FAX

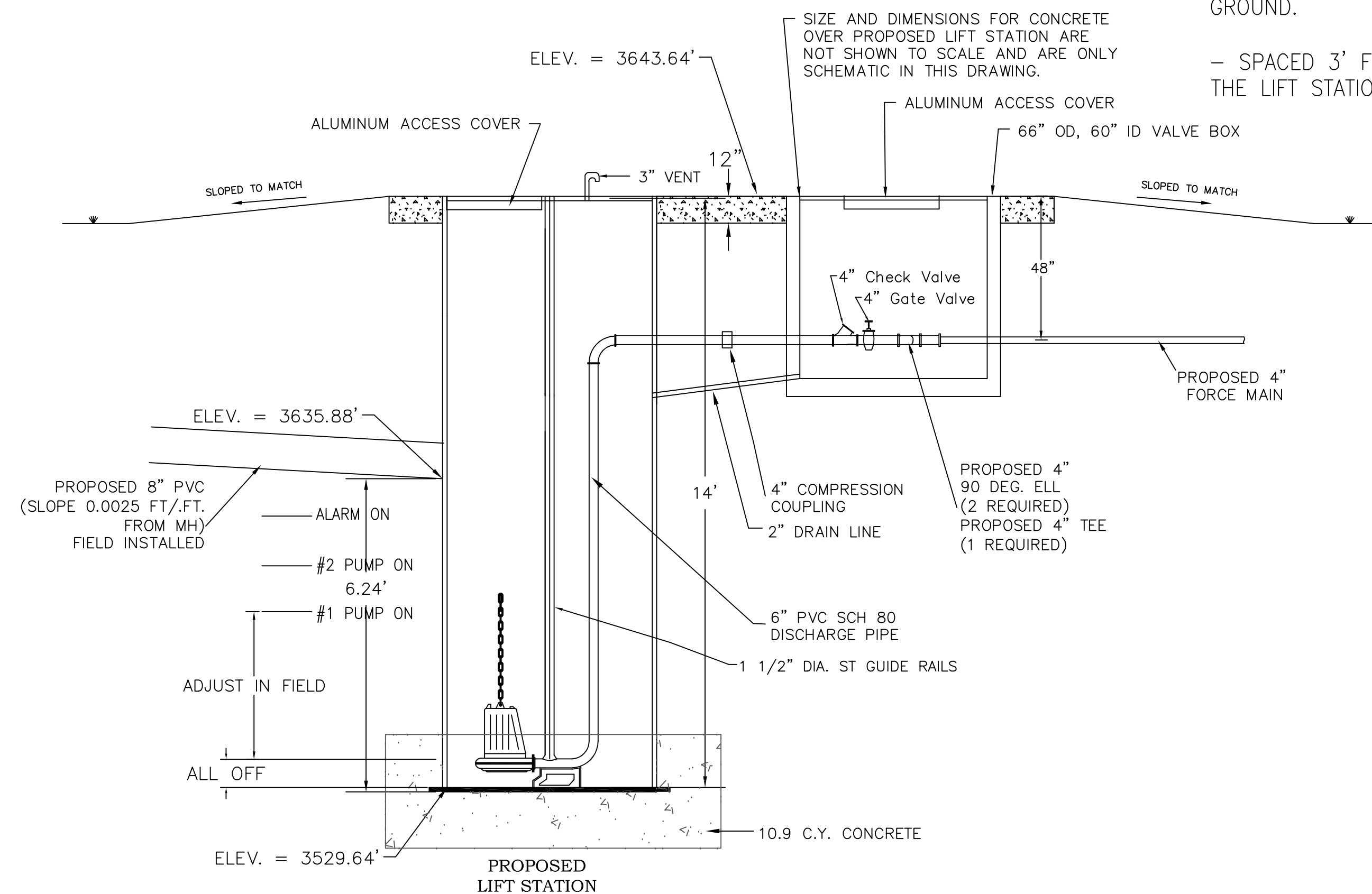
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SMM	PLR
Date:	Disk:
5/10/16	GENERAL
File Name:	Job No.:
DETAILS	
SHEET	
SS2	
SS2of SS2 sheets	



**LIFT STATION PLAN VIEW**  
NOT TO SCALE

**BOLLARD SPECS:**

- MIN 4.5" OUTSIDE DIAMETER STEEL PIPE
- CONCRETE FILLED PIPE
- PAINTED CHROME YELLOW WITH REFLECTIVE TAPE 3' FROM THE GROUND.
- SPACED 3' FROM THE EDGE OF THE LIFT STATION.



**LIFT STATION ELEVATION**  
NOT TO SCALE

**APPROVED LIFT STATION EQUIPMENT:**



Pump Company, Inc.  
254-772-7623

Water & Sewage Pumps  
Complete Systems  
Sales & Service  
301 Cotton, Waco 76712  
Fax 254-772-2924

May 9, 2016

The Ross Group

Re: Tiger Trail LS  
Attn: Philip  
pross@rossgrp.biz

**DUPLEX PACKAGED LIFT STATION**

Rated Capacity: 80 GPM  
Rated Head: 20 FT  
Electrical: 230V 1PH  
Wet Well: 72" x 14' FRP

- 2 AMX334/1-142/3.0T/C Submersible Sewage Pump, 3HP, 230/1, 30' cord, HOMA
- 2 3"x 4" Auto coupling
- 1 72" Dia. X 14' Deep FRP Basin, 3" Top Flange Anti-Floatation Bottom, (3) Galv. Lift Lugs, (2) 6" Sch40 PVC Sleeves, 2" Full Coupling, Duplex Pump Studs
- 1 CIR78 Aluminum Cover Plate, 26" x 52" Access Door, 4" Vent Coupling, 316SST Hardware, 300 PSF Load Rating
- 2 Top Rail Bracket 304 SST
- 4 1 1/2" Dia. Guide Rail 304 SST
- 1 4" Duplex Pipe Package Sch80 PVC
- 20 LS-300-C Link Seal
- 1 Fasteners 304 SST
- 1 4" Vent w/ screen, Galv.
- 1 Duplex Control Panel with Red Flashing Alarm Light, Audible Alarm, Nema 4 Steel
- 4 GSE30NO Float Switch
- 1 J4A Cable Holder 304 SST
- 1 Item of Factory Assembly
- 1 Item of Delivery

**Valve Box**

60" Dia. X 6' Deep

- 1 60" Dia. X 6' Deep FRP Basin, 3" Top Flange, Anti-Floatation Bottom, (3) 6" Sch 40 PVC sleeves, (2) Galv. Lift Lugs, 2" Drain Coupling
- 1 CIR66 Aluminum Cover Plate, 26" x 48" Access Door, 316 SST Hardware, 300 PSF Load Rating
- 1 4" Pipe and Fittings Sch80 PVC
- 6 4" Bolt and Gasket Set 304 SST
- 2 4" Gate Valve w/ Hand Wheel, Cast Iron
- 2 4" Swing Check Valve with weight/lever, Cast Iron
- 1 Fasteners 304SST
- 1 2" Drain Package Sch80 PVC
- 30 LS-300-C Link Seal
- 1 Item of Factory Assembly

LOT NET F.O.B. HOBBS, NM  
Delivery 5-6 weeks

Panel shall include a minimum of 4 dry contacts for City of Hobbs connection to SCADA system.

LIFT STATION COMPLIES WITH NM ENV. DEPT. CONSTRUCTION PROGRAMS BUREAU, RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES, 2003 EDITION. WWW.NMENV.STATE.NM.US/CPB/WASTEWATER%20GUIDELINES%20%20REV%202003.PDF

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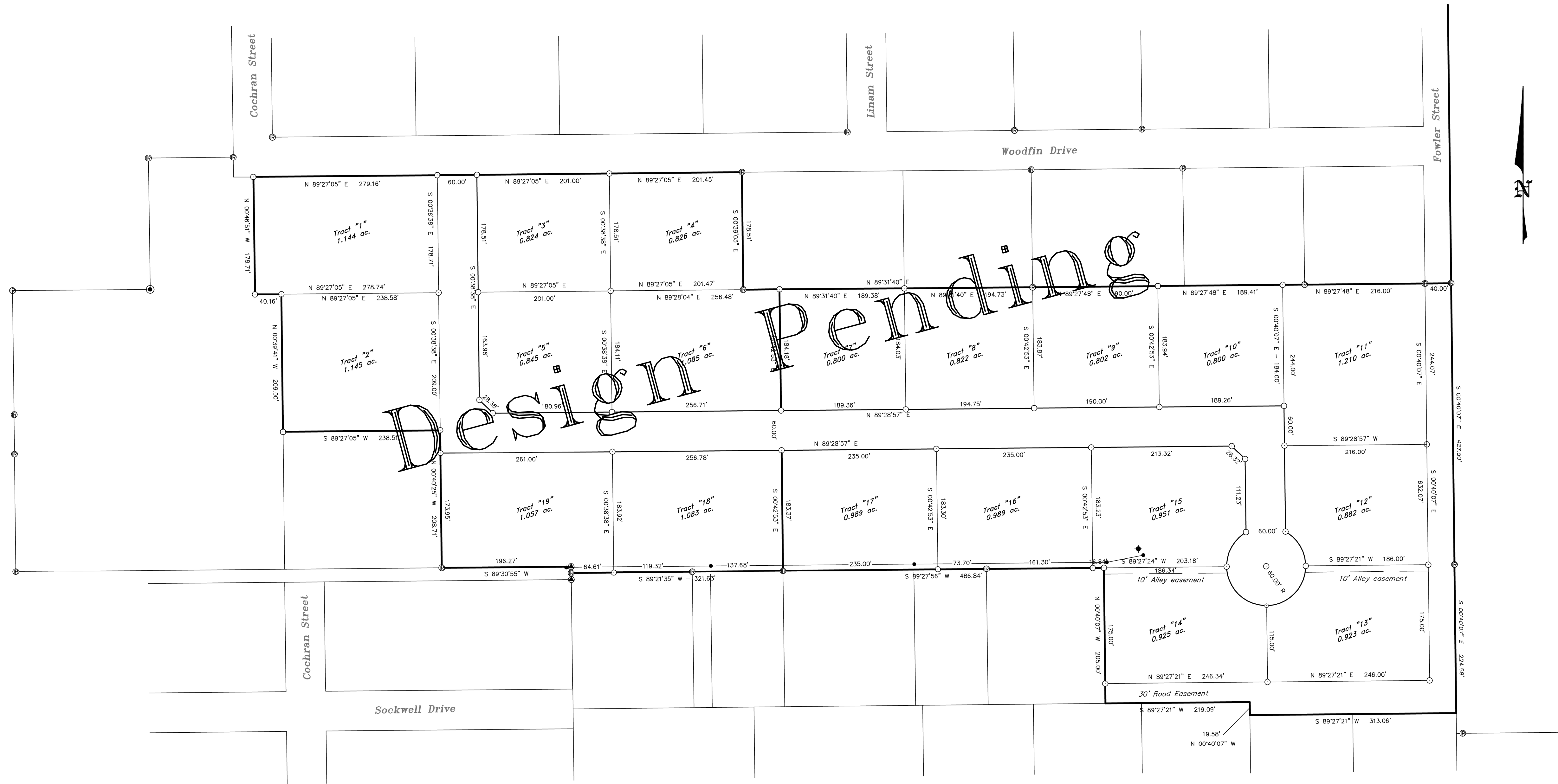
JAMES OWENSBY  
TIGER TRAIL SUBDIVISION  
LIFT STATION DETAILS



Drawn By: SMM	Checked by: PLR
Date: 5/10/16	Disk: GENERAL
File Name: LIFT ST	Job No.:

SHEET  
**LS1**  
LS1 of LS1 sheets

ORIGINAL DRAWING SIZE 24" X 36"



DRAWING PROVIDED BY XCEL ENERGY.

PRELIMINARY - NOT FOR CONSTRUCTION - UNDER REVIEW

ORIGINAL DRAWING SIZE 24" X 36"

DRAWING PROVIDED BY XCEL ENERGY.

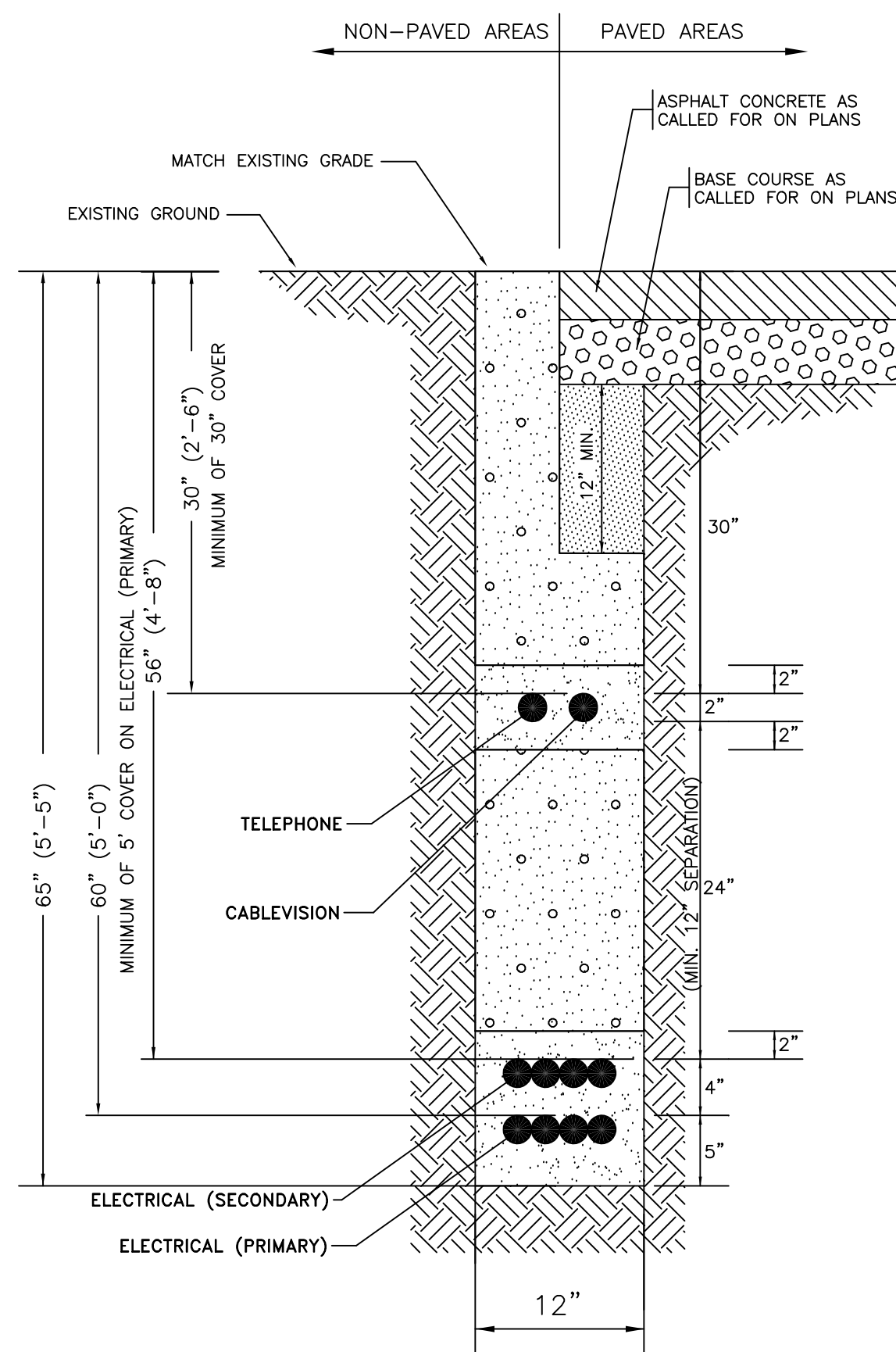
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TIGER TRAIL SUBDIVISION  
 UTILITY (ELECTRIC/CABLE/TELEPHONE)  
 LAYOUT PLAN (BY XCEL ENERGY)

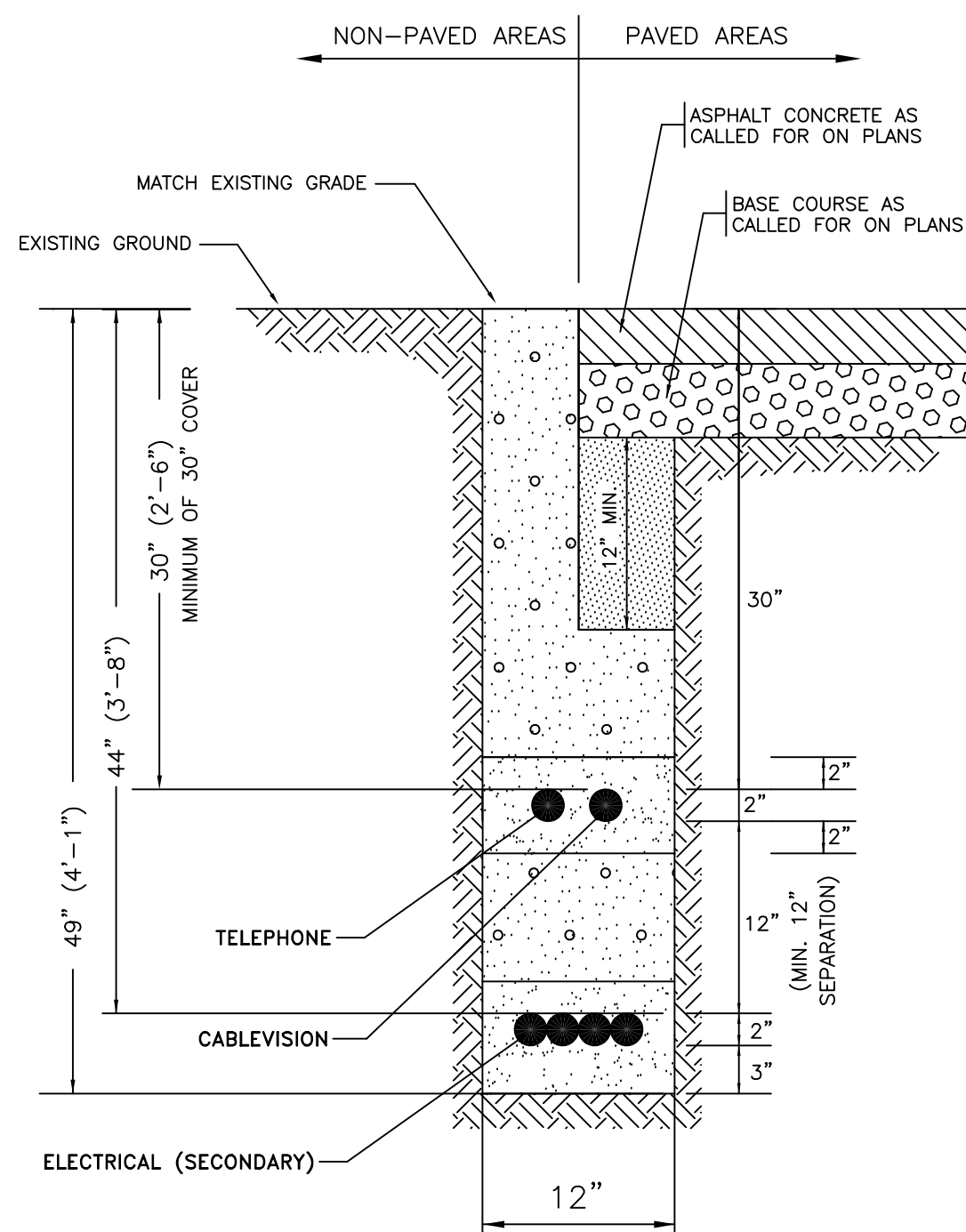
**the ROSS GROUP**  
 CONSULTING ENGINEERS  
 410 N. DAL PASO  
 HOBBS, NEW MEXICO 88240  
 (575) 392-7918 TELE.  
 (575) 392-9114 FAX

Drawn By: SMM	Checked by: PLR
Date: 5/10/16	Disk: GENERAL
File Name: ROADS	Job No.:

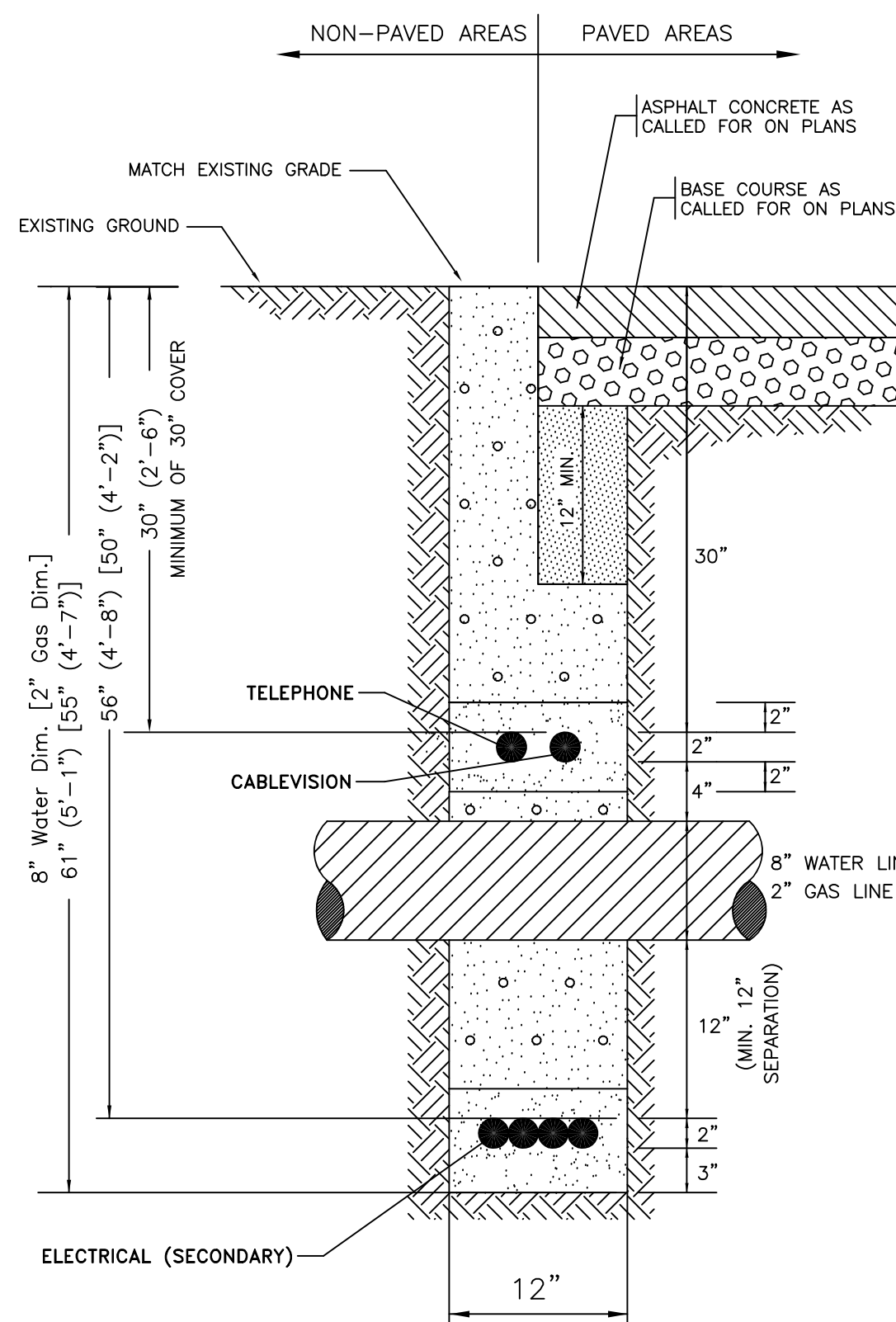
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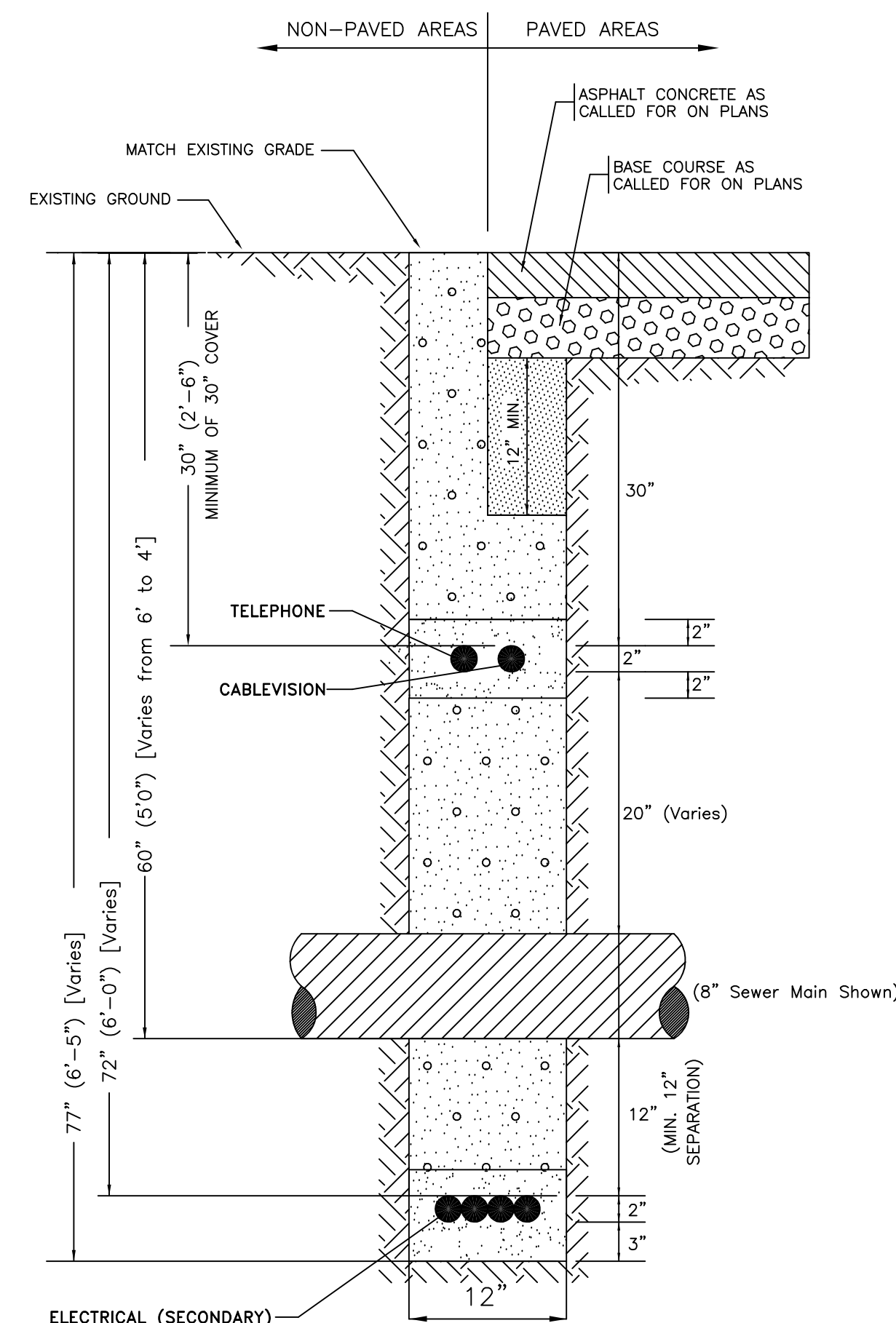
TYPICAL UTILITY DITCH  
ELECTRICAL / TELEPHONE / CABLEVISION  
(ELECTRICAL PRIMARY)  
NTS



TYPICAL UTILITY DITCH  
ELECTRICAL / TELEPHONE / CABLEVISION  
(ELECTRICAL SECONDARY)  
NTS



TYPICAL UTILITY DITCH AT WATER/GAS CROSSING  
ELECTRICAL / TELEPHONE / CABLEVISION  
(ELECTRICAL SECONDARY)  
NTS

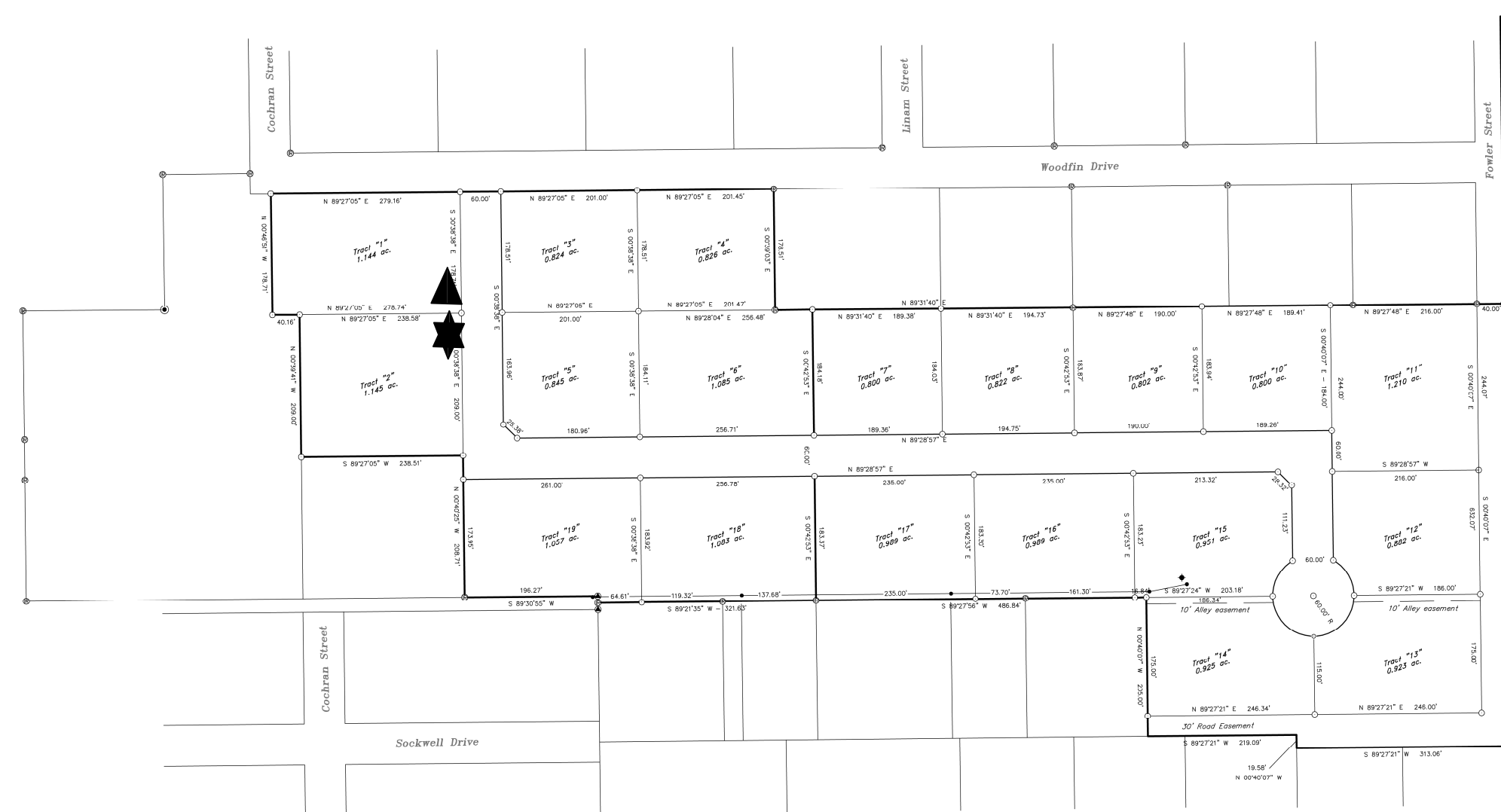


TYPICAL UTILITY DITCH AT SEWER CROSSING  
ELECTRICAL / TELEPHONE / CABLEVISION  
(ELECTRICAL SECONDARY)  
NTS

LEGEND  
UTILITY DITCH COMPACTION AND MATERIAL REQUIREMENTS

	NATIVE MATERIAL, 95% ASTM D-1557		SELECT BACKFILL MATERIAL, FREE FROM ROCKS GREATER THAN 1/4" INCH DIAMETER, DIRT CLODS, OR FROZEN MATERIAL
	NATIVE MATERIAL, 90% ASTM D-1557		UNDISTURBED EARTH

LEGEND ▲ 8 UNIT CBU (TOTAL 1)  
★ 12 UNIT CBU (TOTAL 1)



CLUSTER BOX UNIT (CBU) TYPE AND LOCATION  
NTS

CLUSTER BOX UNITS (CBU'S) GENERAL NOTES:

CBU'S AVAILABLE AT WWW.MAILBOXES.COM.

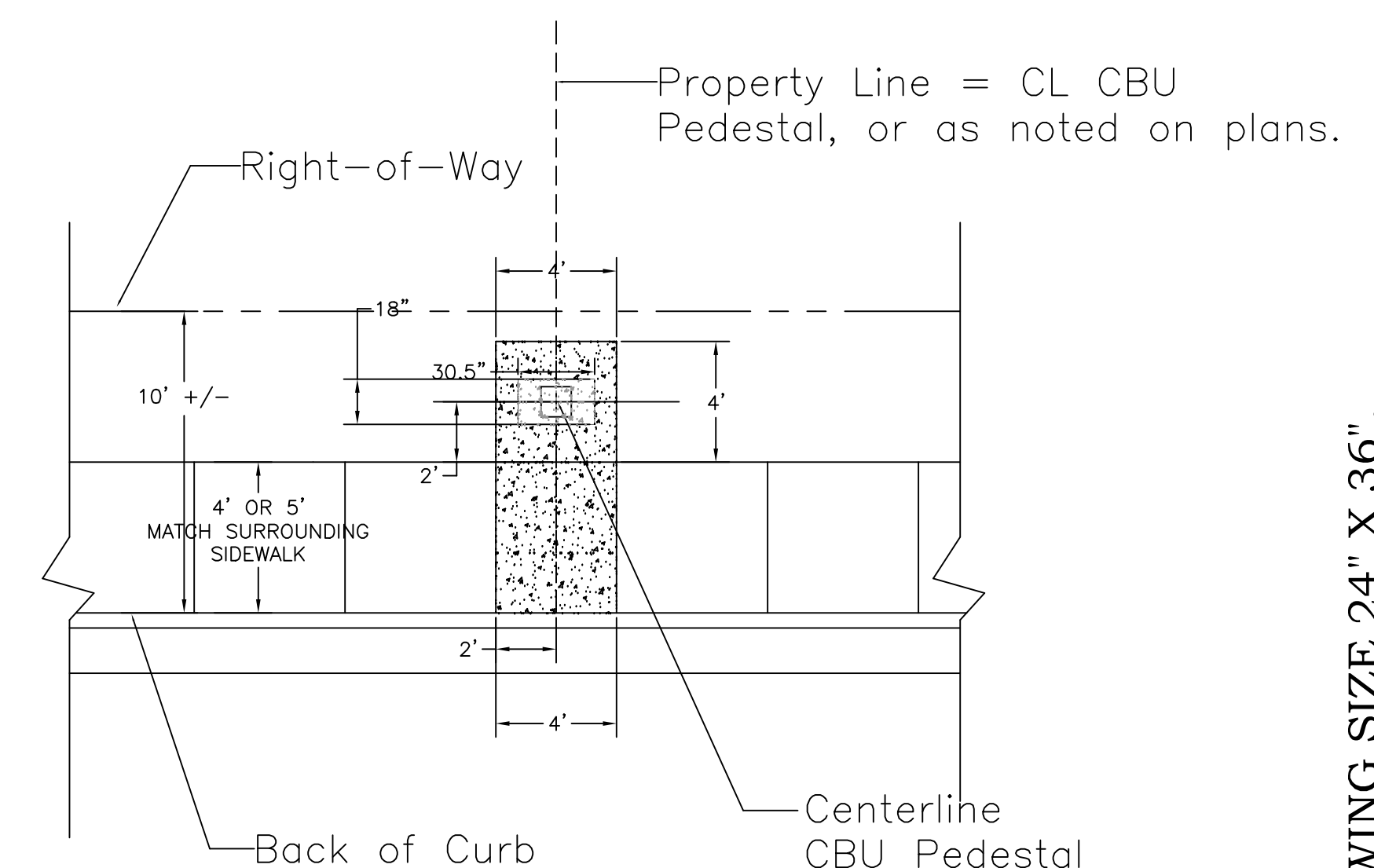
8 UNIT CBU TO BE SALSURY CBU INCLUDING PEDESTAL, 8A SIZE DOORS, TYPE I, MODEL 3308 - ALL ALUMINUM CONSTRUCTION.

12 UNIT CBU TO BE SALSURY CBU INCLUDING PEDESTAL, 12A SIZE DOORS, TYPE II, MODEL 3312 - ALL ALUMINUM CONSTRUCTION.

ALL CBU KEYS TO BE DELIVERED TO THE ENGINEER FOR DELIVERY TO THE POST OFFICE.

CONSTRUCTION NOTES: DITCHING (UTILITY) CONTRACTOR

- DITCHES, BACKFILL MATERIALS, BACKFILL & COMPACTION PROVIDED BY DITCHING CONTRACTOR.
- DITCHING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY OWNERS AND FOR THE PROTECTION OF ALL FACILITIES AFTER THEIR INSTALLATION. IF APPLICABLE, GAS COMPANY SHALL DITCH, INSTALL, BACKFILL AND COMPACT THEIR OWN UTILITIES.
- ANY UTILITIES DAMAGED BY THE DITCHING CONTRACTOR DURING TRENCHING, COMPACTION, OR INSTALLING SERVICE LATERALS SHALL BE REPAIRED AND/OR REPLACED AT THE EXPENSE OF THE DITCHING CONTRACTOR.
- EXTRA DEPTH NECESSARY FOR THE ELECTRICAL PRIMARY AND SECONDARY TO CROSS UNDER WATER OR SEWER LINES AS SHOWN IN THE TYPICAL DETAILS IS CONSIDERED INCIDENTAL AND NO EXTRA PAYMENT WILL BE MADE.



- Notes:
- Dimensions shown allow approximately 6.25' clearance in front of CBU (mailbox).
  - See manufacturer's installation guide for installation of CBU pedestal and box.
  - Centerline of CBU Pedestal shall not be located closer than 25' from curb return at corner lots.
  - If CBU placed in area with out curb and gutter, 4' x 4' sidewalk still required in front of slab for pedestal.

TYPICAL CLUSTER BOX UNIT (CBU) CONCRETE DETAIL  
NTS

NO.	DATE	REVISIONS:	BY	CHK	ENGR	APP.
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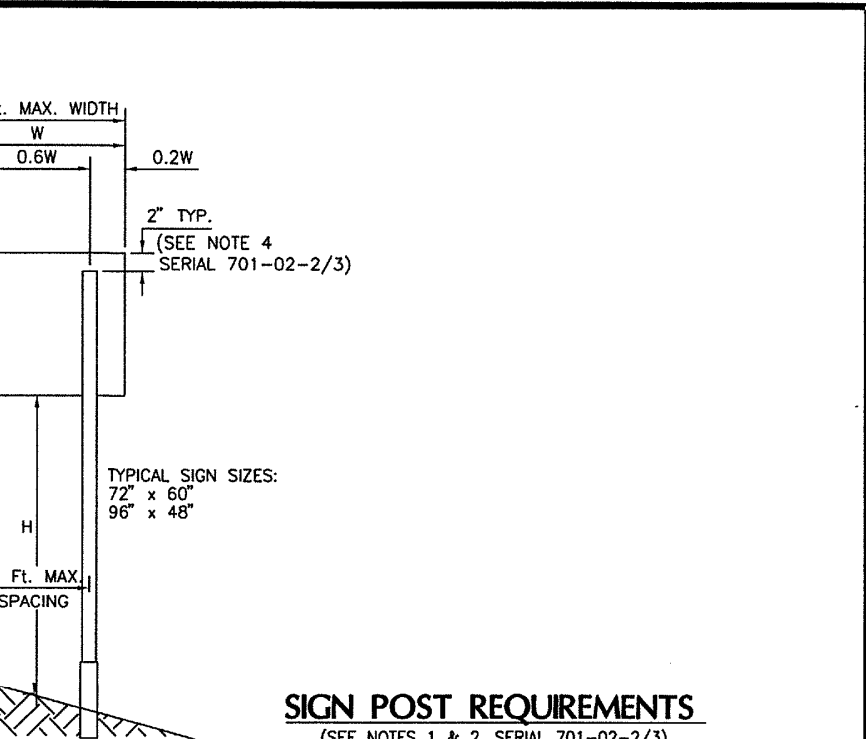
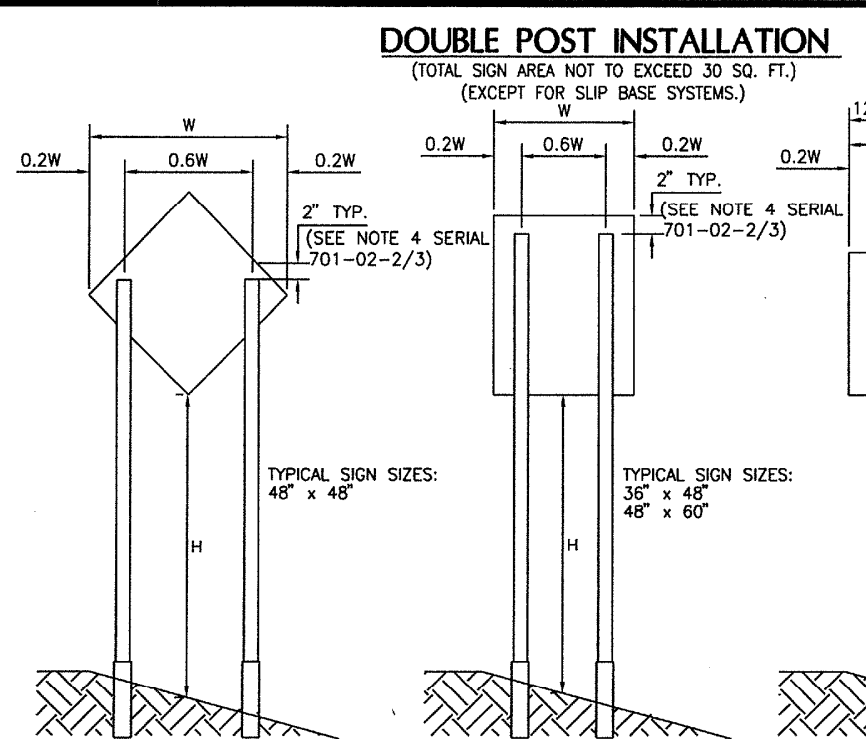
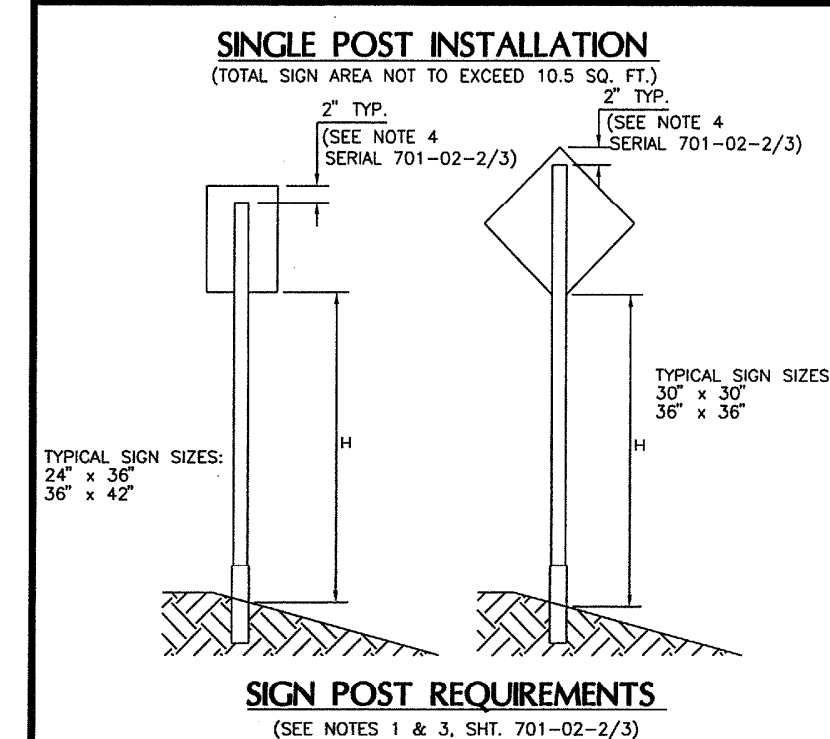
TIGER TRAIL SUBDIVISION  
POST OFFICE CLUSTER BOX DETAILS  
UTILITY (ELECTRIC/CABLE/TELEPHONE)  
TRENCH DETAILS

the ROSS GROUP  
CONSULTING ENGINEERS  
410 N. DAL PASO  
HOBBBS, NEW MEXICO 88240  
(575) 392-7918 TELE.  
(575) 392-9114 FAX

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SMM	PLR
Date:	Disk:
5/10/16	GENERAL
File Name:	Job No.:
ROADS	

SHEET  
U2  
U2 of U2 sheets

ORIGINAL DRAWING SIZE 24" X 36"



#### SIGN POST REQUIREMENTS

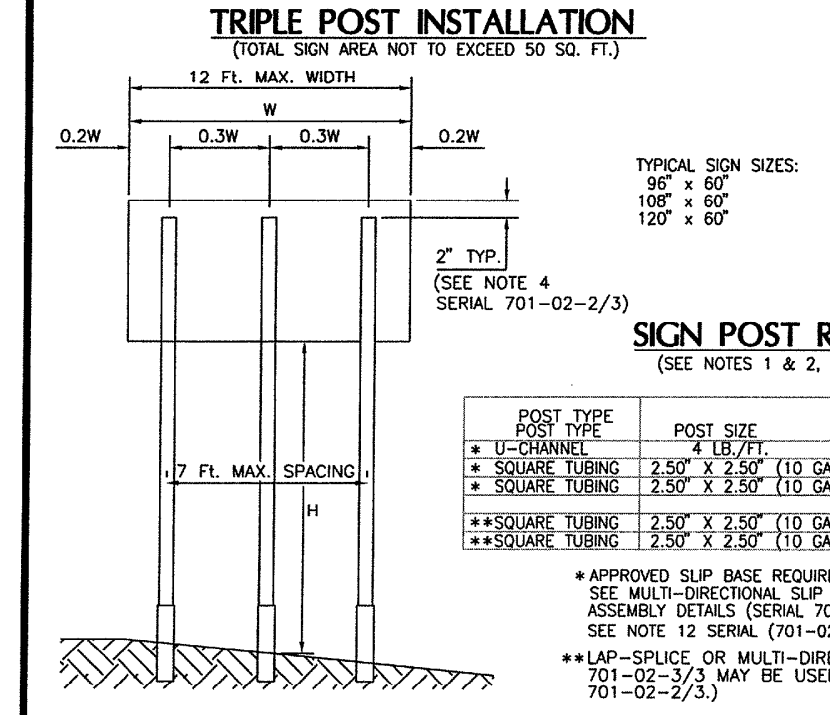
(SEE NOTES 1 & 3, SHT. 701-02-2/3)

POST TYPE	POST SIZE	MAX. CLEAR HEIGHT, H (FT.)	MAX. SIGN AREA (SQ. FT.)
SQUARE TUBING	1.75" X 1.75" (12 GA.)	9	5
SQUARE TUBING	1.75" X 1.75" (10 GA.)	8	5
SQUARE TUBING	1.75" X 1.75" (12 GA.)	9	5
SQUARE TUBING	2.00" X 2.00" (12 GA.)	9	9
SQUARE TUBING	2.00" X 2.00" (10 GA.)	8	9
SQUARE TUBING	2.50" X 2.50" (12 GA.)	9	10
SQUARE TUBING	2.50" X 2.50" (10 GA.)	9	10.5
SQUARE TUBING	2.50" X 2.50" (12 GA.)	10	10.5

#### SIGN POST REQUIREMENTS

(SEE NOTES 1 & 2, SERIAL 701-02-2/3)

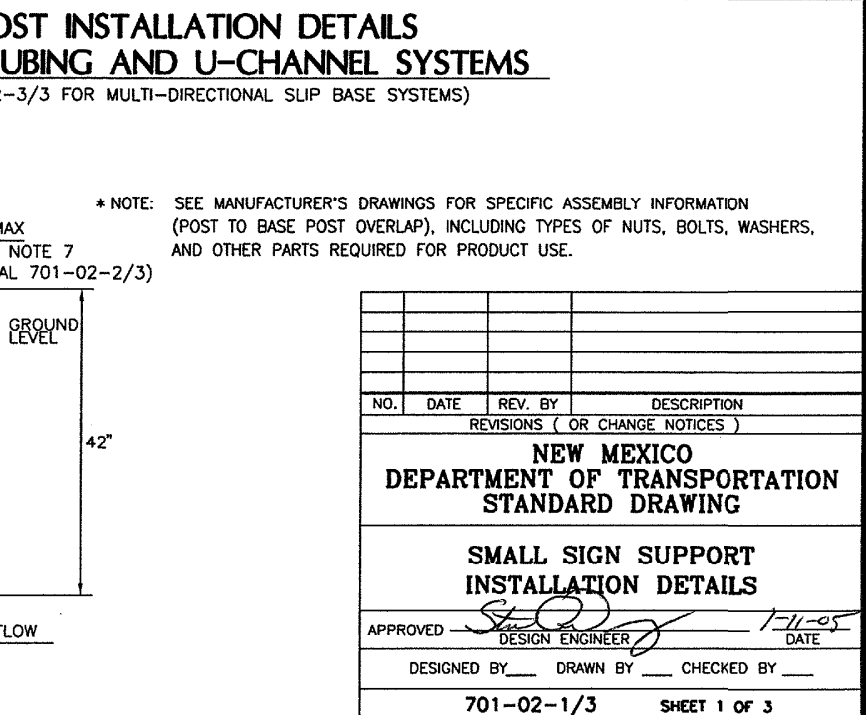
POST TYPE	POST SIZE	MAX. CLEAR HEIGHT, H (FT.)	MAX. SIGN AREA (SQ. FT.)
SQUARE TUBING	2.50" X 2.50" (12 GA.)	11	13
SQUARE TUBING	2.00" X 2.00" (12 GA.)	11	13
SQUARE TUBING	2.00" X 2.00" (10 GA.)	10	10
SQUARE TUBING	2.50" X 2.50" (12 GA.)	9	10
SQUARE TUBING	2.50" X 2.50" (10 GA.)	9	10
U-CHANNEL	4" X 1.5" (12 GA.)	11	13
U-CHANNEL	4" X 1.5" (10 GA.)	10	10
SQUARE TUBING	2.50" X 2.50" (10 GA.)	7	36



#### SIGN POST REQUIREMENTS

(SEE NOTES 1 & 2, SERIAL 701-02-2/3)

POST TYPE	POST SIZE	MAX. CLEAR HEIGHT, H (FT.)	MAX. SIGN AREA (SQ. FT.)
U-CHANNEL	4" X 1.5" (12 GA.)	11	13
U-CHANNEL	4" X 1.5" (10 GA.)	10	10
SQUARE TUBING	2.50" X 2.50" (10 GA.)	7	36



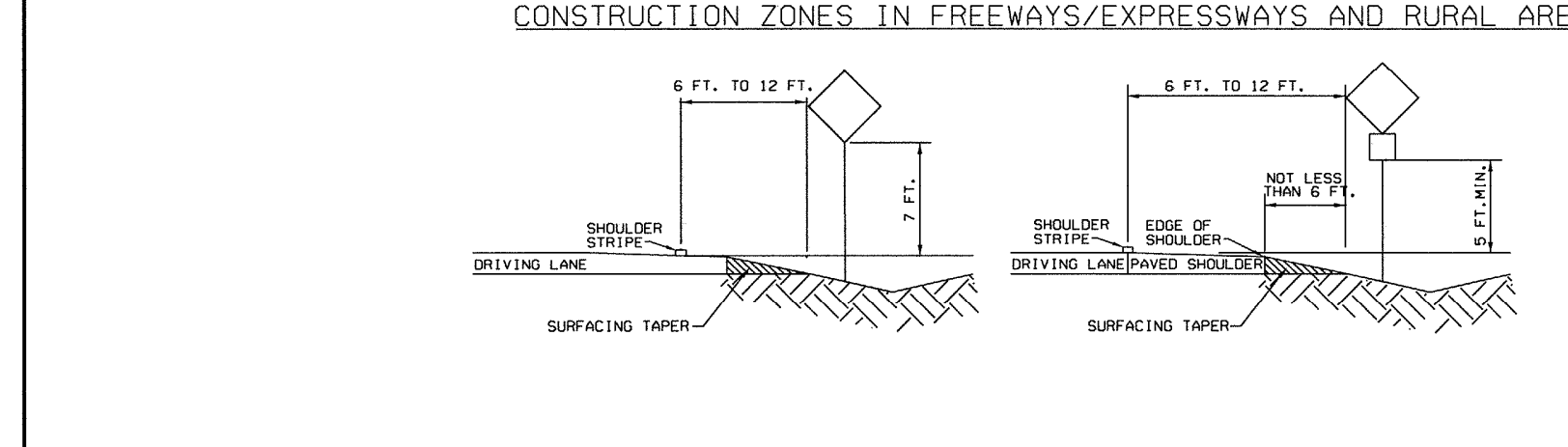
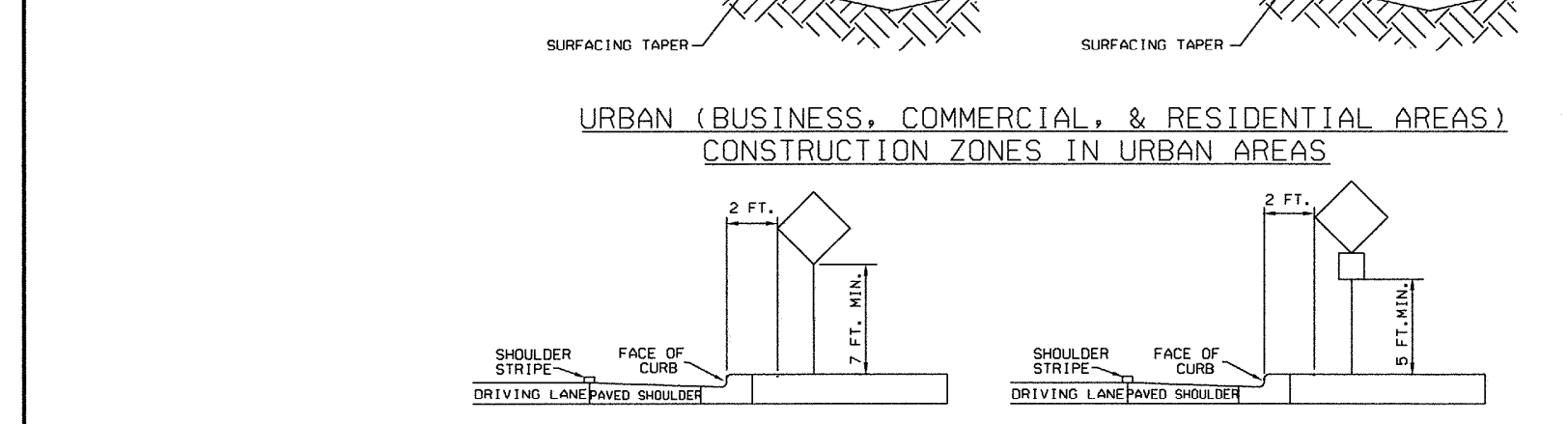
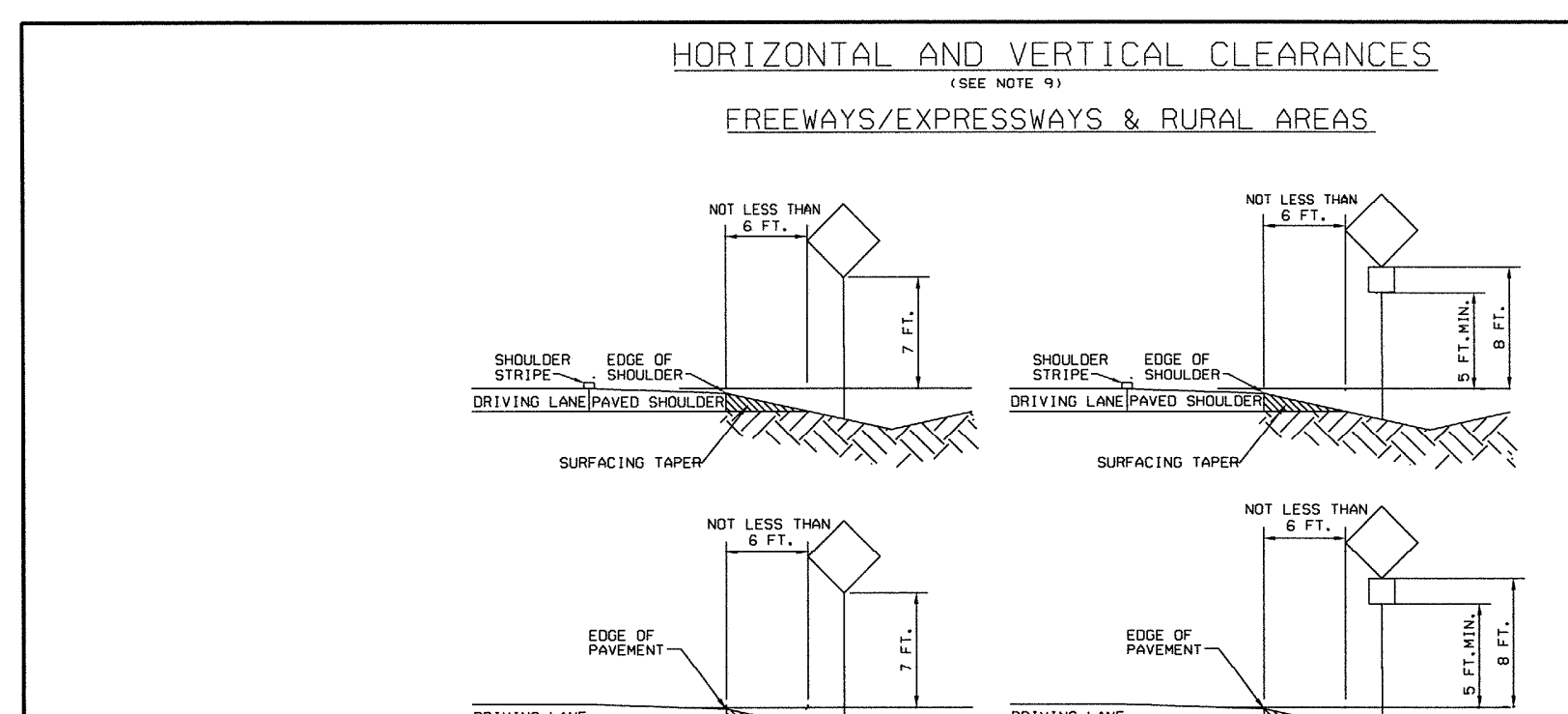
NO.	DATE	REV. BY	DESCRIPTION

NEW MEXICO  
DEPARTMENT OF TRANSPORTATION  
STANDARD DRAWING

SMALL SIGN SUPPORT  
INSTALLATION DETAILS

DESIGNED BY: \_\_\_\_\_ DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

701-02-1/3 SHEET 1 OF 3



#### GENERAL NOTES:

- ALL SQUARE TUBING SIGN POST REQUIREMENTS ARE BASED ON A 18 OR 12 GAUGE THICKNESS, ASTM A788 GRADE 50 STEEL, A MINIMUM YIELD STRENGTH OF 68,000 PSI AND A 70 MPH WIND LOAD. ALL U-CHANNEL SIGN POSTS REQUIREMENTS ARE BASED ON A MINIMUM YIELD STRENGTH OF 68,000 PSI AND 10 MPH WIND LOAD. SEE THE MUTED & STANDARD HIGHWAY SIGNS MANUAL, CURRENT EDITION FOR FURTHER GUIDANCE.
- FOR CONSTRUCTION SIGNING & PERMANENT SINGLE AND TRIPLE POST INSTALLATIONS, SMALLER POST CROSS SECTIONS MAY BE USED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND THE RECOMMENDATIONS DETAILED IN NOTE 1.
- TOP EDGE OF POSTS SHALL NOT EXTEND PAST TOP EDGE OF SIGN.
- STEEL POSTS, BASE POSTS, AND SLIP BASES FOR ALUMINUM PANEL SIGNS SHALL BE SELECTED FROM THE DEPARTMENT'S APPROVED PRODUCT LIST. ALL SIGNS MOUNTED WITHIN THE CLEAR ZONE SHALL BE INSTALLED TO A NON-SAPRO REPORT 350 APPROVED SIGN POST/BASE POST BREAKAWAY SYSTEM UNLESS INSTALLATION IS LOCATED BEHIND A NON-SAPRO REPORT 350 APPROVED SIGN INSTALLATION. CONFIGURATIONS OR SYSTEMS NOT SHOWN MAY BE USED AS RECOMMENDED BY THE MANUFACTURER WITH APPROVAL OF THE DISTRICT TRAFFIC ENGINEER.
- FOR INSTALLATIONS ON WEAK (SOFT) SOIL, SOIL PLATES SHALL BE USED AS RECOMMENDED BY THE MANUFACTURER. PAYMENT FOR SOIL PLATES SHALL BE INCIDENTAL TO THE SIGN INSTALLATION.
- BASE POSTS SHALL NOT EXTEND MORE THAN 4" ABOVE GROUND LEVEL AND SHALL BE OF THE SAME WEIGHT/GAUGE AND TYPE AS THE SIGN POST.
- INTERMIXING OF U-CHANNEL AND SQUARE TUBING POSTS, POSTS OF DIFFERENT WEIGHTS/GAUGES OR PRODUCT BRANDS IS NOT ALLOWED EXCEPT WHERE RECOMMENDED BY THE MANUFACTURER.
- HORIZONTAL CLEARANCES APPLY TO INSTALLATIONS ON LEFT AND RIGHT SIDE OF ROADWAY.
- SUPPLEMENTAL SIGNS SHALL NOT BE ATTACHED DIRECTLY TO PRIMARY PANELS ON EITHER PERMANENT OR CONSTRUCTION SIGNING INSTALLATIONS.
- SPACING BETWEEN SUPPLEMENTAL PANELS AND PRIMARY PANELS SHALL NOT EXCEED 4'.
- SIGN PANELS PLACED PARALLEL TO TRAFFIC SHALL BE MOUNTED ON A MULTI-DIRECTIONAL BREAKAWAY SYSTEM. (SEE SERIAL 701-02-3/3)

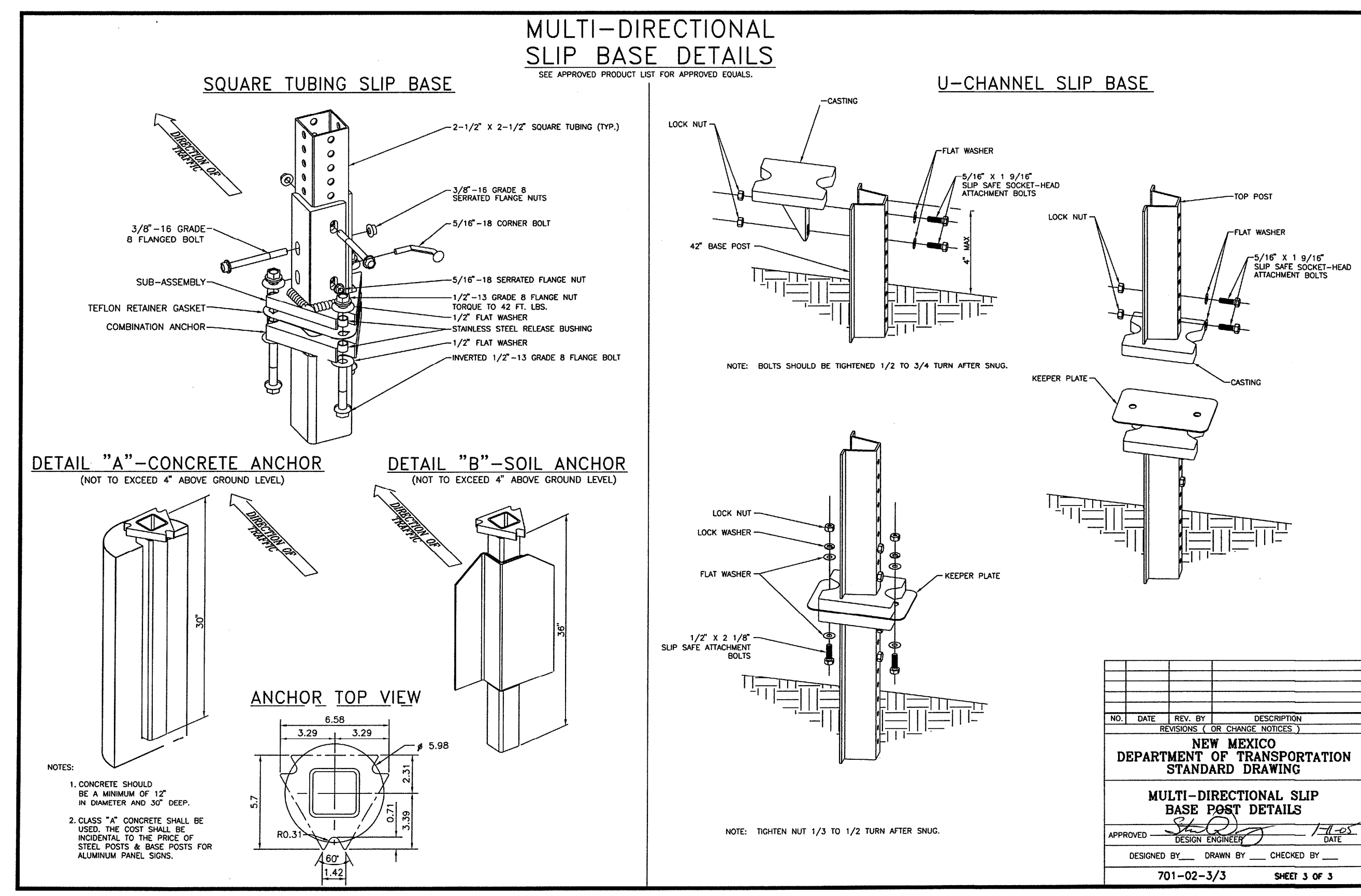
NO.	DATE	REV. BY	DESCRIPTION

NEW MEXICO  
DEPARTMENT OF TRANSPORTATION  
STANDARD DRAWING

SMALL SIGN SUPPORT  
INSTALLATION DETAILS

DESIGNED BY: \_\_\_\_\_ DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

701-02-2/3 SHEET 2 OF 3



#### TRAFFIC SIGN NOTES:

- ALL TRAFFIC SIGNS TO CONFORM TO AASHTO, MUTCD AND LEA COUNTY REGULATIONS.
- CONTRACTOR TO INSTALL ALL TRAFFIC SIGNS BEFORE ROADWAYS ARE OPEN TO TRAFFIC.

JAMES OWENSBY  
TIGER TRAIL SUBDIVISION  
TRAFFIC SIGN DETAILS

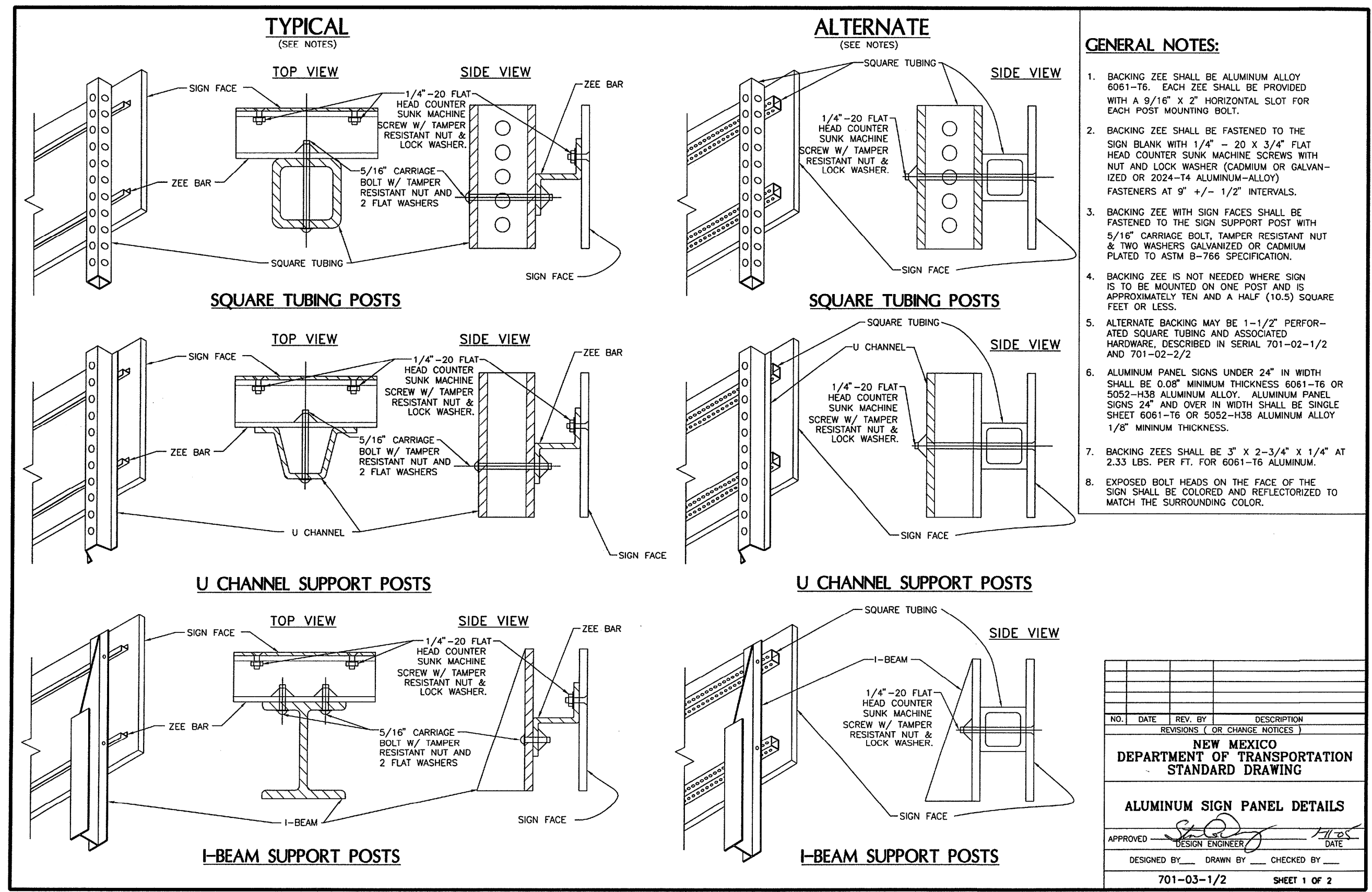
the ROSS GROUP  
CONSULTING ENGINEERS  
410 N. DAL PASO  
HOBBBS, NEW MEXICO 88240  
(575) 392-7918 TELE.  
(575) 392-9114 FAX

Drawn By: SMM	Checked by: PLR
Date: 5/10/16	Disk: GENERAL
File Name: TRAFFIC	Job No.:

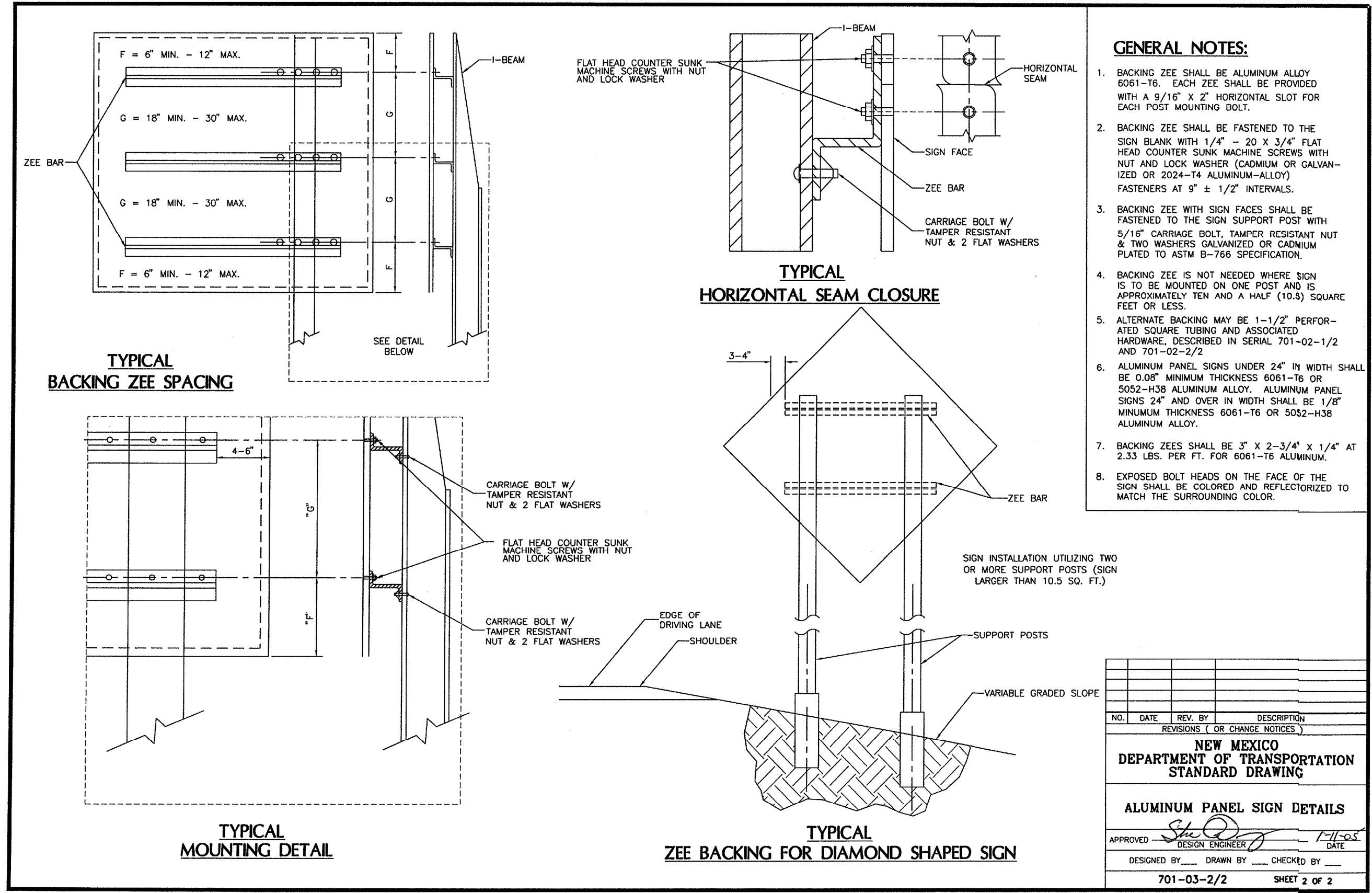
SHEET  
**T1**  
T1 of T2 sheets

NO.	DATE	REVISED:	BY	CHK	ENGR	APP.
1						
2						
3						
4						
5						

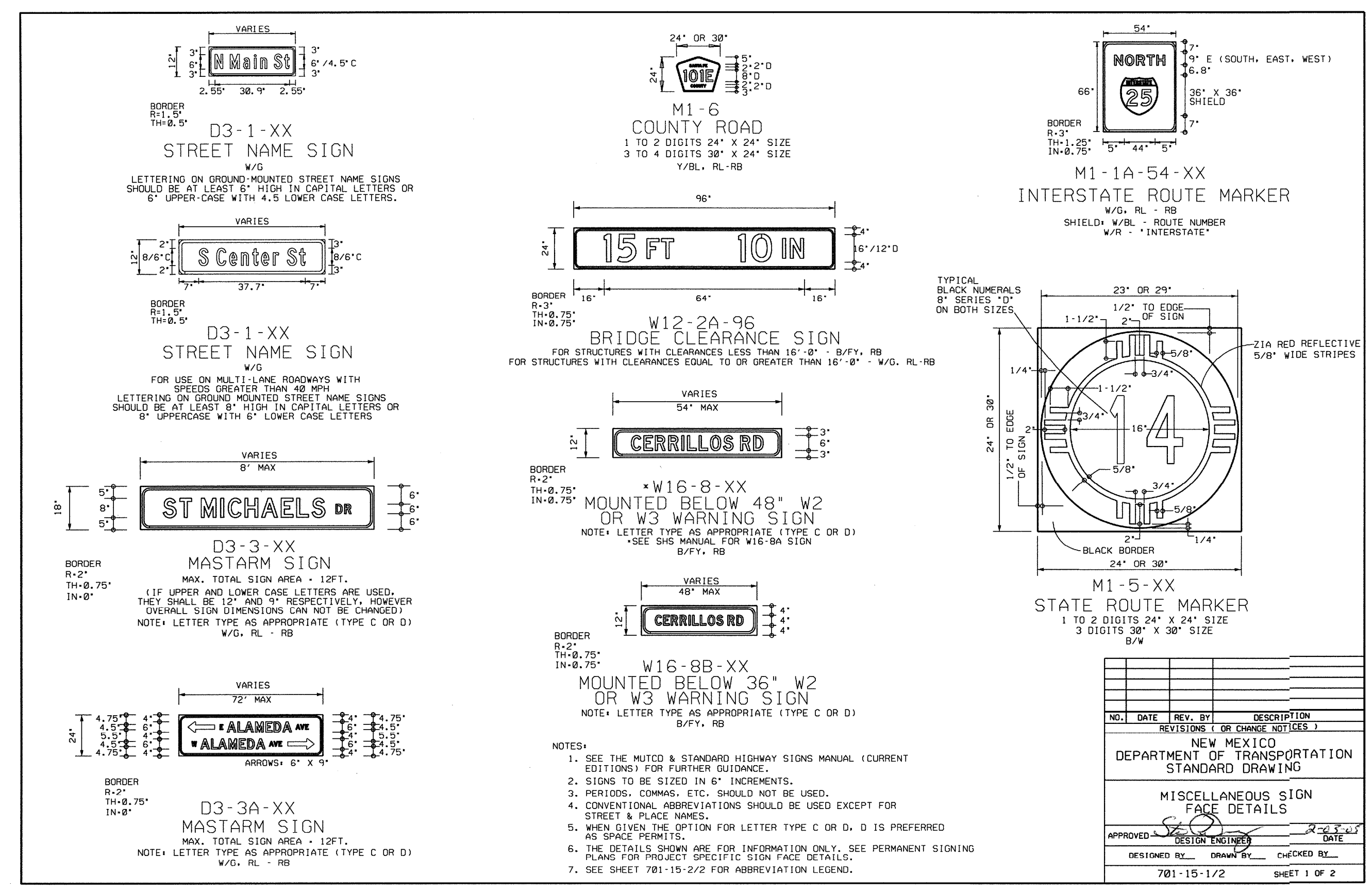




NO.	DATE	REV. BY	DESCRIPTION
NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD DRAWING			
ALUMINUM SIGN PANEL DETAILS			
APPROVED	DESIGNED	ENGINEER	DATE
DESIGNED BY	DRAWN BY	CHECKED BY	
701-03-1/2		SHEET 1 OF 2	



NO.	DATE	REV. BY	DESCRIPTION
NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD DRAWING			
ALUMINUM SIGN PANEL DETAILS			
APPROVED	DESIGNED	ENGINEER	DATE
DESIGNED BY	DRAWN BY	CHECKED BY	
701-03-2/2		SHEET 2 OF 2	



NO.	DATE	REV. BY	DESCRIPTION
NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD DRAWING			
MISCELLANEOUS SIGN FACE DETAILS			
APPROVED	DESIGNED	ENGINEER	DATE
DESIGNED BY	DRAWN BY	CHECKED BY	
701-15-1/2		SHEET 1 OF 2	

NO.	DATE	REV. BY	DESCRIPTION
1			
2			
3			
4			
5			

JAMES OWENSBY  
TIGER TRAIL SUBDIVISION  
TRAFFIC SIGN DETAILS CONTINUED

the ROSS GROUP  
CONSULTING ENGINEERS  
410 N. DAL PASO  
HOBBBS, NEW MEXICO 88240  
(575) 392-7918 TELE.  
(575) 392-9114 FAX

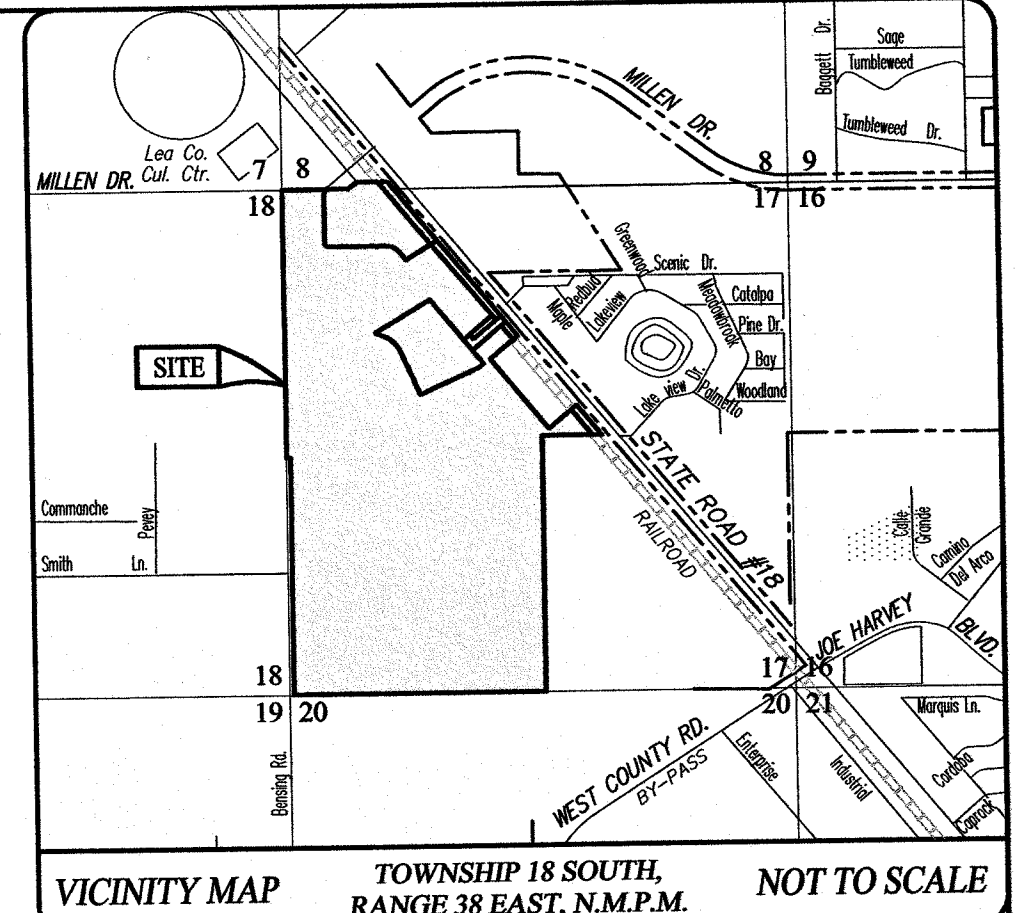
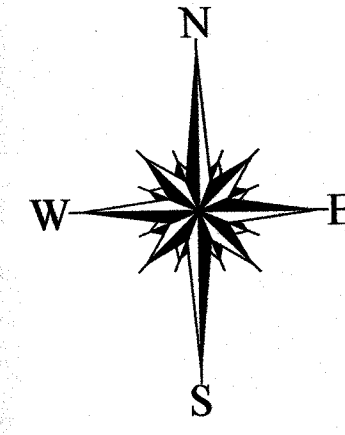
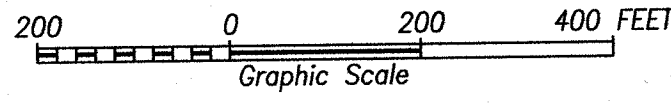
Drawn By:	Checked by:
SMM	PLR
Date:	Disk:
5/10/16	GENERAL
File Name:	Job No.:
TRAFFIC	

SHEET  
**T2**  
T2 of T2 sheets

**July 18, 2016 Planning Board Regular Meeting Agenda**

- 7) **Report of Subdivisions approved via MC 16.12 – Alternate Summary Procedure since March 15, 2016.**

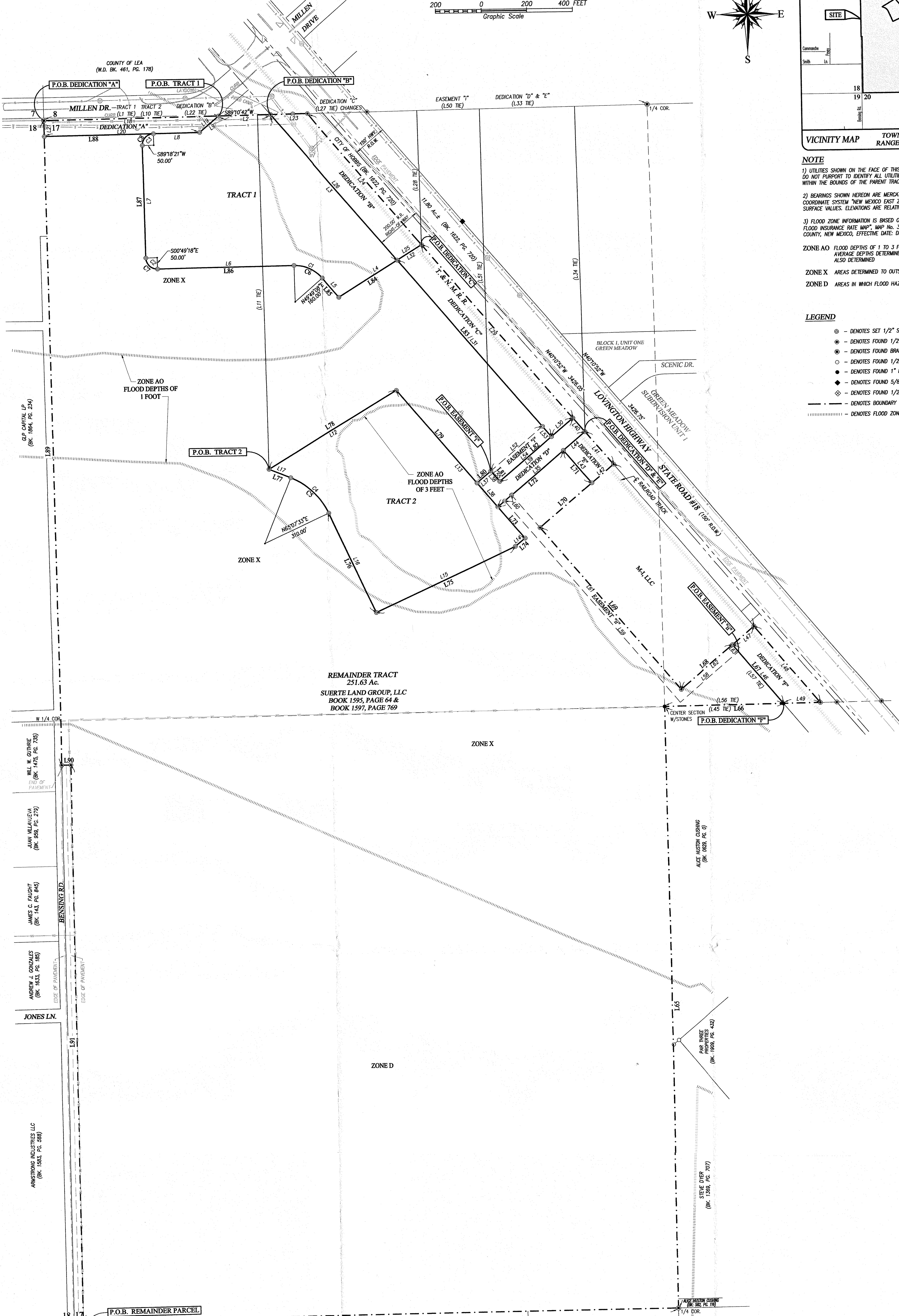
SUERTE LAND DIVISION NO. 3  
LOCATED IN SECTION 17,  
TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M.,  
CITY OF HOBBS, LEA COUNTY, NEW MEXICO



VICINITY MAP TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M. NOT TO SCALE

**NOTE**  
1) UTILITIES SHOWN ON THE FACE OF THIS PLAN ARE FOR INFORMATIONAL PURPOSES ONLY AND DO NOT PURPORT TO IDENTIFY ALL UTILITIES OR FACILITIES, PUBLIC OR PRIVATE, WHICH ARE WITHIN THE BOUNDS OF THE PARENT TRACT.  
2) BEARINGS SHOWN HEREON ARE MERCATOR GRID AND CONFORM TO THE NEW MEXICO COORDINATE SYSTEM "NEW MEXICO EAST ZONE" NORTH AMERICAN DATUM 1983. DISTANCES ARE SURFACE VALUES. ELEVATIONS ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM 1988.  
3) FLOOD ZONE INFORMATION IS BASED ON FEDERAL EMERGENCY MANAGEMENT AGENCY, "FIRM - FLOOD INSURANCE RATE MAP", MAP No. 3502SC11700 AND MAP No. 3502SC13300, FOR LEA COUNTY, NEW MEXICO, EFFECTIVE DATE: DECEMBER 16, 2008.  
ZONE AO FLOOD DEPTHS OF 1 TO 3 FEET; USUALLY SHEET FLOW ON SLOPING TERRAIN; AVERAGE DEPTHS DETERMINED FOR AREAS OF ALLUVIAL FAN FLOODING, VELOCITIES ALSO DETERMINED  
ZONE X AREAS DETERMINED TO OUTSIDE OF 500-YEAR FLOOD-PLAIN  
ZONE D AREAS IN WHICH FLOOD HAZARDS ARE UNDETERMINED, BUT POSSIBLE

**LEGEND**  
● - DENOTES SET 1/2" STEEL ROD W/CAP MARKED "JWSC P.S. 12641"  
○ - DENOTES FOUND 1/2" STEEL ROD W/CAP MARKED "JWSC P.S. 12641"  
○ - DENOTES FOUND BRASS CAP IN CONCRETE  
○ - DENOTES FOUND 1/2" STEEL ROD  
○ - DENOTES FOUND 1" IRON PIPE  
◆ - DENOTES FOUND 5/8" STEEL ROD W/ALUMINUM CAP MARKED "HICKS #12348"  
◇ - DENOTES FOUND 1/2" STEEL ROD W/CAP MARKED "PS 676"  
--- - DENOTES BOUNDARY OF PARENT TRACT  
- - - - - DENOTES FLOOD ZONE BOUNDARY



REMAINDER TRACT  
251.63 Ac.  
SUERTE LAND GROUP, LLC  
BOOK 1595, PAGE 64 &  
BOOK 1597, PAGE 769

W 1/4 COR.  
MILL W. OUTBURE (BK. 1475, PG. 259)  
END OF PAVEMENT  
ANN WILKINSON (BK. 858, PG. 273)  
JAMES C. FLIGHT (BK. 143, PG. 845)  
ANDREW J. GONZALES (BK. 1624, PG. 105)  
EDGE OF PAVEMENT  
JONES LN.

AMERICAN ASSET MANAGEMENT INC. (BK. 462, PG. 681)

BRETT CLAY (TRACT C) (BK. 1800, PG. 340)

BRETT CLAY (TRACT B) (BK. 1800, PG. 340)

RD TODD REAL ESTATE LLC (BK. 1597, PG. 489)

ALICE HUSTON CUSHING (BK. 1028, PG. 0)

STEVE DYER (BK. 1369, PG. 107)

ALICE HUSTON CUSHING (BK. 1028, PG. 0)

© DancoS | Summary Subdivision | 2015 | 15110246 | Suerte Land Group, S17 T18 R38 File No.: E-3463 Date: 10/12/15

LEA COUNTY SEAL  
STATE OF NEW MEXICO COUNTY OF LEA FILED  
\_\_\_\_\_ 2015  
at \_\_\_\_\_ o'clock \_\_\_\_\_ M  
and recorded in:  
Cabinet \_\_\_\_\_ Slide \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_  
Pat Chappelle, Lea County Clerk  
By \_\_\_\_\_ Deputy

Sheet 1 of 2  
PROVIDING SURVEYING SERVICES SINCE 1946  
JOHN WEST SURVEYING COMPANY  
412 N. DAL PASO HOBBES, N.M. 88240  
(575) 393-3117 www.jwsurvey.com  
TRFCS# 100221000



46038

# SUMMARY SUBDIVISION OF HIGHLAND PARK ADDITION, BLOCK 110, RESUBDIVISION OF LOT 6, 7 AND 8

LOCATED IN THE NW1/4 OF SECTION 34, T18S, R38E, N.M.P.M., CITY OF HOBBS, LEA COUNTY, NEW MEXICO

RECORD DESCRIPTION - PER DEED BOOK 878, PAGE 108

FOR SURFACE TITLE ONLY:

Lots Six(6), Seven (7) and Eight (8), Block One Hundred Ten (110) of the Highland Park Addition to the City of Hobbs, Lea County, New Mexico subject to reservation, restrictions and easements appearing of record.

NEW DESCRIPTION LOT 6A

A tract of land located in the NW1/4 of Section 34, Township 18 South, Range 38 East, N.M.P.M., Hobbs, Lea County, New Mexico and being more particularly described as follows:

Beginning at a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348", being used as the northwest corner of Block 110 of the Highland Park Addition, Book 6, Page 186; thence N89°28'54"E 112.47 feet along the south right of way line of Alston Street to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S00°52'35"E 69.99 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S89°28'38"W 112.48 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N00°52'10"W 70.00 feet along the east right of way line of Leech Street to the Point of Beginning.

Containing a total of 0.180 acre±

NEW DESCRIPTION LOT 7A

A tract of land located in the NW1/4 of Section 34, Township 18 South, Range 38 East, N.M.P.M., Hobbs, Lea County, New Mexico and being more particularly described as follows:

Commencing at a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348", being used as the northwest corner of Block 110 of the Highland Park Addition, Book 6, Page 186; thence S00°52'10"E 70.00 feet along the east right of way line of Leech Street to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" for the Point of Beginning; thence N89°28'38"E 112.48 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S00°52'35"E 35.00 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S89°28'38"W 112.48 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N00°52'10"W 35.00 feet along the east right of way line of Leech Street to the Point of Beginning.

Containing a total of 0.090 acre±

NEW DESCRIPTION LOT 8A

A tract of land located in the NW1/4 of Section 34, Township 18 South, Range 38 East, N.M.P.M., Hobbs, Lea County, New Mexico and being more particularly described as follows:

Commencing at a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348", being used as the northwest corner of Block 110 of the Highland Park Addition, Book 6, Page 186; thence S00°52'10"E 105.00 feet along the east right of way line of Leech Street to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" for the Point of Beginning; thence N89°28'38"E 112.48 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S00°52'35"E 35.00 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S89°28'38"W 112.49 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N00°52'10"W 35.00 feet along the east right of way line of Leech Street to the Point of Beginning.

Containing a total of 0.090 acre±

PRIVATE UTILITY EASEMENT

Easterly 10 feet of Lots numbered 7A and 8A reserved for a private utility easement benefitting Lots 7A and 8A. No permanent structures shall encroach into this easement.

CERTIFICATE OF SURVEY

I, William M. Hicks, III New Mexico Professional Surveyor, hereby certify that this Summary Subdivision Plat was prepared from an actual ground survey performed by me or under my supervision, that this survey is true and correct to the best of my knowledge and belief. That this Summary Subdivision Plat and the field survey upon which it is based meet the Minimum Standards for Surveying in New Mexico.

*William M. Hicks, III*  
William M. Hicks, III NMPS #12348  
2-15-2016  
Date

OWNERS STATEMENT AND AFFIDAVIT

State of New Mexico:  
County of Lea:

The undersigned first duly sworn on oath, state: On behalf of the owners and proprietors we have of our own free will and consent caused this plat with its tracts to be platted. The property described on this plat lies within the platting jurisdiction of City of Hobbs.

By *Antonio G. Quiroz*  
Antonio G. Quiroz individually and as surviving joint tenant of Refugia Quiroz, deceased.

ACKNOWLEDGMENT

State Of New Mexico:  
County Of Lea:

On this 18th day of February, 2016, before me, *Antonio G. Quiroz* to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Witness my hand and official seal the day and year last above written.

My commission expires: 4/1/16  
*Tonya Jones*  
Notary Public  
OFFICIAL SEAL  
TONYA JONES  
NOTARY PUBLIC-STATE OF NEW MEXICO  
My Commission Expires 4/1/16

CERTIFICATE OF MUNICIPAL APPROVAL

I, Kevin Robinson, Lead Project Manager for the City of Hobbs, Lea County, New Mexico, do hereby certify that the foregoing plat in the City of Hobbs, Lea County, New Mexico, was reviewed and deemed compliant with the Municipal Summary Process Regulations and all properties noted as being dedicated to the public are hereby accepted by the municipality on this 19th day of February, 2016.

*Kevin Robinson*  
Kevin Robinson, Lead Project Manager

*Jan Fletcher*  
Jan Fletcher, City Clerk

ACKNOWLEDGMENT

State of New Mexico:  
County of Lea:

On this 19th day of February, 2016, before me, Kevin Robinson and Jan Fletcher to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

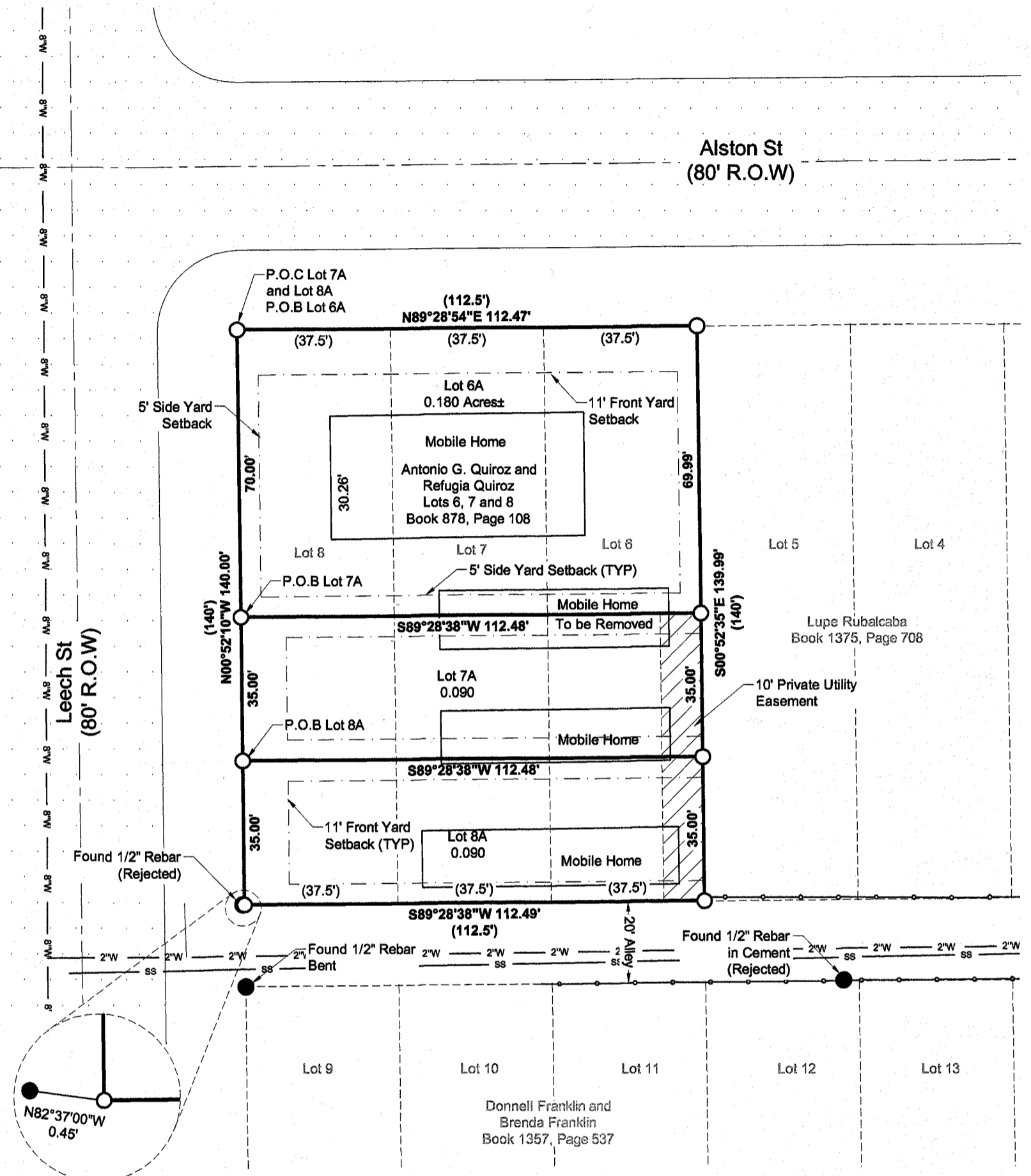
Witness my hand and official seal the day and year last above written.

My Commission Expires: 11-4-18  
*Chelsea Sharp*  
Notary Public

OFFICIAL SEAL  
Chelsea Sharp  
NOTARY PUBLIC  
STATE OF NEW MEXICO  
My Commission Expires: 11-4-18

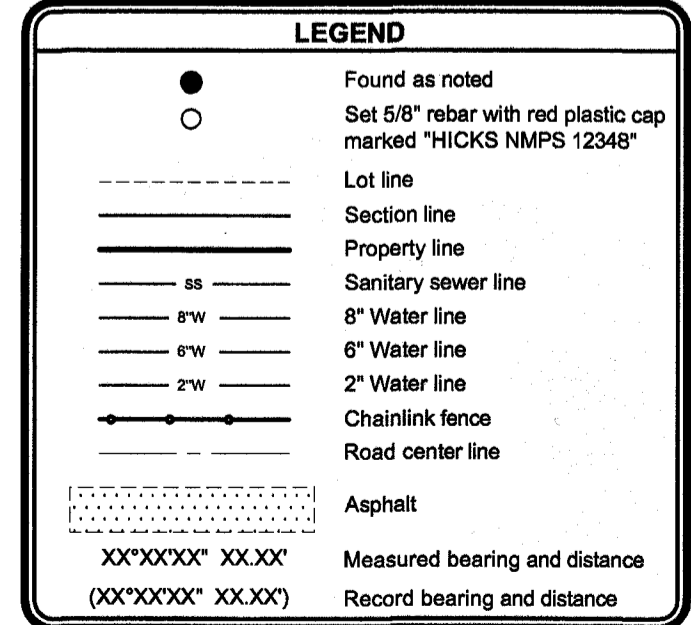
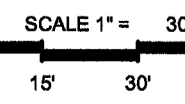
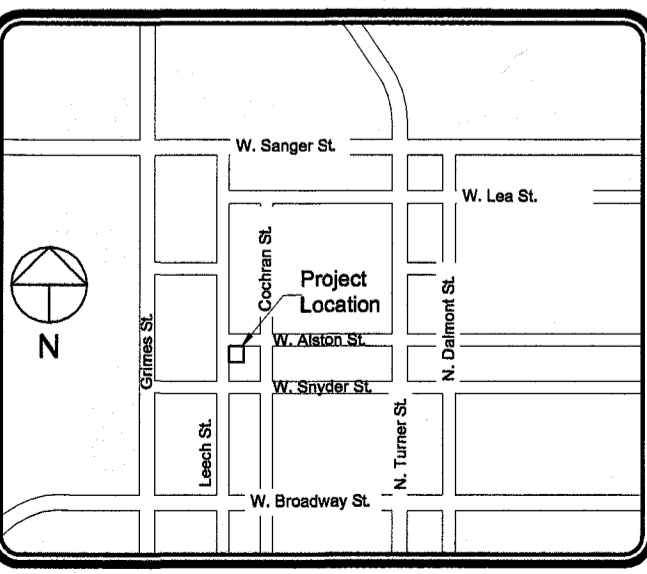
BASIS OF BEARING

The basis of bearing for this survey is Grid North based on the New Mexico State Plane Coordinate System, East Zone, as determined by GPS/GNSS observations. Ground coordinates are modified by scaling about a control point located at N32°40'03.84577", W103°10'44.87982" by a combined scale factor of 0.99988244732. True north can be obtained by applying a convergence angle of 0°38'88" at the Point of Beginning.



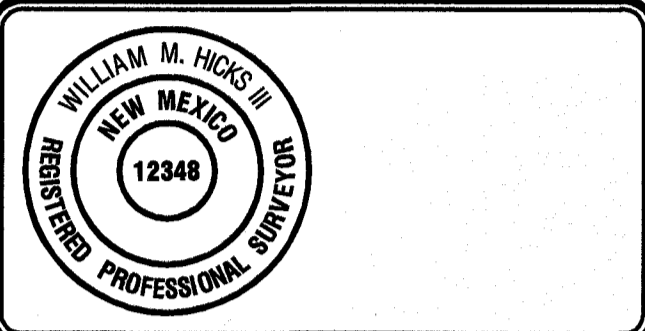
PRIOR TO LOTS BEING CONVEYED

Habitable Units to be fully contained within the tracts and all surface and sub-surface encumbrances shall be resolved prior to fee-simple conveyance of tract or permitting of new structures.



**PETTIGREW & ASSOCIATES PA**  
ENGINEERING | SURVEYING | TESTING  
DEFINING QUALITY SINCE 1965  
100 E. Navajo - Suite 100, Hobbs New Mexico 88240  
T 575 393 9827 F 575 393 1543  
Pettigrew.us

PROJECT SURVEYOR: J. Baker  
DRAWN BY: D. Trevizo



INDEXING INFORMATION FOR COUNTY CLERK  
OWNER: Antonio G. Quiroz and Refugia Quiroz  
LOCATION: Located in the NW1/4 of Section 34, T18S, R38E, N.M.P.M., City of Hobbs, Lea County, New Mexico.

REVISIONS		
No.	DATE	DESCRIPTION

State of New Mexico, County of Lea  
I here by certify that this instrument was filed for record on:  
The 20th Day of February  
2016 A.D.  
At 12:36 O'Clock P.M.  
Cabinet \_\_\_\_\_ Slide \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_  
By Pat Chappelle County Clerk  
By C. Sandoval Deputy

SUMMARY SUBDIVISION PLAT OF HIGHLAND PARK ADDITION, BLOCK 110, RESUBDIVISION OF LOTS 6, 7, & 8 FOR LEONARD ANDERSON

PROJECT NUMBER: 2016.1011

SHEET: 1 of 1  
SU - 101

45871

**LEA COUNTY CLAIM OF EXEMPTION  
AND CITY OF HOBBS SUMMARY SUBDIVISION**  
TRACT 20, CROSSROADS INTERCONTINENTAL SUBDIVISION  
LOCATED IN THE N1/2 OF NW1/4 OF SECTION 6, T18S, R38E, N.M.P.M., LEA COUNTY, NEW MEXICO

De Vargas Ave.  
(60' ROW)

Found 1/2" Rebar



National Drive  
(60' ROW)

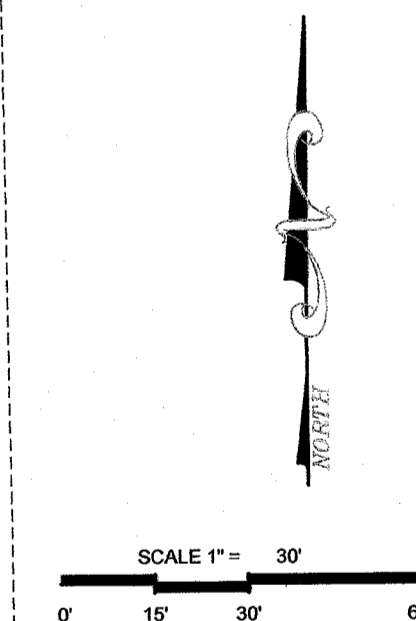
Delta Street  
(60' ROW)

Tract 20B  
Area 1.00 acres  
Arturo Herrera  
Book 1687, Page 115

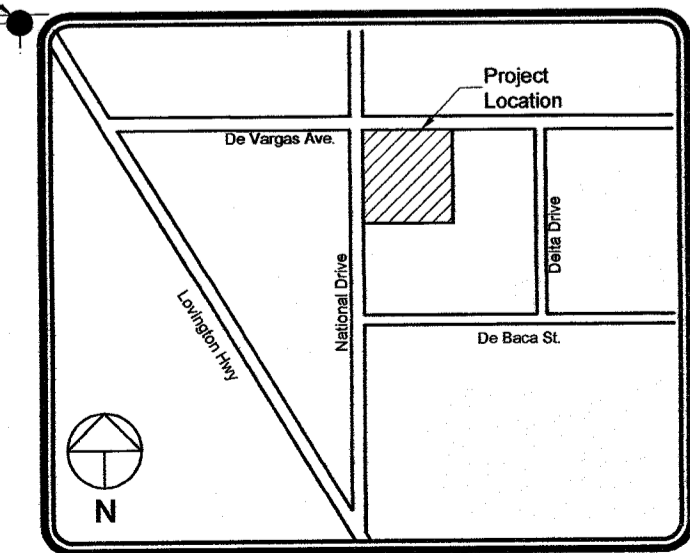
Tract 20A  
Area 0.90 acres  
Arturo Herrera  
Book 1687, Page 115

Tract 19  
Billie Fink  
Book 1692, Page 801

Tract 29  
Frank C. Jr. Gonzales  
Book 1913, Page 698



**BASIS OF BEARING**  
The basis of bearing for this survey is Grid North based on the New Mexico State Plane Coordinate System, East Zone, as determined by GPS/GNSS observations. Ground coordinates are modified by scaling about a control point located at N32°40'03.64577", W103°10'44.87982" by a combined scale factor of 0.9998824473. True north can be obtained by applying a convergence angle of 00°37'04.83" at the Point of Beginning.



LEGEND	
●	Found as noted
○	Set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"
⊙	Well Water
⊕	Sign
⊗	Power pole
—	Road line
- - -	Lot line
—	Property line
- - -	Gas line
- - -	Over head electric line
- x - x -	Barbed wire fence
▨	Easement
XX°XX'XX" XX.XX"	Measured bearing and distance
(XX°XX'XX" XX.XX")	Record bearing and distance

**PETTIGREW & ASSOCIATES PA**  
ENGINEERING | SURVEYING | TESTING  
DEFINING QUALITY SINCE 1965  
100 E. Navajo - Suite 100, Hobbs New Mexico 88240  
T 575 393 9827 F 575 393 1543  
Pettigrew.us

PROJECT SURVEYOR: J. Baker  
DRAWN BY: D. Trevizo

WILLIAM M. HICKS III  
NEW MEXICO  
REGISTERED PROFESSIONAL SURVEYOR  
12348  
6-24-2015

**INDEXING INFORMATION  
FOR COUNTY CLERK**

OWNER:  
Arturo Herrera

LOCATION:  
Located N1/2 of NW1/4 of Section 6,  
T18S, R38E, N.M.P.M., Lea County  
New Mexico

**REVISIONS**

No.	DATE	DESCRIPTION

State of New Mexico, County of \_\_\_\_\_  
I here by certify that this instrument was filed for record on:  
The \_\_\_\_\_ Day of \_\_\_\_\_  
20 \_\_\_\_\_ A.D.  
At \_\_\_\_\_ O'Clock \_\_\_\_\_ M.  
Cabinet \_\_\_\_\_ Slide \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_  
By \_\_\_\_\_  
County Clerk  
By \_\_\_\_\_  
Deputy

**CLAIM OF EXEMPTION AND  
SUMMARY SUBDIVISION PLAT  
OF  
HERRERA  
DIVISION  
FOR  
ARTURO HERRERA**

PROJECT NUMBER:  
**2015.1049**

SHEET: 1 of 2  
**SU - 101**

RECORD DESCRIPTION - DEED BOOK 1687, PAGE 115

FOR SURFACE TITLE ONLY:

Tract Twenty (20), Crossroads Intercontinental subdivision, Lea County, New Mexico.

NEW DESCRIPTION TRACT 20A

A tract of land located in Section 6, T18S, R38E, N.M.P.M, Lea County, New Mexico being more particularly described as follows:

Beginning at a found 1/2" rebar being used as the southwest corner Tract 20, Crossroads Intercontinental Subdivision, as recorded in Book 293, Page 970-A; thence N00°31'42"W along the east right of way line of National Drive, 137.51 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N89°21'21"E 285.09 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" on the east line of Tract 20, Crossroads Intercontinental Subdivision; thence S00°34'47"E along the east line of Tract 20, Crossroads Intercontinental Subdivision, 137.42 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S89°20'20"W along the south line of Tract 20, Crossroads Intercontinental Subdivision, 285.22 feet to the Point of Beginning.

Containing of 0.90 acres ±

NEW DESCRIPTION TRACT 20B

A tract of land located in Section 6, T18S, R38E, N.M.P.M, Lea County, New Mexico being more particularly described as follows:

Commencing at a found 1/2" rebar being used as the southwest corner of Tract 20, Crossroads Intercontinental Subdivision, as recorded in Book 293, Page 970-A; thence N00°31'42"W along the east right of way line of National Drive, 137.51 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" for the Point of Beginning; thence N00°31'42"W along the east right of way line of National Drive, 152.83 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N89°21'21"E along the south right of way line of De Vargas Avenue 284.96 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S00°34'47"E along the east line of Tract 20, Crossroads Intercontinental Subdivision, 152.83 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S89°21'21"W 285.09 feet to the Point of Beginning.

Containing of 1.00 acres ±

CERTIFICATE OF SURVEY

I, William M. Hicks, III New Mexico Professional Surveyor, hereby certify that this Claim of Exemption Plat was prepared from an actual ground survey performed by me or under my supervision, that this survey is true and correct to the best of my knowledge and belief. That this Claim of Exemption Plat and the field survey upon which it is based meet the Minimum Standards for Surveying in New Mexico.

William M. Hicks, III NMPS #12348



6-24-2015 Date

OWNERS STATEMENT AND AFFIDAVIT

State of New Mexico: County of Lea:

The undersigned first duly sworn on oath, state: As the owners and proprietors we have of our own free will and consent caused this plat with its tracts to be platted. The property described on this plat lies within the platting jurisdiction of Lea County New Mexico.

2nd day of September, 2015

By: Arturo Herrera

ACKNOWLEDGMENT

State Of New Mexico: County Of Lea:

On this 2nd day of September, 2015, before me, Arturo Herrera, to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Witness my hand and official seal the day and year last above written.

My commission expires: 4/11/16. Notary Public: Tony Jones, Official Seal, My Commission Expires: 4/11/16.

CERTIFICATE OF APPROVAL OF EXEMPTION TO SUBDIVISION REGULATIONS BY LEA COUNTY:

Pursuant to Lea County Subdivision Regulations, Section 7.5 (1997) the Claim of Exemption meets the division of land to create a parcel that is sold or donated as a gift to an immediate family member; however, this exception shall be limited to allow the seller or donor to sell or give no more than one parcel per tract of land per immediate family member, and is approved for a claim of exemption on this 12th of January, 2015 A.D. Lea County assumes no responsibility for the construction or maintenance of any roadway dedication.

By: Mike Gallagher, County Manager

ACKNOWLEDGMENT

State Of New Mexico: County Of Lea:

On this 12th day of January, 2015, before me, Mike Gallagher, to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Witness my hand and official seal the day and year last above written.

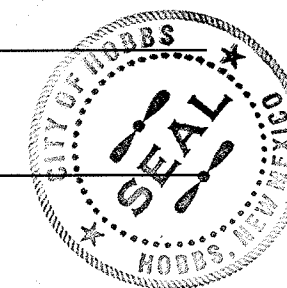
My commission expires: 8-4-18. Notary Public: Jessica Garcia

CERTIFICATE OF MUNICIPAL APPROVAL

I, Kevin Robinson, Development Director for the City of Hobbs, Lea County, New Mexico, do hereby certify that the foregoing plat in the City of Hobbs, Extraterritorial Jurisdiction, Lea County, New Mexico, was reviewed and deemed compliant with the Municipal Summary Process Regulations on this 17th day of February, 2016.

Kevin Robinson, Development Director

Jan Fletcher, City Clerk



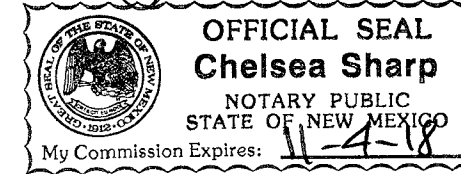
ACKNOWLEDGMENT

State of New Mexico: County of Lea:

On this 17th day of February, 2016, before me, Kevin Robinson and Jan Fletcher to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Witness my hand and official seal the day and year last above written.

My Commission Expires: 11-4-18. Notary Public: Chelsea Sharp



PETTIGREW & ASSOCIATES PA. ENGINEERING | SURVEYING | TESTING. DEFINING QUALITY SINCE 1965. 100 E. Navajo - Suite 100, Hobbs New Mexico 88240. T 575 393 9827 F 575 393 1543. Pettigrew.us

PROJECT SURVEYOR: J. Baker. DRAWN BY: D. Trevizo

INDEXING INFORMATION FOR COUNTY CLERK. OWNER: Arturo Herrera. LOCATION: Located N1/2 of NW1/4 of Section 6, T18S, R38E, N.M.P.M., Lea County New Mexico

Table with 3 columns: No., DATE, DESCRIPTION. Revisions section.

State of New Mexico, County of Lea. I hereby certify that this instrument was filed for record on: The 25th Day of February, 2016 A.D. At 9:49 O'Clock A.M. Cabinet Slide Book Page. By Pat Chappelle, County Clerk. By A Beauchamp, Deputy.

CLAIM OF EXEMPTION AND SUMMARY SUBDIVISION PLAT OF HERRERA DIVISION FOR ARTURO HERRERA

PROJECT NUMBER: 2015.1049

SHEET: 2 of 2. SU - 101



DUNNAM STREET

FOUND BLOCK SPIKE

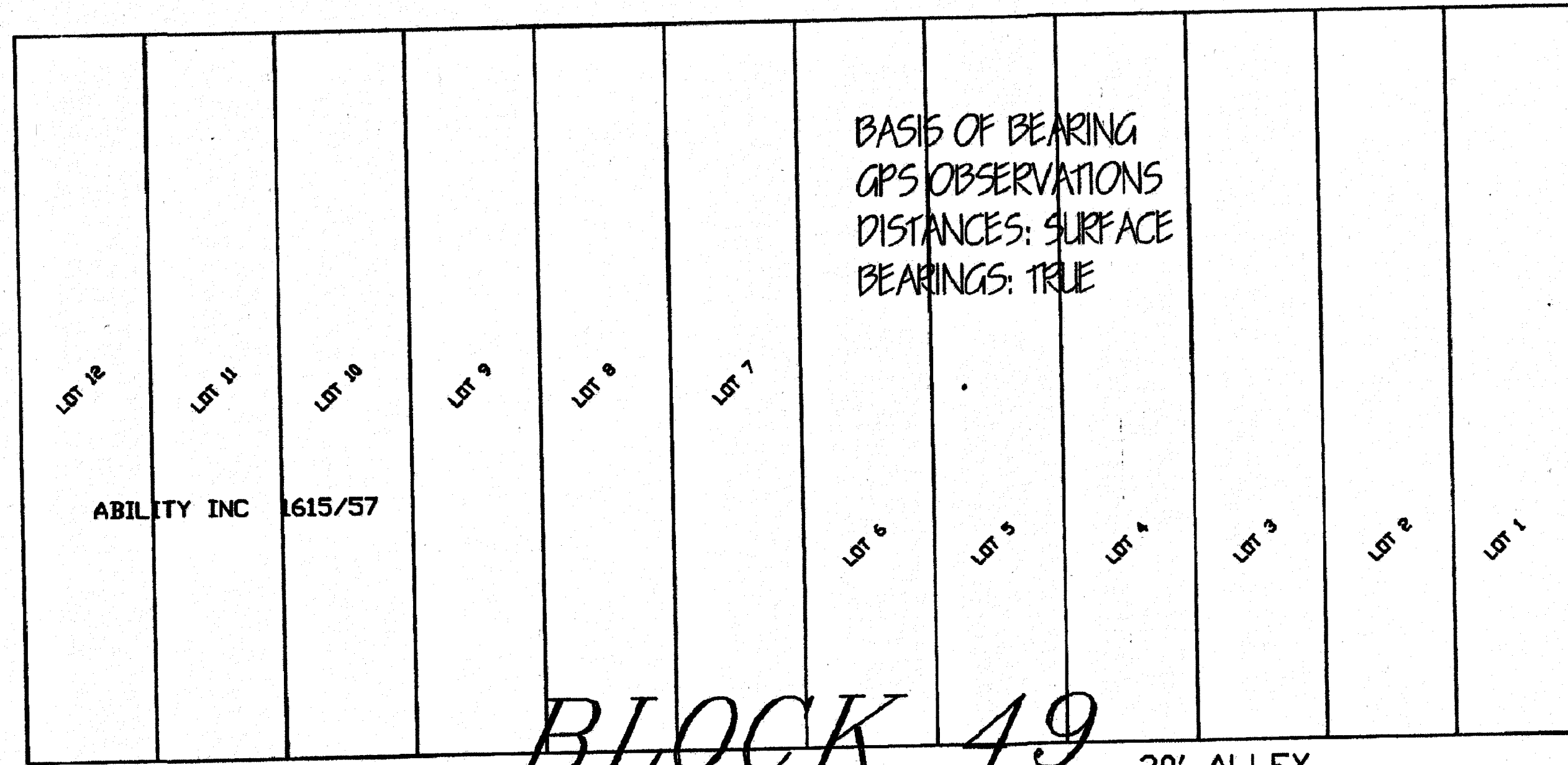
### REPLAT IN BLOCK 49 OF THE AMENDED PLAT OF ORIGINAL HOBBS SUBDIVISION

THIS IS A REPLAT OF LOTS 13 THUR 17 OF BLOCK 49 TO THE AMENDED PLAT OF ORIGINAL HOBBS (BOOK 10, PAGE 33). IN WHICH LOTS 25, 26, & 27 ARE BEING CREATED AND WHOSE PERIMETER IS FURTHER DESCRIBED AS FOLLOWS:

BEGINNING AT THE SW CORNER OF BLOCK 49, WHICH POINT LIES AT THE INTERSECTION OF THE NORTH R.O.W. OF WHITE STREET AND THE EAST R.O.W. OF TURNER STREET; THEN N00°27'01"W, ALONG SAID EAST R.O.W., FOR 140.00 FEET TO THE SOUTH LINE OF AN ALLEY; THEN N89°31'03"E, ALONG SAID SOUTH LINE, FOR 125.00 FEET TO THE WEST LINE OF LOT 18; THEN S00°27'01"E, ALONG SAID WEST LINE, FOR M=139.93 FEET (R=140 FEET) TO THE NORTH R.O.W. OF WHITE STREET; THEN S89°30'03"W, ALONG SAID NORTH R.O.W., FOR 125.00 FEET TO THE POINT OF BEGINNING. CONTAINING ±0.40 ACRES, MORE OR LESS.

*[Signature]*  
JERRY SOLORZANO  
*[Signature]*  
MALDONADO FERNANDO  
*[Signature]*  
IGLESIA IMPACTO CENTRO CRISTIANO  
JOEL CONTRERAS, PASTOR OF  
IGLESIA IMPACTO CENTRO CRISTIANO

TURNER STREET

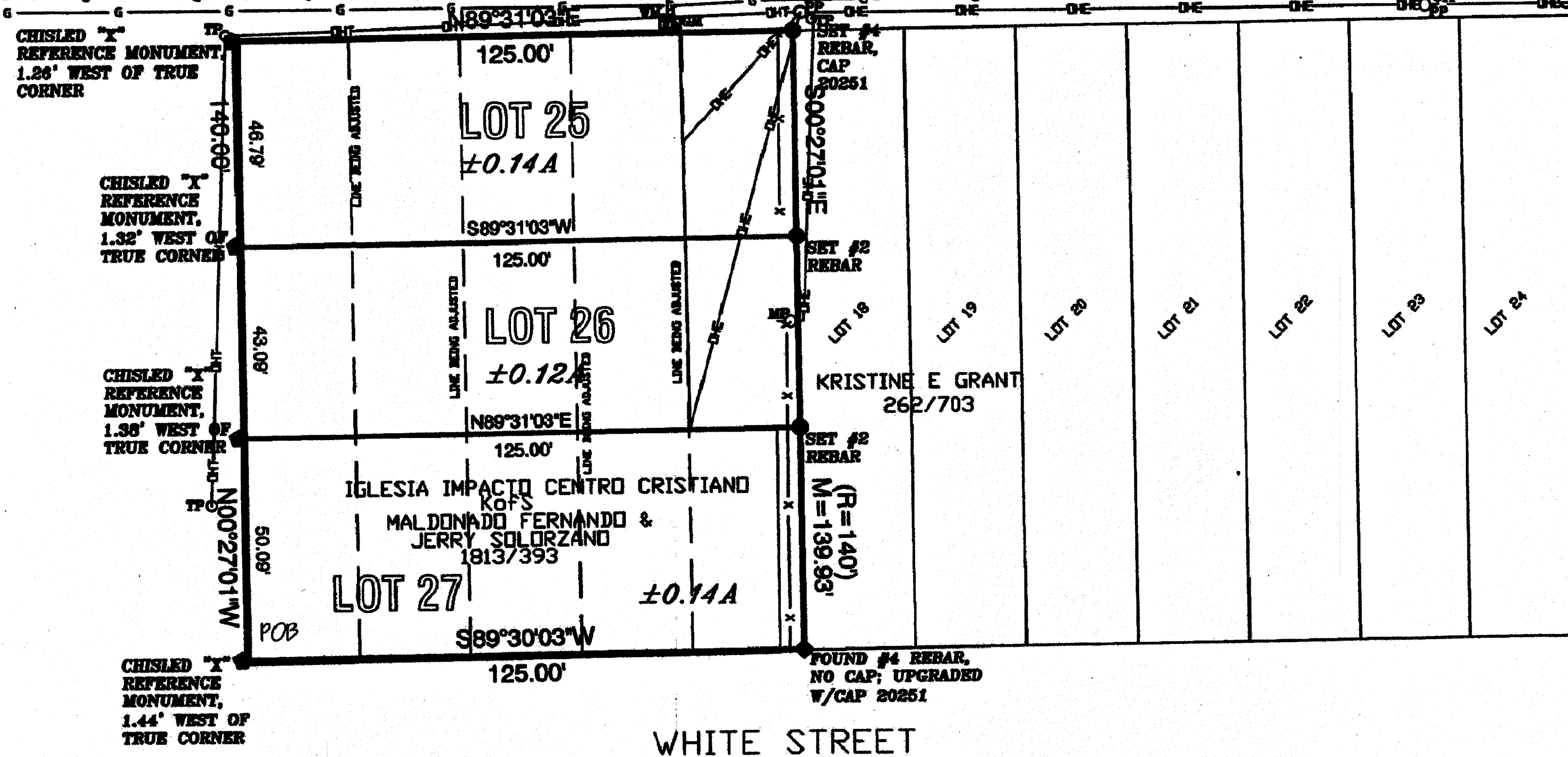


## BLOCK 49

20' ALLEY

20' ALLEY

DALMONT STREET

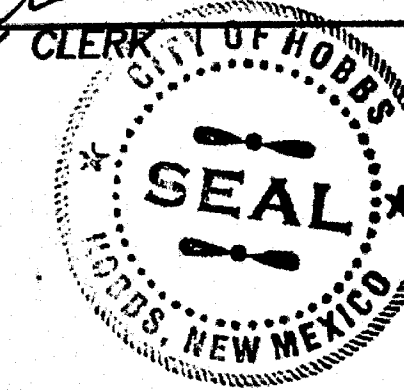


#### CERTIFICATE OF MUNICIPAL APPROVAL

THIS IS TO CERTIFY, THAT KEVIN ROBINSON, THE LEAD PROJECT MANAGER FOR THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, HAS REVIEWED AND DEEMED COMPLIANT WITH THE MUNICIPAL SUMMARY PROCESS REGULATIONS ON THIS 7<sup>TH</sup> DAY OF FEBRUARY 2014.

*[Signature]*  
KEVIN ROBINSON, LEAD PROJECT MANAGER

*[Signature]*  
JAN FLETCHER, CITY CLERK



#### OWNERS STATEMENT AND AFFIDAVIT

STATE OF New Mexico : SS  
COUNTY OF Lea :  
THE ABOVE SIGNED BEING FIRST DULY SWORN ON OATH, STATE:

AS THE OWNERS AND PROPRIETORS WE HAVE OF OUR OWN FREE WILL AND CONSENT CAUSED THIS PLAT WITH ITS LOTS TO BE PLATTED. THE PROPERTY DESCRIBED ON THIS PLAT LIES WITHIN THE PLATTING JURISDICTION OF:

#### CITY OF HOBBS

SUBSCRIBED, SWORN TO AND ACKNOWLEDGED BEFORE ME  
THIS 4 DAY OF January, 2014

BY Fernando Maldonado  
*[Signature]*

AND Jerry Solorzano  
*[Signature]*

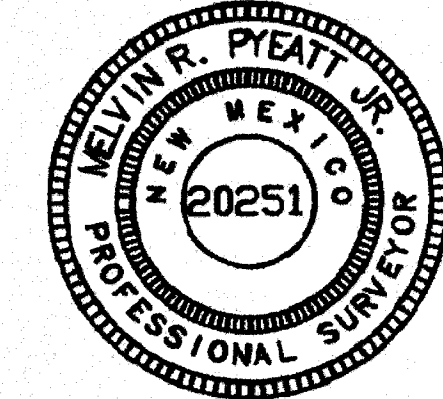
AND Joel Contreras  
*[Signature]*

*[Signature]*  
NOTARY PUBLIC

I, MELVIN R. PYEATT, JR., A NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR, CERTIFY THAT I CONDUCTED, AND AM RESPONSIBLE FOR THIS SURVEY, AND THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO.

*[Signature]*

MELVIN R. PYEATT, JR., 423 W. GREENE ST., CARLSBAD, N.M., 88220  
CERTIFICATE NO. 20251 TELE. 885-6867 FAX 885-6867



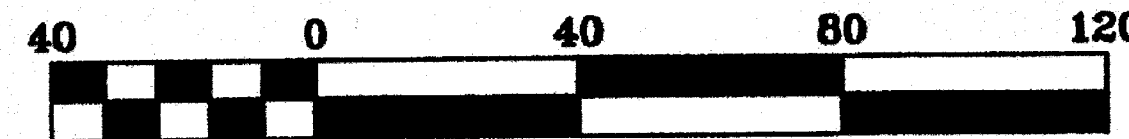
FOUND #4 REBAR, NO CAP

#### ABBREVIATIONS

- FP POWER POLE
- MP METER ON POLE
- TP TELEPHONE POLE
- MH MANHOLE
- WM WATER METER
- GM GAS METER
- FH FIRE HYDRANT

#### LEGEND

- ◇ CORNER
- FOUND CORNER
- SET CORNER
- REFERENCE MONUMENT
- SET/FOUND
- NEW & OLD EASEMENTS LINE
- BEING ADJUSTED/ DISOLVED
- OVERHEAD ELECTRIC LINE
- OVERHEAD TELEPHONE LINE
- WATER LINE
- GAS LINE
- SEWER LINE
- FENCE LINE



Scale 1" = 40'



STATE OF NEW MEXICO, COUNTY OF LEA, I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD ON THE 11 DAY OF March, 2014 A.D. AT 1:04 O'CLOCK P.M. BOOK 1881 PAGE 402 Pat Chappelle-COUNTY CLERK BY [Signature] DEPUTY

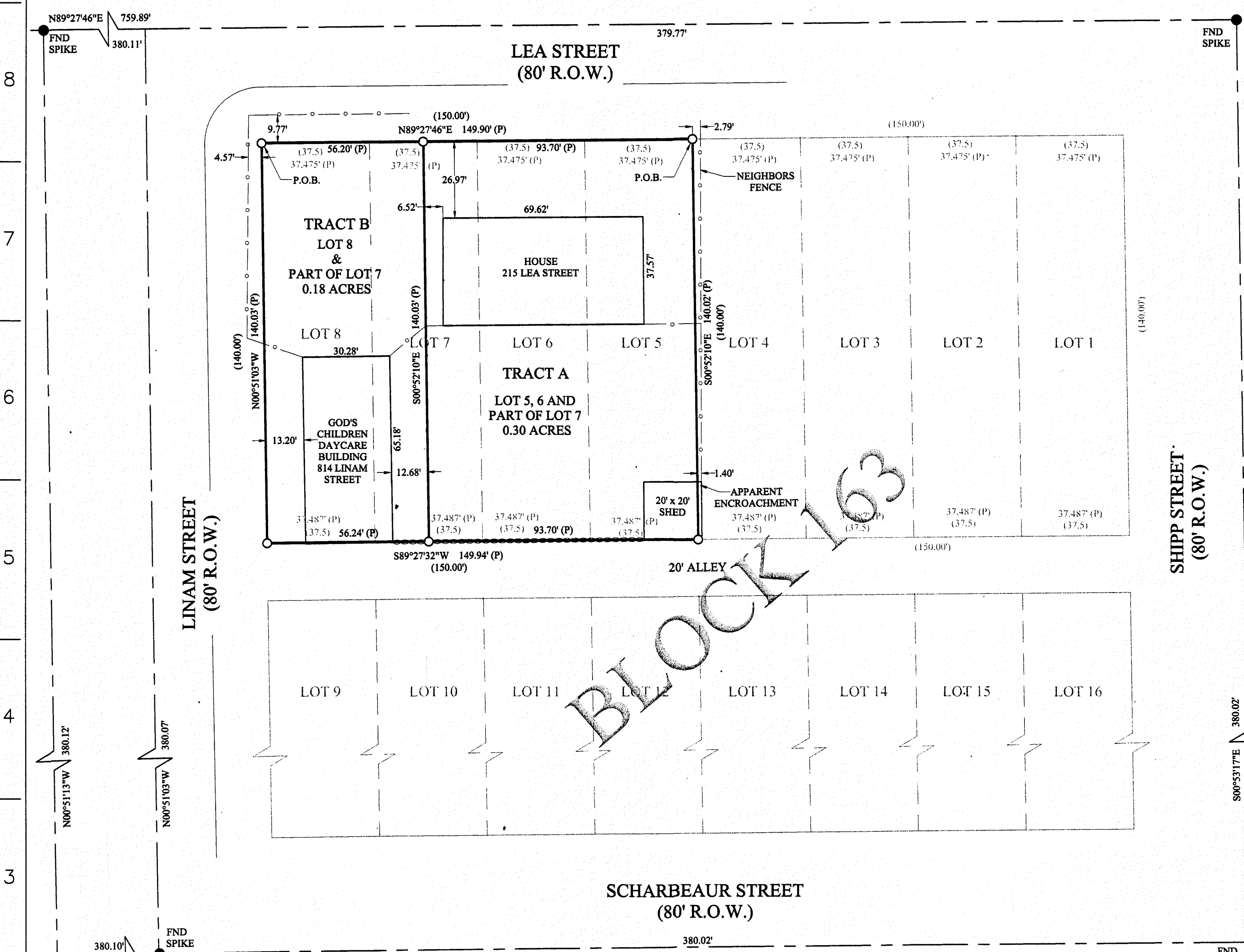
#### R&R Surveying, LLC

A LAND SURVEYING COMPANY  
INDEXING INFO. FOR CO. CLERK  
SEC. 34 T18S E38E N.M.P.M.  
SUBDIVISION: REPLAT IN BLOCK 49 OF THE AMENDED PLAT OF HOBBS  
OWNERS: IGLESIA IMPACTO CENTRO CRISTIANO KofS MALDONADO FERNANDO & JERRY SOLORZANO  
CITY: HOBBS  
COUNTY: LEA  
STATE: NEW MEXICO  
DATE: OCTOBER 26, 2013  
ACCESS: YES  
AREA: ±0.40 ACRES TOGETHER



# REPLAT LOTS 5, 6, 7, 8, BLOCK 163,

## HIGHLAND PARK ADDITION TO THE CITY OF HOBBS, LOCATED IN SECTION 34, T18S, R38E, N.M.P.M., CITY OF HOBBS, LEA COUNTY, NEW MEXICO.



### CERTIFICATE OF SURVEY

I, William M. Hicks, III, New Mexico Professional Surveyor, hereby certify that this Boundary Survey Plat was prepared from an actual ground survey performed by me or under my supervision, that this survey is true and correct to the best of my knowledge and belief. That this Boundary Survey Plat and the field survey upon which it is based meet the Minimum Standards for Surveying in New Mexico, and that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act. This is a Boundary Survey Plat of an existing tract or tracts.

*William M. Hicks, III*  
 William M. Hicks, III NMPS #12348  
 Date: July 19, 2009



LEGEND	
SET 5/8" REBAR WITH ALUMINUM CAP MARKED "WM HICKS NMPS 12348"	○
FOUND MONUMENT AS NOTED	●
RECORD DIMENSION	(XX°XX'XX" XXX.XX')
MEASURE DIMENSION	XX°XX'XX" XXX.XX'
CHAIN LINK FENCE	-----
CINDERBLOCK FENCE	=====
PRORATED DISTANCE	(P)

### LEGAL DESCRIPTIONS RECORDED IN DEED BOOK 1299, PAGE 664

Lots 5, 6, 7, & 8, Block 163, Highland Park Addition to the City of Hobbs, Lea County, New Mexico.

**TRACT B**  
 Beginning at a set 5/8" rebar with aluminum cap marked "WM HICKS PS 12348" at the Northwest corner of Lot 8, Block 163, Highland Park Addition to the City of Hobbs, as recorded in Book 6, Page 186, Records of Lea County, New Mexico; thence N89°27'46"E, 56.20 feet to a set 5/8" rebar with aluminum cap marked "WM HICKS PS 12348"; thence S00°52'10"E 140.03 feet to a set 5/8" rebar with aluminum cap marked "WM HICKS PS 12348"; thence S89°27'32"W 56.24 feet to a set 5/8" rebar with aluminum cap marked "WM HICKS PS 12348"; thence N00°51'03"W 140.03 feet to the Point of Beginning and containing 0.18 acres more or less.

**TRACT A**  
 Beginning at a set 5/8" rebar with aluminum cap marked "WM HICKS PS 12348" at the Northeast corner of Lot 5, Block 163, Highland Park Addition to the City of Hobbs, as recorded in Book 6, Page 186, Records of Lea County, New Mexico; thence S00°52'10"E 140.02 feet to a set 5/8" rebar with aluminum cap marked "WM HICKS PS 12348"; thence S89°27'32"W 93.70 feet to a set 5/8" rebar with aluminum cap marked "WM HICKS PS 12348"; thence N00°52'10"W 140.03 feet to a set 5/8" rebar with aluminum cap marked "WM HICKS PS 12348"; thence N89°27'46"E 93.70; to the point to beginning and containing 0.30 acres more or less.

### CERTIFICATE OF MUNICIPAL APPROVAL

I, Joe Dearing, the duly appointed and acting City Planner for the City of Hobbs, Lea County, New Mexico, do hereby certify that the foregoing plat in the City of Hobbs, Lea County, New Mexico, was reviewed and deemed compliant with the Municipal Summary Process Regulations on this 30th day of September, 2009.

*Joe Dearing*  
 Joe Dearing, City Planner

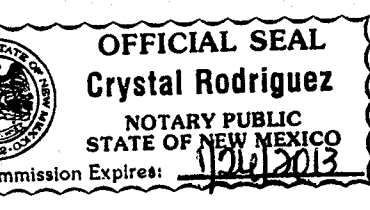


*Jan Fletcher*  
 Jan Fletcher, City Clerk

**ACKNOWLEDGMENT**  
 State of New Mexico:  
 County of Lea:

On this 30th day of September, 2009, before me, Joe Dearing and Jan Fletcher to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Witness my hand and official seal the day and year last above written.  
 My Commission Expires: 11/21/2013  
*Crystal Rodriguez*  
 Crystal Rodriguez  
 Notary Public

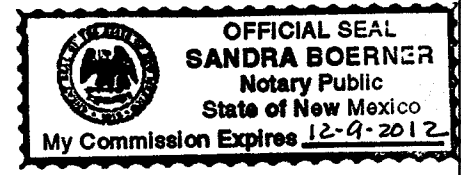


**OWNERS STATEMENT AND AFFIDAVIT**  
 State of New Mexico:  
 County of Lea:

The undersigned first duly sworn on oath, state: As the owners and proprietors we have of our own free will and consent caused this plat with its tracts to be platted. The property described on this plat lies within the plating jurisdiction of City of Hobbs.

Subscribed, sworn to and acknowledged before me this:  
28 day of September, 2009.

By *Raul Reyes*  
 By *Guadalupe Reyes*



**ACKNOWLEDGMENT**  
 State of New Mexico:  
 County of Lea:

On this 28 day of September, 2009, before me, Raul Reyes and Guadalupe Reyes to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Witness my hand and official seal the day and year last above written.  
 My Commission Expires: 12/9/2012  
*Andrea Roemer*  
 Andrea Roemer  
 Notary Public

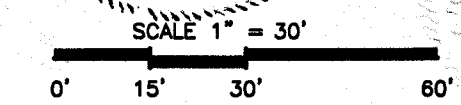
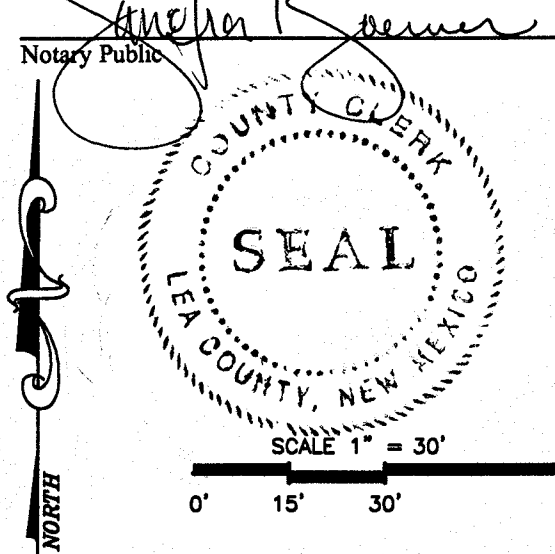
State of New Mexico, County of Lea, I here by certify that this instrument was filed for record on:

The February Day of 5, 2010 A.D.

At 11:57 O'Clock A.M.  
 Cabinet C Slide 395  
 Book 116000 Page 718

By *Pat Chappelle*  
 Pat Chappelle  
 County Clerk

By *AM*  
 Deputy



REVISION	Symbol	Description	Date	Appr.

DATE:	04/29/2008
DRAWN BY:	Nel
APPROVED BY:	2008.1022
PROJECT NO:	2008.1022
FILE PATH:	ACAD Boundary Survey\dwg\Boundary Survey.dwg

**Pettigrew & Associates, P.A.**  
 A Professional Engineering, Surveying & Testing Company  
 1110 N. Grimes Hobbs, N.M. 88240  
 (505) 393-9827  
 www.pettigrew.us

INDEXING INFO FOR COUNTY CLERK  
 OWNER: RAUL & GUADALUPE REYES  
 LOC: LOTS 5, 6, 7 & BLOCK 163, HIGHLAND PARK ADDITION

REPLAT OF LOTS 5, 6, 7, 8, BLOCK 163, HIGHLAND PARK ADDITION  
 RAUL & GUADALUPE REYES  
 LEA STREET BOUNDARY

SHEET NO. **S101**

SEQUENCE NO. **1 OF 1**

55-1378

42338

# MENDOZA SUBDIVISION

A TYPE THREE-A SUBDIVISION - LEA COUNTY  
SUMMARY SUBDIVISION - CITY OF HOBBS  
SECTION 35, TOWNSHIP 17 SOUTH, RANGE 38 EAST,  
N.M.P.M., LEA COUNTY, NEW MEXICO

### LEGAL DESCRIPTION

A tract of land located in the Southwest Quarter of the Southeast Quarter (SW/4 SE/4) Section 35, Township 17 South, Range 38 East, N.M.P.M., Lea County, New Mexico, and being more particularly described as follows:

Beginning at the South Quarter corner of said Section 35; Thence N.00°01'W., 829.23 feet; Thence S.89°57'E., 465.00 feet; Thence S.00°01'E., 829.23 feet; Thence N.89°57'W., 465.00 feet to the point of beginning. As filed in Book 1960, Page 716, Lea County, New Mexico. The south 48 feet reserved for County road easement.

This tract is being subdivided into lots as they appear on the plat affixed hereon, and it is with the free consent and in accordance with the desires of the undersigned owners.

In witness thereof, the undersigned owners of the tract shown hereon, Hilda I. Villegas Soto, Alvaro Perea Mendoza, Ana Karen Mendoza and Daniela Gonzalez, have hereunto set their hands this 11th day of November, 2015.

Hilda I. Villegas Soto  
Hilda I. Villegas Soto

Alvaro Perea Mendoza  
Alvaro Perea Mendoza

Ana Karen Mendoza  
Ana Karen Mendoza

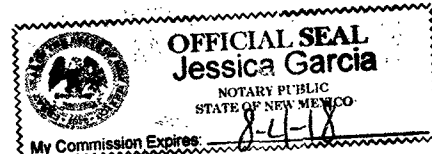
Daniela Gonzalez  
Daniela Gonzalez

STATE OF NEW MEXICO }  
COUNTY OF LEA } ss

The foregoing instrument was Acknowledged before me this 11th day of November, 2015 by Hilda I. Villegas Soto, Alvaro Perea Mendoza, Ana Karen Mendoza and Daniela Gonzalez.

My commission expires 8-4-18

Jessica Garcia  
Notary Public



### CERTIFICATE OF APPROVAL LEA COUNTY COMMISSIONERS

Be it known that the plat of Mendoza Subdivision consisting of land situated as a proposed subdivision, Lea County, New Mexico was submitted to the Commissioners of Lea County, New Mexico assembled at a meeting on the 8th day of September, 2015 A.D., and the subdivision as shown on the attached plat was thereupon approved and accepted by a majority of the members of the said board.

In witness whereof the Commissioners of Lea County, New Mexico has caused this instrument to be signed on its behalf by its Chairman and attested by the County Clerk of Lea County, New Mexico on this 12th day of November, 2015 A.D.

Attest:

County Commissioners  
Lea County, New Mexico

Gregg Fulfer  
County Clerk

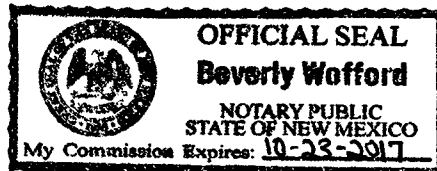
Gregg Fulfer  
Chair

STATE OF NEW MEXICO }  
COUNTY OF LEA } ss

The foregoing instrument was Acknowledged before me this 12th day of November, 2015 by the above County Clerk and Chair of the Lea County Commission.

My commission expires 10-23-2017

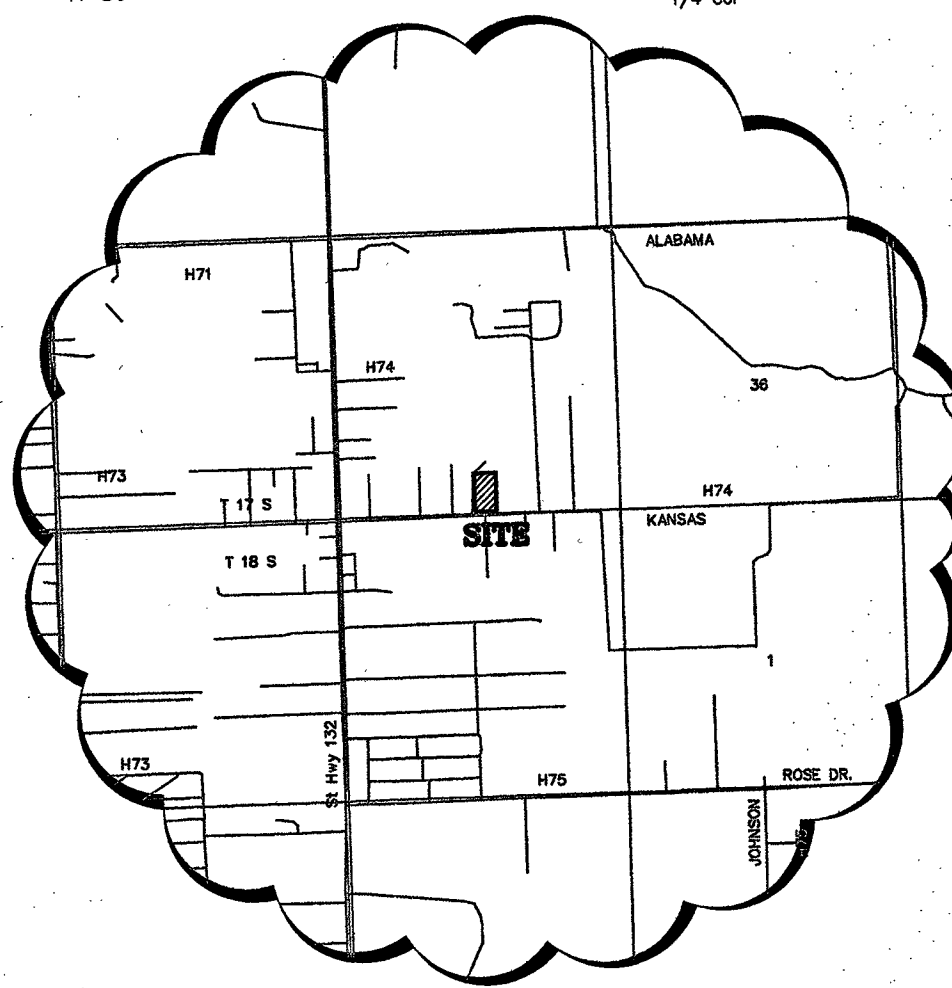
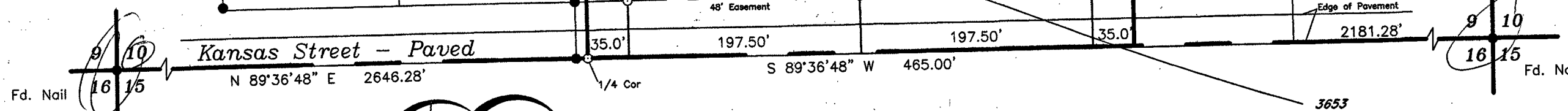
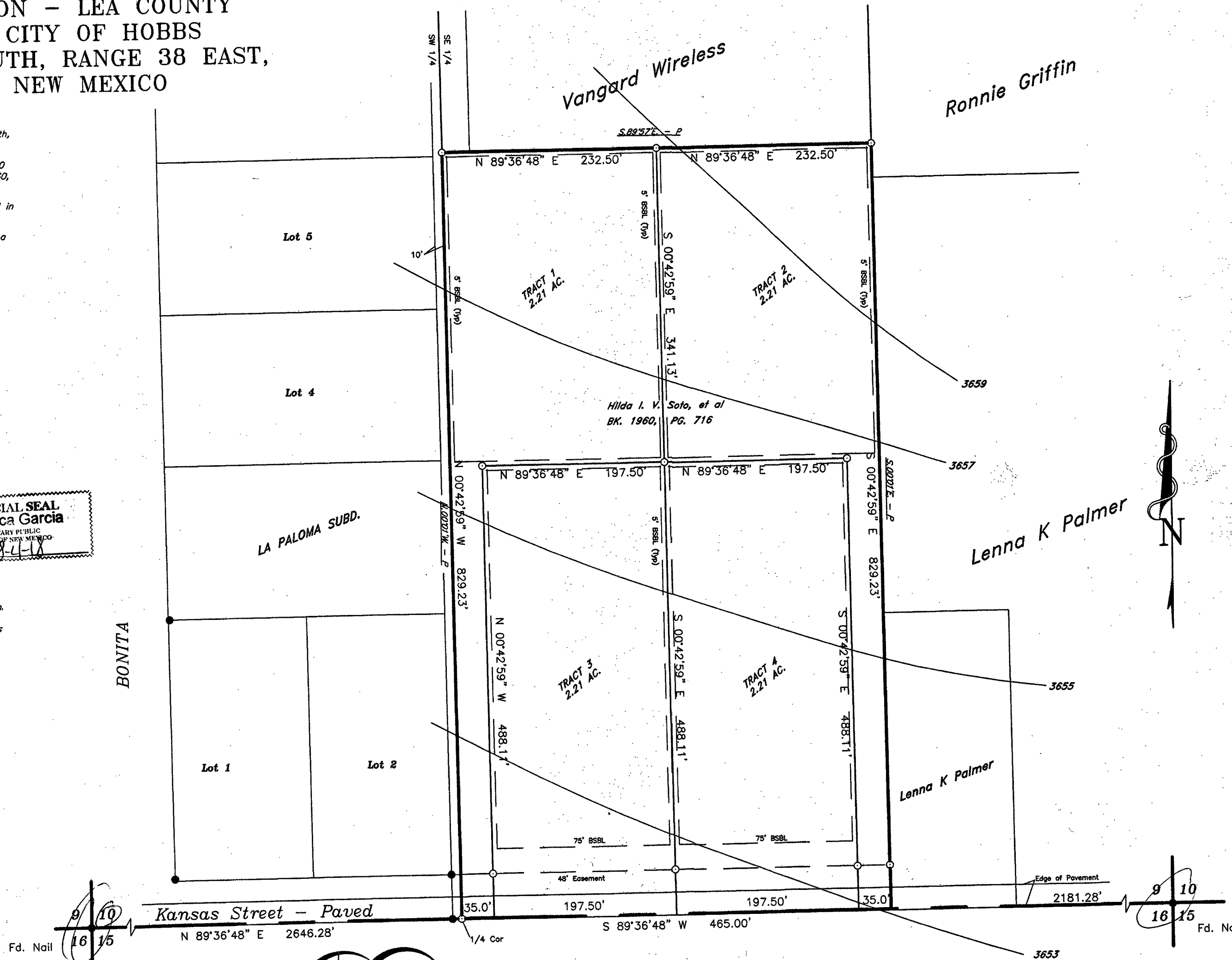
Beverly Wafford  
Notary Public



### CERTIFICATE OF SURVEY

I hereby certify this plat to be a true copy of a survey made in the field under my supervision, and meets the requirements of the Minimum Standards of Surveying in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors. This is a survey plat of a subdivision. In witness whereof I hereby set my hand and affix my official seal this 14th day of October, 2015.

Gary L. Jones, N.M. P.S. 7977



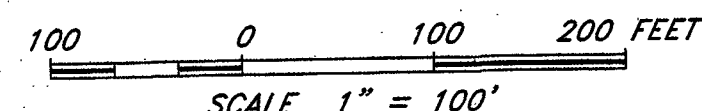
NOTE: UTILITIES SHOWN ARE BY VISUAL INSPECTION ONLY AND DO NOT DEPICT ANY BURIED UTILITIES THAT MAY EXIST.

COORDINATES AND BEARINGS ARE BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, NAD 83 AND DISTANCES ARE OF SURFACE VALUE.

SEE DOCUMENTS FILED FOR RECORD IN THIS OFFICE WHICH DESCRIBE IN DETAIL THE RECONSTRUCTION OF THIS SECTION.

BUILDING SETBACK LINES ARE MEASURED FROM THE PROPERTY LINES.

- LEGEND**
- - SET 1/2" REBAR
  - - FND SURVEY CORNER
  - ⊙ - FND BRASS CAP
  - - - FENCE
  - - - PLATTED BEARING
  - - - BUILDING SETBACK LINE



Prepared by:  
**BASIN SURVEYS**  
1120 N. West County Rd.  
Hobbs, New Mexico 88240  
Ph: (575)393-7316 Fax: (575)393-2208

File: KJC - PERRA 81727 Date: 07-07-2015

STATE OF NEW MEXICO  
COUNTY OF LEA  
FILED

November 16, 2015

AT 9:43 O'CLOCK A.M.

AND RECORDED IN BOOK \_\_\_\_\_

PAGE \_\_\_\_\_

PAT CHAPPELLE, LEA COUNTY CLERK

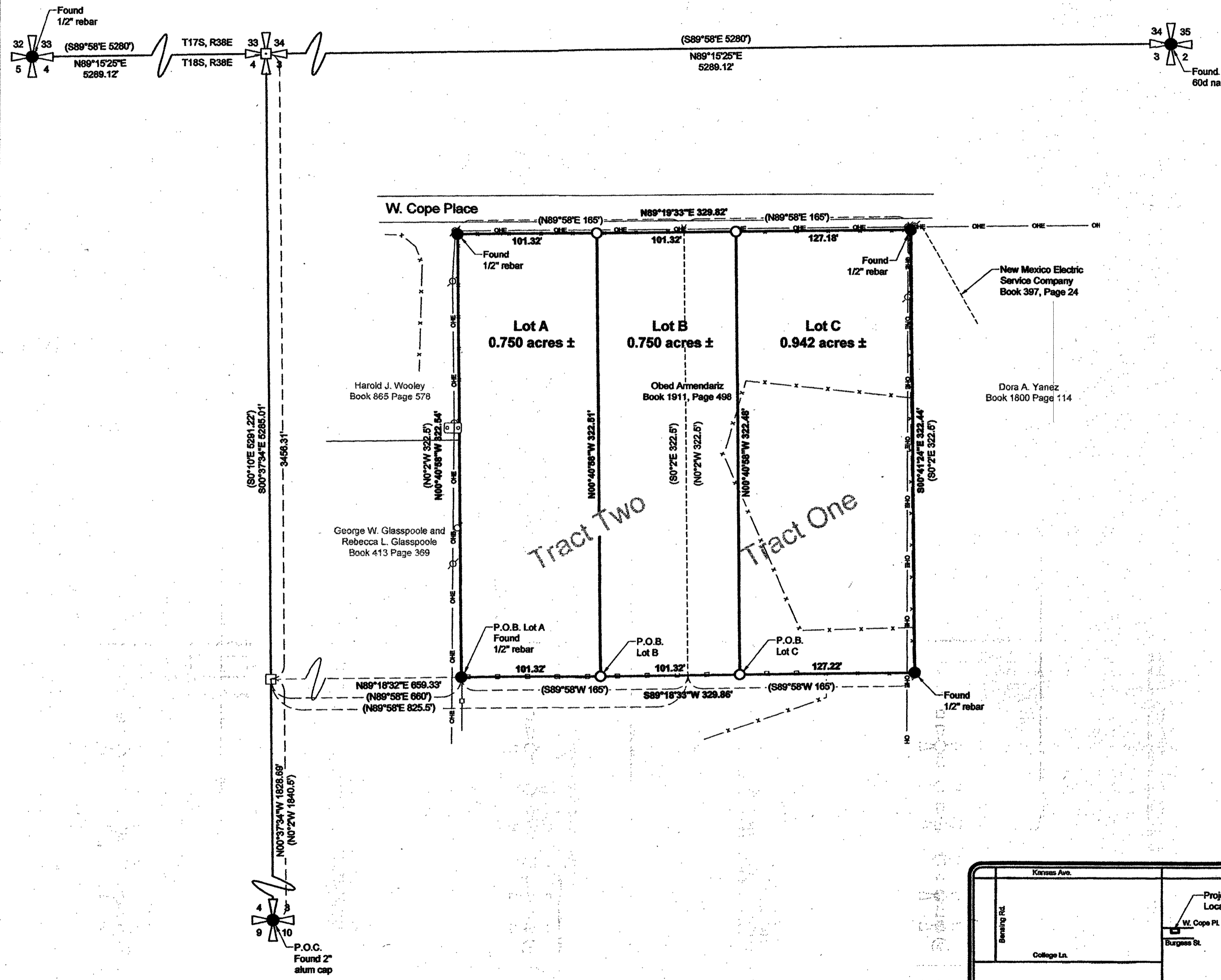
BY BW DEPUTY

55-1379

36429

# LEA COUNTY CLAIM OF EXEMPTION AND SUMMARY REPLAT FOR THE CITY OF HOBBS

LOCATED IN THE NW1/4SW1/4, OF SECTION 3, T18S, R38E, N.M.P.M., LEA COUNTY, NEW MEXICO

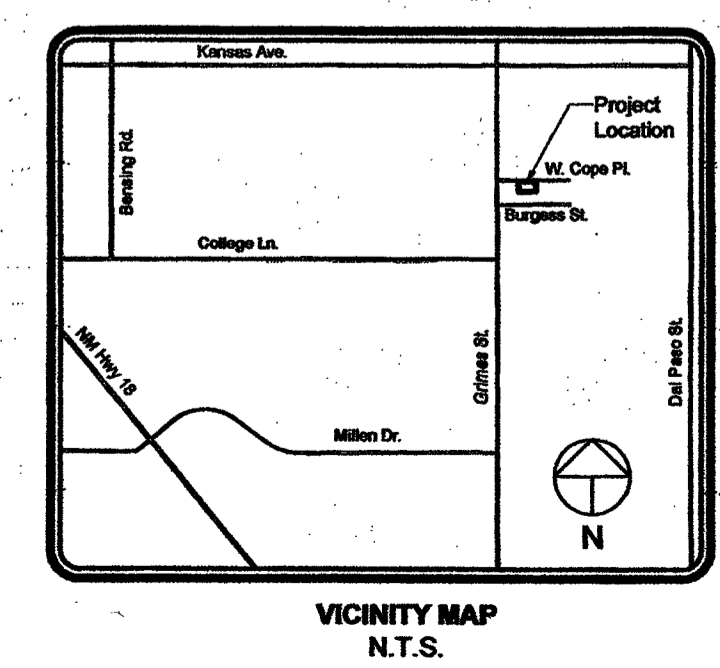


**BASIS OF BEARING**

The basis of bearing for this survey is Grid North based on the New Mexico State Plane Coordinate System, East Zone, as determined by GPS/GNSS observations. Ground coordinates are modified by scaling about a control point located at N032°46'09.64", W103°08'41.71" by a combined scale factor of 0.999882447. True north can be obtained by applying a convergence angle of 00°38'36" at the Point of Commencement.

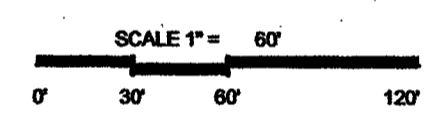
**NOTE**

The purpose of this plat is to divide Tract One and Tract Two as recorded in Book 1911, Page 498 into 3 individual lots for the purpose of the division of land to create a parcel that is sold or donated as a gift to an immediate family member; however, this exception shall be limited to allow the seller or donor to sell or give no more than one parcel per tract of land per immediate family member



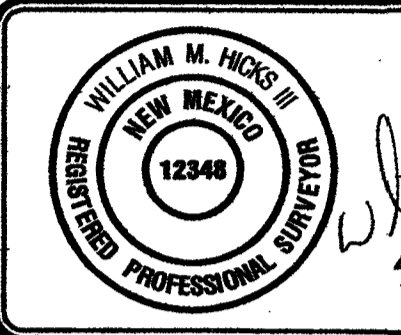
**LEGEND**

●	Found as noted
○	Set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"
□	Calculated point
⊕	Section corner
⊙	Quarter section corner
⊕	Calculated Section corner
⊙	Calculated Quarter Section corner
⊕	Found section corner
⊙	Found quarter section corner
⊕	Section section corner
—	Lot line
—	Section line
—	Property line
—	Chainlink fence
—	Barbed wire fence
—	Cinder block fence
—	Metal fences
—	Wood picket fence
▨	Easement
XX°XX'XX" XX.XX'	Measured bearing and distance
(XX)°(XX)'(XX)" (XX.XX)'	Record bearing and distance



**PETTIGREW & ASSOCIATES**  
ENGINEERING | SURVEYING  
DEFINING QUALITY SURVEYING  
100 E. Navajo - Suite 100, Hobbs, NM  
T 575 393 9827 F 575 393 9828  
Pettigrew.us

PROJECT SURVEYOR: M. Kneeland  
DRAWN BY: C. Johnson



**INDEXING INFORMATION FOR COUNTY CLERK**

OWNER: Obed Armendariz

LOCATION: NW1/4SW1/4 Section 3, T18S, R38E, N.M.P.M., Lea County, New Mexico

**REVISIONS**

No.	DATE	DESCR.

State of New Mexico, County of \_\_\_\_\_  
I hereby certify that this instrument is a true and correct copy of the record on:

The \_\_\_\_\_ Day of \_\_\_\_\_  
20\_\_\_\_ A.D.

At \_\_\_\_\_ O'Clock \_\_\_\_\_  
Cabinet \_\_\_\_\_ Slide \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_

By \_\_\_\_\_  
County Clerk

By \_\_\_\_\_  
Deputy

**CLAIM OF EXEMPTION AND SUMMARY REPLAT OF YANEZ DIVISION FOR DORA YANEZ**

PROJECT NUMBER: 2014.1352

SHEET: 1 of 2  
**SU - 10**

**RECORD DESCRIPTION - PER DEED BOOK 1911, PAGE 498**

**FOR SURFACE TITLE ONLY**

Tract One  
A tract of land located in the Northwest Quarter of the Southwest Quarter (NW/4SW/4) of Section 3, Township 18 South, Range 38 East, N.M.P.M., Lea County, New Mexico and being more particularly described as follows: Beginning N0°2'W 1840.5 feet and N89°58'E 825.5 feet from the Southwest corner of said Section 3; thence N0°2'W 322.5 feet; thence N89°58'E 165 feet; thence S0°2'E 322.5 feet; thence S89°58'W 165 feet to the point of beginning.

Tract Two  
A tract of land located in the Northwest Quarter of the Southwest Quarter (NW/4SW/4) of Section 3, Township 18 South, Range 38 East, N.M.P.M., Lea County, New Mexico and being more particularly described as follows: Beginning N0°2'W 1840.5 feet and N89°58'E 660 feet from the Southwest corner of said Section 3; thence N0°2'W 322.5 feet; thence N89°58'E 165 feet; thence S0°2'E 322.5 feet; thence S89°58'W 165 feet to the point of beginning.

**NEW DESCRIPTION LOT A**

A tract of land located in the NW1/4SW1/4 of Section 3, T18S, R38E, N.M.P.M., City of Hobbs, Lea County, New Mexico and being more particularly described by metes and bounds as follows:

Commencing at a found 2" aluminum cap, being used as the SW corner of Section 3; thence N00°37'34"W 1828.69 feet along the west line of Section 3 to a calculated point and N89°18'32"E 659.33 feet to a found 1/2" rebar for a Point of Beginning; thence N00°40'58"W 322.54 feet to a found 1/2" rebar; thence N89°19'33"E 101.32 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S00°40'58"E 322.51 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S89°18'33"W 101.32 feet to the Point of Beginning and containing 0.750 acres, more or less.

**NEW DESCRIPTION LOT B**

A tract of land located in the NW1/4SW1/4 of Section 3, T18S, R38E, N.M.P.M., City of Hobbs, Lea County, New Mexico and being more particularly described by metes and bounds as follows:

Commencing at a found 2" aluminum cap, being used as the SW corner of Section 3; thence N00°37'34"W 1828.69 feet along the west line of Section 3 to a calculated point and N89°18'32"E 659.33 feet to a found 1/2" rebar, and N89°18'33"E 101.32 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" for a Point of Beginning; thence N00°40'58"W 322.51 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N89°19'33"E 101.32 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S00°40'58"E 322.48 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S89°18'33"W 101.32 feet to the Point of Beginning and containing 0.750 acres, more or less.

**NEW DESCRIPTION LOT C**

A tract of land located in the NW1/4SW1/4 of Section 3, T18S, R38E, N.M.P.M., City of Hobbs, Lea County, New Mexico and being more particularly described by metes and bounds as follows:

Commencing at a found 2" aluminum cap, being used as the SW corner of Section 3; thence N00°37'34"W 1828.69 feet along the west line of Section 3 to a calculated point and N89°18'32"E 659.33 feet to a found 1/2" rebar, and N89°18'33"E 202.64 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" for a Point of Beginning; thence N00°40'58"W 322.48 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N89°19'33"E 127.18 feet to a found 1/2" rebar; thence S00°41'24"E 322.44 feet to a found 1/2" rebar; thence S89°18'33"W 127.22 feet to the Point of Beginning and containing 0.942 acres, more or less.

**CERTIFICATE OF SURVEY**

I, William M. Hicks, III New Mexico Professional Surveyor, hereby certify that this Claim of Exemption Plat was prepared from an actual ground survey performed by me or under my supervision, that this survey is true and correct to the best of my knowledge and belief. That this Claim of Exemption Plat and the field survey upon which it is based meet the Minimum Standards for Surveying in New Mexico.

  
William M. Hicks, III NMPS #12348  
  
Date April 20, 2015

**OWNERS STATEMENT AND AFFIDAVIT**

State of New Mexico:  
County of Lea:

The undersigned first duly sworn on oath, state: As the owners and proprietors we have of our own free will and consent caused this plat with its tracts to be platted. The property described on this plat lies within the platting jurisdiction of Lea County New Mexico.

20th day of April, 2015.

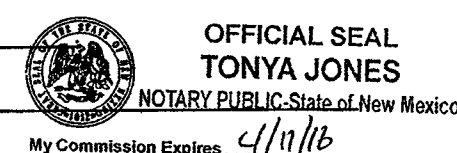
By Obed Armendariz  
Obed Armendariz

**ACKNOWLEDGMENT**

State Of New Mexico:  
County Of Lea:

On this 20th day of April, 2015 before me appeared, Obed Armendariz known to me to be the person (s) described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Witness my hand and official seal the day and year last above written.

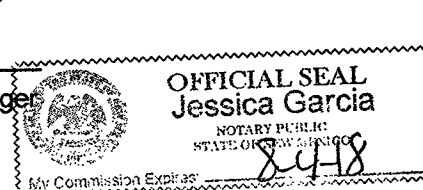
My commission expires: 4/1/16  
Tonya Jones  
Notary Public  
  
My Commission Expires 4/1/16

**CERTIFICATE OF APPROVAL OF EXEMPTION TO SUBDIVISION REGULATIONS BY LEA COUNTY**

Pursuant to Lea County Subdivision Regulations, Section 7.5 (1997) the Claim of Exemption meets the criteria for the division of land to create a parcel that is sold or donated as a gift to an immediate family member; however, this exception shall be limited to allow the seller or donor to sell or give no more than one parcel per tract of land per immediate family member.

on this 4th of June, 2015 AD. Lea County assumes no responsibility for the construction or maintenance of any roadway dedication.

LEA COUNTY, NEW MEXICO

By Mike Gallagher  
Mike Gallagher, County Manager  
  
My Commission Expires 8-4-18

**ACKNOWLEDGMENT**

State Of New Mexico:  
County Of Lea:

On this 4th day of June, 2015 before me, Mike Gallagher to me known to be the person described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Witness my hand and official seal the day and year last above written.

My commission expires: 8-4-18  
Jessica Garcia  
Notary Public

**CERTIFICATE OF MUNICIPAL APPROVAL**

I, Kevin Robinson, Development Director for the City of Hobbs, Lea County, New Mexico; do hereby certify that the foregoing plat in the City of Hobbs, Extraterritorial Jurisdiction, Lea County, New Mexico, was reviewed and deemed compliant with the Municipal Summary Process Regulations on this 10th day of June, 2015.

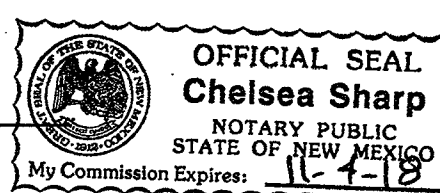
Kevin Robinson  
Kevin Robinson, Development Director  
Jan Fletcher  
Jan Fletcher, City Clerk, Deputy  
Mollie Maldonado  
Mollie Maldonado

**ACKNOWLEDGMENT**

State of New Mexico:  
County of Lea:

On this 10th day of June, 2015, before me, Kevin Robinson and Jan Fletcher to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Witness my hand and official seal the day and year last above written.

My Commission Expires: 11-4-18  
Chelsea Sharp  
Notary Public  
  
My Commission Expires: 11-4-18



**PETTIGREW & ASSOCIATES**  
ENGINEERING | SURVEYING | IT  
DEFINING QUALITY SINCE 1950  
100 E. Navajo - Suite 100, Hobbs New Mexico  
T 575 393 9827 F 575 393 1544  
Pettigrew.us

PROJECT SURVEYOR: M. Kneeland  
DRAWN BY: C. Johnson

**INDEXING INFORMATION FOR COUNTY CLERK**  
OWNER:  
Obed Armendariz  
LOCATION:  
NW1/4SW1/4 Section 3, T18S, R38E, N.M.P.M., Lea County, New Mexico

REVISIONS		
No.	DATE	DESCRIPTION

State of New Mexico, County of Lea  
I here by certify that this instrument was recorded on:  
The 16th Day of June  
20 15 A.D.  
At 11:38 O'Clock  
Cabinet \_\_\_\_\_ Slide \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_  
By Pat Chappelle  
County Clerk  
By Mrs. Salmon  
Deputy

**CLAIM OF EXEMPTION SUMMARY REPLAT OF YANEZ SUBDIVISION**  
FOR DORA YANEZ

PROJECT NUMBER:  
**2014.1352**

SHEET: 2 of 2  
**SU - 102**

(Seal)

49172

SUMMARY REPLAT OF LOTS 17, 18, & 19, Block 43, ORIGINAL NEW HOBBS ADDITION, CITY OF HOBBS, LEA COUNTY, NEW MEXICO

SUMMARY REPLAT

Replat of Lots 17, 18, 19, Block 43, Original New Hobbs Addition, City of Hobbs, Lea County, New Mexico, into two lots, LOT 17A & LOT 17B more particularly described as follows:

Lot 17A: All of Lot 17 and the West 1/2 of Lot 18, Block 43, Original New Hobbs Addition, City of Hobbs, Lea County, New Mexico

Lot 17B: All of Lot 19 and the East 1/2 feet of Lot 18, Block 43, Original New Hobbs Addition, City of Hobbs, Lea County, New Mexico

Said lots are being replatted with the free consent and in accordance with the desires of the undersigned owner(s) thereof surveyed and replatted as the same appears hereon.

In witness whereof, the undersigned owners of said land, has hereunto set their hand this 11 day of April 2016.

Gerardo Solorzano

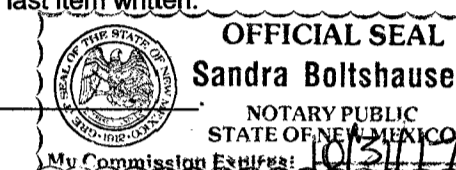
ACKNOWLEDGMENT

State of New Mexico: County of Lea:

On this 11th day of April, 2016, before me personally appeared Gerardo Solorzano and acknowledged that they executed the same as their free act and will

Witness my hand and official seal the day and year last item written.

Sandra Baltshauser Notary Public



CERTIFICATE OF MUNICIPAL APPROVAL

I, Kevin Robinson, the duly appointed Development Director for the City of Hobbs, Lea County, New Mexico, do hereby certify that the foregoing plat in the City of Hobbs, Lea County, was reviewed and deemed compliant with the municipal summary process regulations on this 11th day of April, 2016.

Kevin Robinson, Development Director

Jan Fletcher, City Clerk



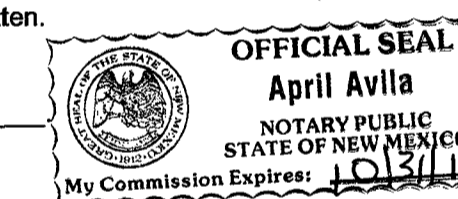
ACKNOWLEDGMENT

State of New Mexico: County of Lea:

On this 11th day of April, 2016, before me personally appeared Kevin Robinson and Jan Fletcher to me known to be the persons described in and who executed this foregoing instrument and acknowledged that they executed the same as their free act and will

Witness my hand and official seal the day and year last item written.

April Avila Notary Public



CERTIFICATE OF SURVEY

I, Robert M. Howett, New Mexico Professional Surveyor, hereby certify that this Summary Replat was prepared from an actual ground survey performed by me or under my supervision, that this survey is true and correct to the best of my knowledge and belief. That this Summary Replat and the field survey upon which it is based meet the Minimum Standards for Surveying in New Mexico, and that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act.

Robert M. Howett, NMP#19680

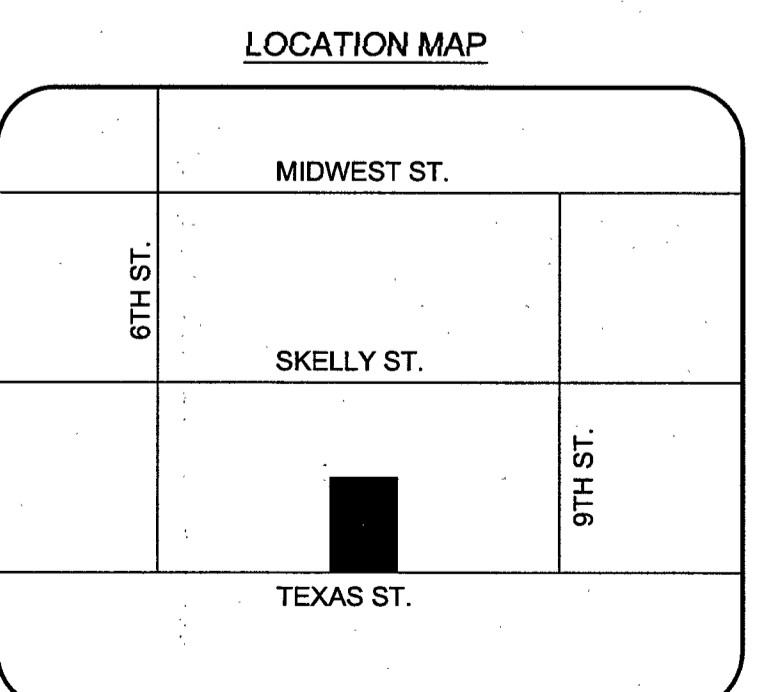
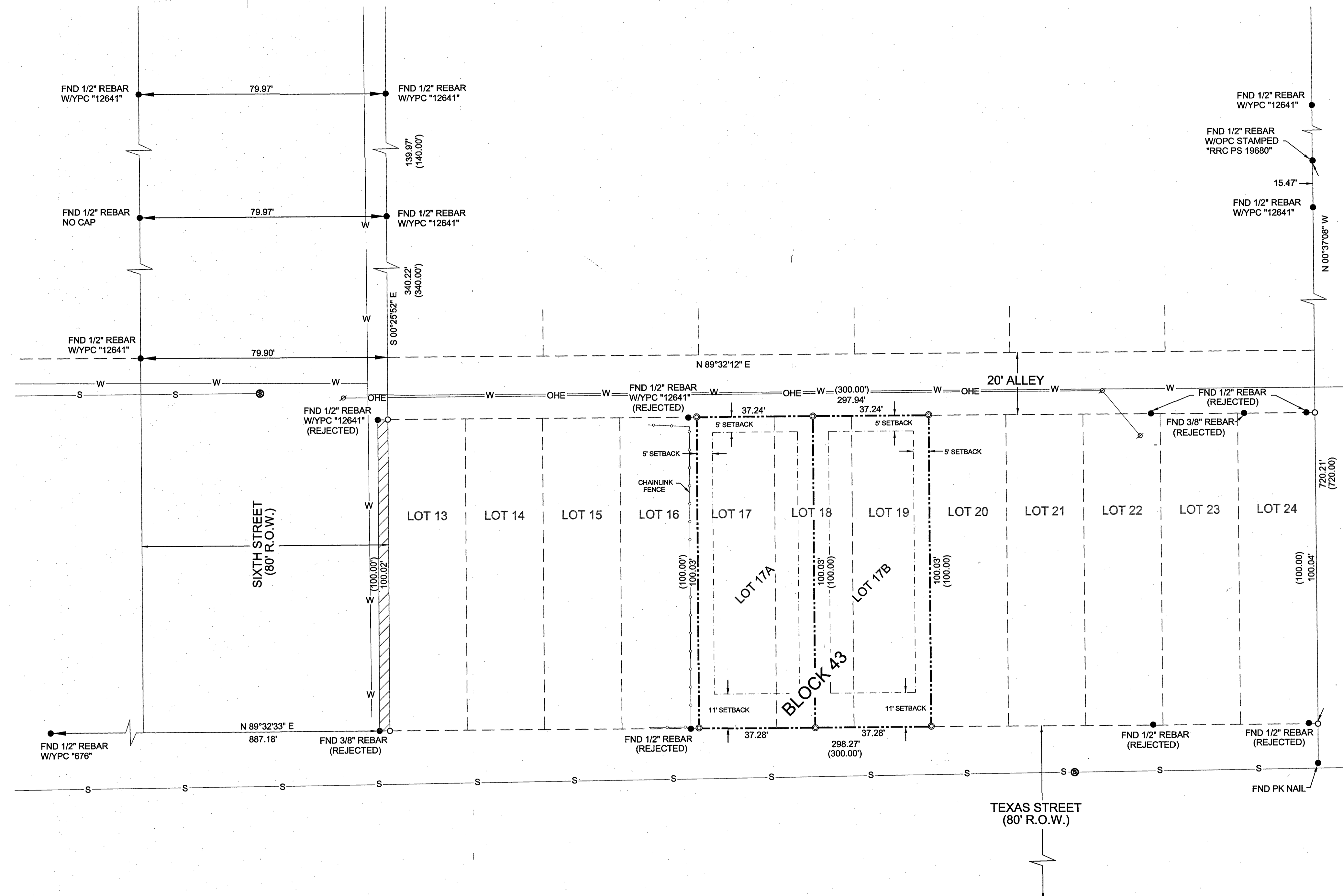
11 April 2016 Date



H SCALE: 1" = 20' SCALE: 1" = 20' 0 10 20

BASES OF BEARING: BEARINGS ARE GRID MAG. & N. CASE. DISTANCES ARE HORIZ. GROUND.

State of New Mexico, County of Lea. I hereby certify that this instrument was filed for record on: The 6th Day of May, 2016 A.D. At 10:02 O'Clock A.M. Cabinet Slide Book Page By: Dot Chappelle County Clerk By: Williams Deputy



- LEGEND: (XX'XXX'XXX.XX') RECORD BEARING AND DISTANCE, (XX'XXX'XXX.XX') MEASURED BEARING AND DISTANCE, DENOTES FOUND MONUMENT AS NOTED, DENOTES SET 5/8" RBR W/ORANGE CAP STAMPED "RRC PS 19680", DENOTES CALCULATED CORNER, S SANITARY SEWER, G GAS LINE, W WATER LINE, EXISTING BOUNDARY LINE, PROPOSED BOUNDARY LINE, EXISTING FENCELINE, SETBACK LINE, U UTILITY POLE / LIGHT POLE, OHE OVERHEAD ELECTRIC LINE

Table with columns for NO., REVISION, DATE, JOB NO., DWG. NO., and RRC logo. Includes text: ORIGINAL NEW HOBBS ADDITION, CITY OF HOBBS, LEA COUNTY, NEW MEXICO. SCALE: 1"=20'. DATE: SURVEYED BY: DRAWN BY: JR. APPROVED BY: RMH. SHEET: 1 OF 1

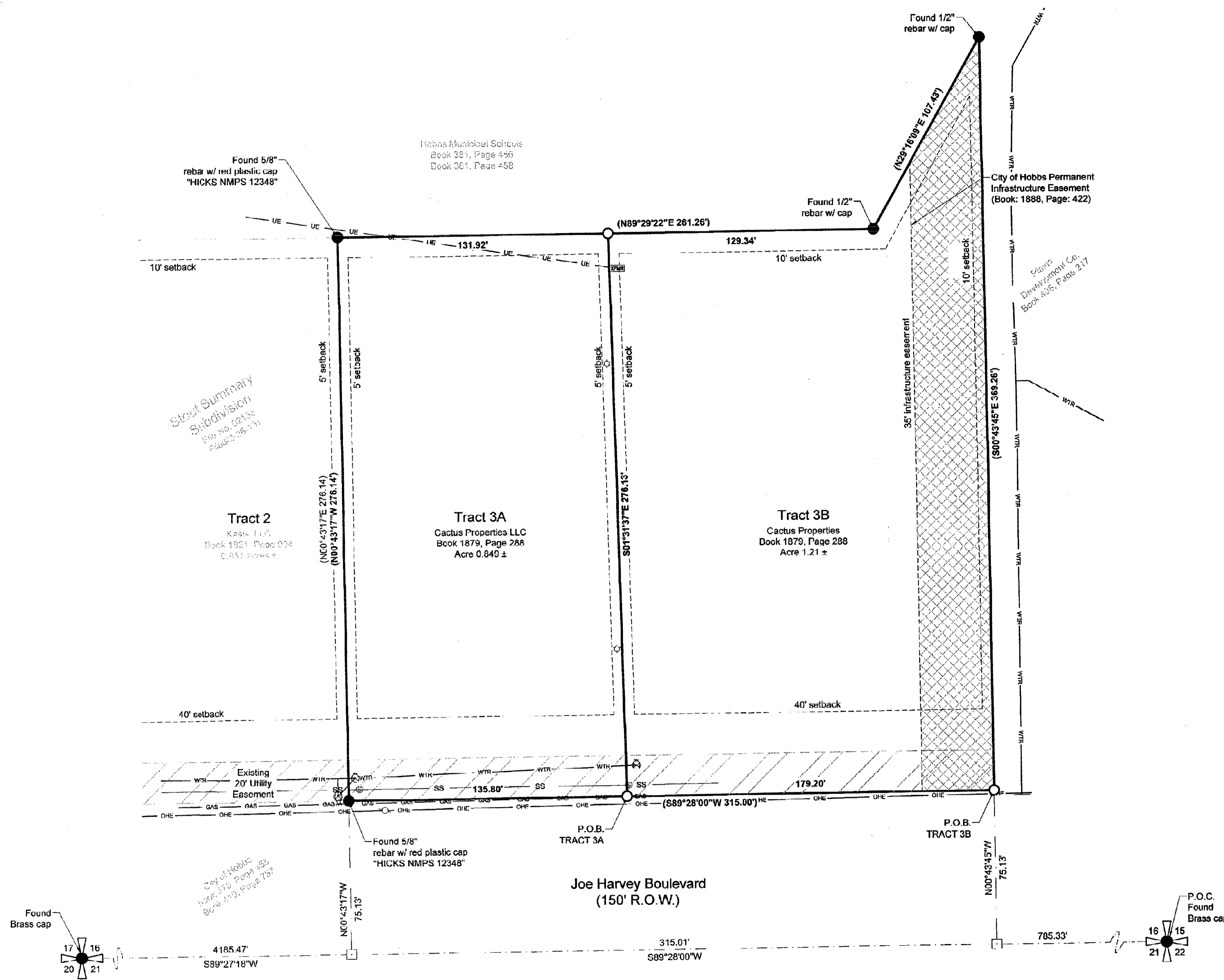
55-1381

49172

# CACTUS PROPERTIES SUBDIVISION

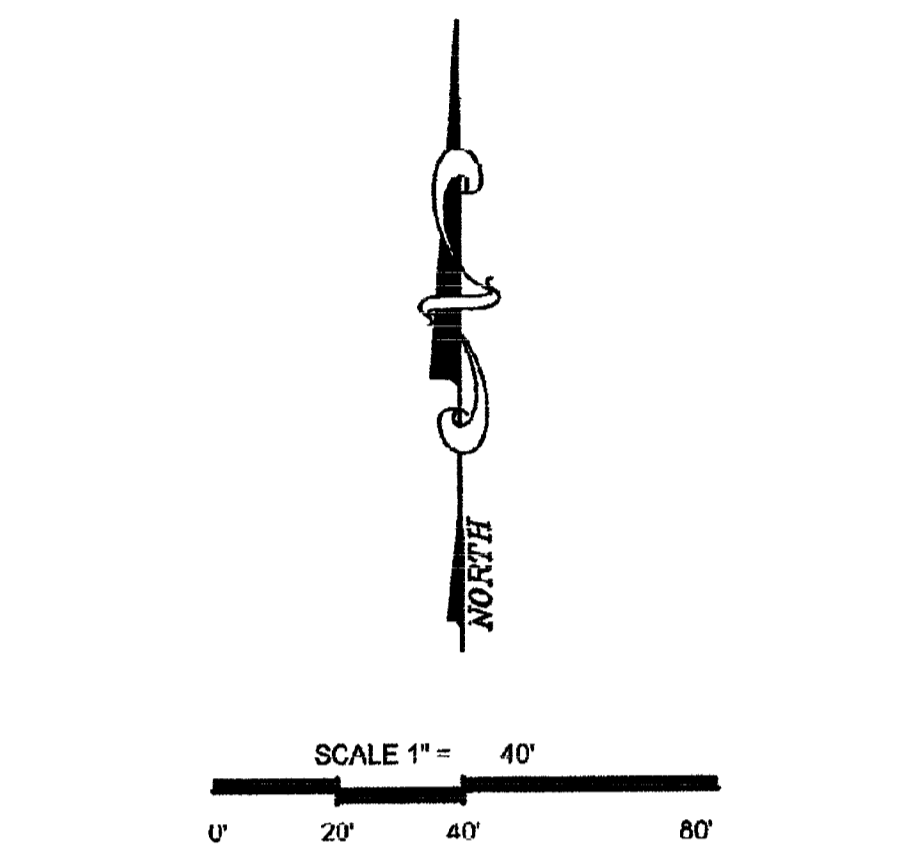
## A REPLAT OF TRACT 3, STOUT SUMMARY SUBDIVISION

### CITY OF HOBBS, NEW MEXICO



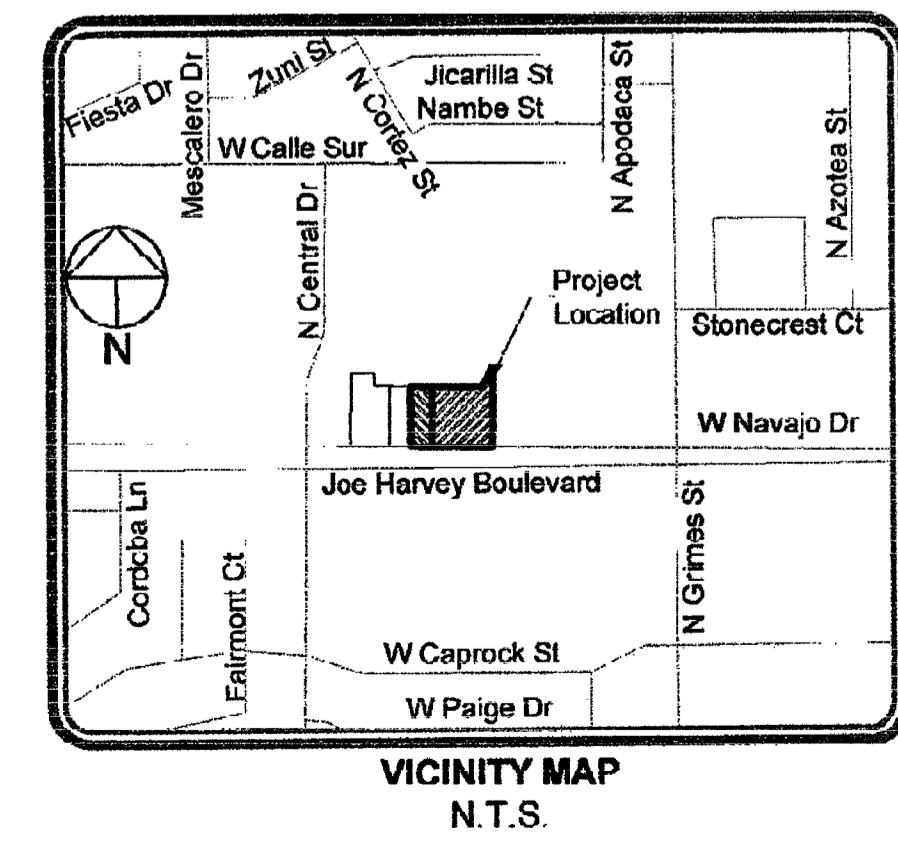
**BASIS OF BEARING**

The Basis of Bearing for this survey is a Control Network established for the City of Hobbs GIS Project. All observations were made from a control point having a Latitude of 32°40'03.846\" North, a Longitude of 103°10'44.880\" West. All observations were made using Real Time differentially corrected positions obtained from a Global Positioning System. All bearings are grid based on NMSPC East Zone. All distances are ground distances.



**LEGEND**

- Found section corner
- Found As Noted Set Point
- Point Of Intersection
- Calculated Point
- Water Well
- Water Meter
- Water Valve
- Fire Hydrant
- Irrigation Back Flow
- Water Back Flow
- Transformer
- Overhead Electric Line
- Sanitary Sewer Line
- Underground Electric Line
- Overhead Electric Line
- Underground Gas Line
- Water Line
- Section Line
- Property Line
- Chainlink Fence
- Proposed utility Easement
- Vacated Easement
- Existing Easement
- Existing Easement
- Measured bearing and distance
- Record bearing and distance



**PETTIGREW & ASSOCIATES PA**

ENGINEERING | SURVEYING | TESTING  
DEFINING QUALITY SINCE 1965

100 E. Navajo - Suite 100, Hobbs New Mexico 88240  
T 575 393 9827 F 575 393 1543  
Pettigrew.us

PROJECT SURVEYOR: M. Kneeland  
DRAWN BY: J. Esquivel

**INDEXING INFORMATION FOR COUNTY CLERK**

OWNER:  
Cactus Properties, LLC

LOCATION:  
SE1/4 of Section 16, Township 18 South, Range 38 East, N.M.P.M., Lea County, New Mexico.

**REVISIONS**

No.	DATE	DESCRIPTION

State of New Mexico, County of \_\_\_\_\_  
I here by certify that this instrument was filed for record on:

The \_\_\_\_\_ Day of \_\_\_\_\_  
20\_\_\_\_ A.D.

At \_\_\_\_\_ O'Clock \_\_\_\_\_ M.

Cabinet \_\_\_\_\_ Slide \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_

By \_\_\_\_\_  
County Clerk

By \_\_\_\_\_  
Deputy

**PLAT**  
OF  
**CACTUS PROPERTIES SUBDIVISION**  
FOR  
Prestige Development Group

PROJECT NUMBER:  
**2015.1201**

SHEET:  
1 of 2  
**SU - 101**

# CACTUS PROPERTIES SUBDIVISION

## A REPLAT OF TRACT 3, STOUT SUMMARY SUBDIVISION

### CITY OF HOBBS, NEW MEXICO

**RECORD DESCRIPTION-PER DEED BOOK 1879, PAGE**

A TRACT OF LAND lying in the southeast quarter of Section 16, Township 18 South, Range 38 East, N.M.P.M. and being more particularly described by metes and bounds as follows.

Commencing at a found brass cap, being used as the southeast corner of Section 16, thence S89°28'00"W 785.33 feet and N00°43'45"W 75.13 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" on the north right of way line of Joe Harvey Boulevard (150.00 right of way) at the southeast corner of Tract 3 and the Point of Beginning; thence S89°28'00"W 315.00 feet along the north right of way line of Joe Harvey Boulevard to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" at the southwest corner of Tract 3; thence N00°43'17"E 276.14 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" at the northwest corner of Tract 3; thence N89°29'22"E 261.26 feet to a found 1/2" rebar with cap; thence N29°16'09"E 107.43 feet to a found 1/2" rebar with cap at the northeast corner of Tract 3; thence S00°43'45"E 369.26 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" and the Point of Beginning and containing 2.054 acres, more or less.

**NEW DESCRIPTION - TRACT 3A**

A TRACT OF LAND lying in the southeast quarter of Section 16, Township 18 South, Range 38 East, N.M.P.M. and being more particularly described by metes and bounds as follows.

Commencing at a found brass cap, being used as the southeast corner of Section 16, thence S89°28'00"W 785.33 feet and N00°43'45"W 75.13 feet to a set 5/8" rebar with red cap marked "HICKS NMPS 12348" on the north right of way line of Joe Harvey Boulevard (150.00 feet right of way) being the southeast corner of Tract 3, Stout Summary Subdivision and S89°28'00"W along the north right of way line of Joe Harvey Boulevard (150.00 feet right of way), 179.20 feet to a set 5/8" rebar with red cap marked "HICKS NMPS 12348" being the Point of Beginning; thence S89°28'00"W along the north right of way line Joe Harvey Boulevard (150.00 right of way), 135.80 feet to a found 5/8" rebar with red cap marked "HICKS NMPS 12348" being the southwest corner of Tract 3, Stout Summary Subdivision; thence N00°43'17"W along the East line of Tract 2, Stout Summary Subdivision, 276.14 feet to a found 5/8" rebar with red cap marked "HICKS NMPS 12348" being the northwest corner of Tract 3, Stout Summary Subdivision; thence N89°29'22"E along the south line of Hobbs Municipal Schools Property, as recorded in Book 381, Page 456 and 458, 131.92 feet to a set 5/8" rebar with red cap marked "HICKS NMPS 12348"; thence S01°31'37"E 276.13 feet to the Point of Beginning and containing 0.849 acres, more or less.

**NEW DESCRIPTION - TRACT 3B**

A TRACT OF LAND lying in the southeast quarter of Section 16, Township 18 South, Range 38 East, N.M.P.M. and being more particularly described by metes and bounds as follows.

Commencing at a found brass cap, being used as the southeast corner of Section 16, thence S89°28'00"W 785.33 feet and N00°43'45"W 75.13 feet to a set 5/8" rebar with red cap marked "HICKS NMPS 12348" on the north right of way line of Joe Harvey Boulevard (150.00 feet right of way) being the southeast corner of Tract 3, Stout Summary Subdivision also being the Point of Beginning; thence S89°28'00"W along the north right of way line of Joe Harvey Boulevard (150.00 feet right of way), 179.20 feet to a set 5/8" rebar with red cap marked "HICKS NMPS 12348"; thence N01°31'37"W 276.13 feet to a set 5/8" rebar with red cap marked "HICKS NMPS 12348" on the south line of Hobbs Municipal Schools Property, as recorded in Book 381, Page 456 and 458; thence N89°29'22"E along the south line of Hobbs Municipal Schools Property, 129.34 feet to a found 1/2" rebar with cap; thence N29°16'09"E along the south line of Hobbs Municipal School Property, 107.43 feet to a found 1/2" rebar with cap being the northeast corner of Tract 3, Stout Summary Subdivision; thence S00°43'45"E along the west line of Plains Development Co., as recorded in Book 408, Page 217, 369.26 feet to the Point of Beginning and containing 1.21 acres, more or less.

**CERTIFICATE OF SURVEY**

I, William M. Hicks, III New Mexico Professional Surveyor, hereby certify that this Summary Subdivision Plat was prepared from an actual ground survey performed by me or under my supervision, that this survey is true and correct to the best of my knowledge and belief. That this Summary Subdivision Plat and the field survey upon which it is based meet the Minimum Standards for Surveying in New Mexico.

*William M. Hicks*  
 William M. Hicks, III NMPS #12348  
 Date 10-27-2015

**OWNERS STATEMENT AND AFFIDAVIT**

State of New Mexico:  
 County of Lea:

The undersigned first duly sworn on oath, state: On behalf of the owners and proprietors we have of our own free will and consent caused this plat with its tracts to be platted. The property described on this plat lies within the platting jurisdiction of the City of Hobbs.

By *Jackie Callaway*  
 Jackie Callaway on Behalf of Cactus Properties, LLC

**ACKNOWLEDGMENT**

State Of New Mexico:  
 County Of Lea:


On this 28th day of October, 2015, before me, Jackie Callaway on Behalf of Cactus Properties, LLC. To me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Witness my hand and official seal the day and year last above written.

My commission expires: 4/1/16  
*Tonya Jones*  
 Notary Public  
 OFFICIAL SEAL  
 TONYA JONES  
 NOTARY PUBLIC-STATE OF NEW MEXICO  
 My Commission Expires: 4/1/16

**CERTIFICATE OF MUNICIPAL APPROVAL**

I, Kevin Robinson, Lead Project Manager for the City of Hobbs, Lea County, New Mexico, do hereby certify that the foregoing plat in the City of Hobbs, Lea County, New Mexico, was reviewed and deemed compliant with the Municipal Summary Process Regulations on this 28th day of October, 2015.

*Kevin Robinson*  
 Kevin Robinson, Lead Project Manager  
*Jan Fletcher*  
 Jan Fletcher, City Clerk  


**ACKNOWLEDGMENT**

State of New Mexico:  
 County of Lea:

On this 28th day of October, 2015, before me, Kevin Robinson and Jan Fletcher to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

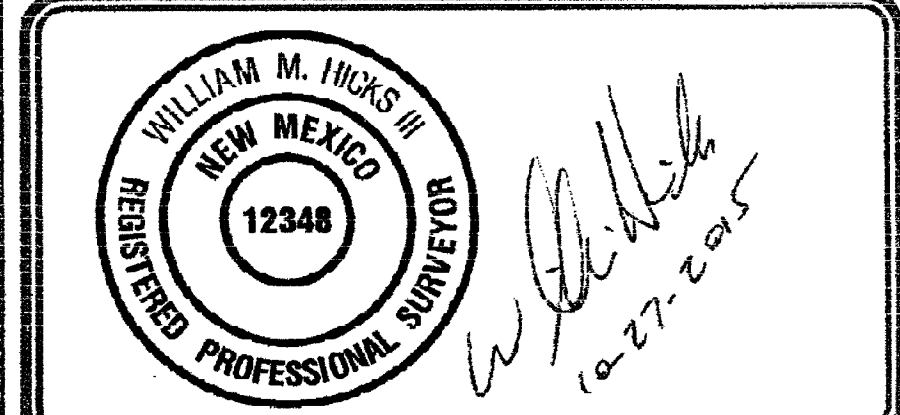
Witness my hand and official seal the day and year last above written.

My Commission Expires: 11-4-18  
*Chelsea Sharp*  
 Notary Public  
 OFFICIAL SEAL  
 Chelsea Sharp  
 NOTARY PUBLIC  
 STATE OF NEW MEXICO  
 My Commission Expires: 11-4-18

*(seal)*

**PETTIGREW & ASSOCIATES PA**  
 ENGINEERING | SURVEYING | TESTING  
 DEFINING QUALITY SINCE 1965  
 100 E. Navajo - Suite 100, Hobbs New Mexico 88240  
 T 575 393 9827 F 575 393 1543  
 Pettigrew.us

PROJECT SURVEYOR: M. Kneeland  
 DRAWN BY: J. Esquivel



**INDEXING INFORMATION FOR COUNTY CLERK**  
 OWNER:  
 Cactus Properties, LLC  
 LOCATION:  
 SE1/4 of Section 16, Township 18 South, Range 38 East, N.M.P.M., Lea County, New Mexico.

REVISIONS		
No.	DATE	DESCRIPTION

State of New Mexico, County of Lea  
 I here by certify that this instrument was filed for record on:  
 The 15th Day of December  
 2015 A.D.  
 At 4:27 O'Clock P.M.  
 Cabinet \_\_\_\_\_ Slide \_\_\_\_\_  
 Book \_\_\_\_\_ Page \_\_\_\_\_  
 By Pat Chappelle  
 County Clerk  
 By A. Beauchamp  
 Deputy

**PLAT OF CACTUS PROPERTIES SUBDIVISION FOR Prestige Development Group**

PROJECT NUMBER:  
 2012.1356

SHEET: 2 of 2  
 SU - 102

# PARKSIDE SUBDIVISION

A SUMMARY SUBDIVISION OF ORIGINAL HOBBS ADDITION, BLOCK 47, A VACATED PORTION OF DUNNAM AND FOWLER STREETS AND ALLEY

**PETTIGREW & ASSOCIATES PA**  
 ENGINEERING | SURVEYING | TESTING  
 DEFINING QUALITY SINCE 1965  
 100 E. Navajo - Suite 100, Hobbs New Mexico 88240  
 T 575 393 9827 F 575 393 1543  
 Pettigrew.us

PROJECT SURVEYOR: M. Kneeland  
 DRAWN BY: D. Trevizo

WILLIAM M. HICKS III  
 NEW MEXICO  
 12348  
 REGISTERED PROFESSIONAL SURVEYOR  
 4-4-2016

**INDEXING INFORMATION FOR COUNTY CLERK**  
 OWNER:  
 City of Hobbs  
 Parkside Terrace CIC, LLLP.  
 Boys and Girls Club of Hobbs INC.  
 LOCATION:  
 Located in the SE1/4 of Section 34, T18S, R38E, N.M.P.M., City of Hobbs, Lea County, New.

**REVISIONS**

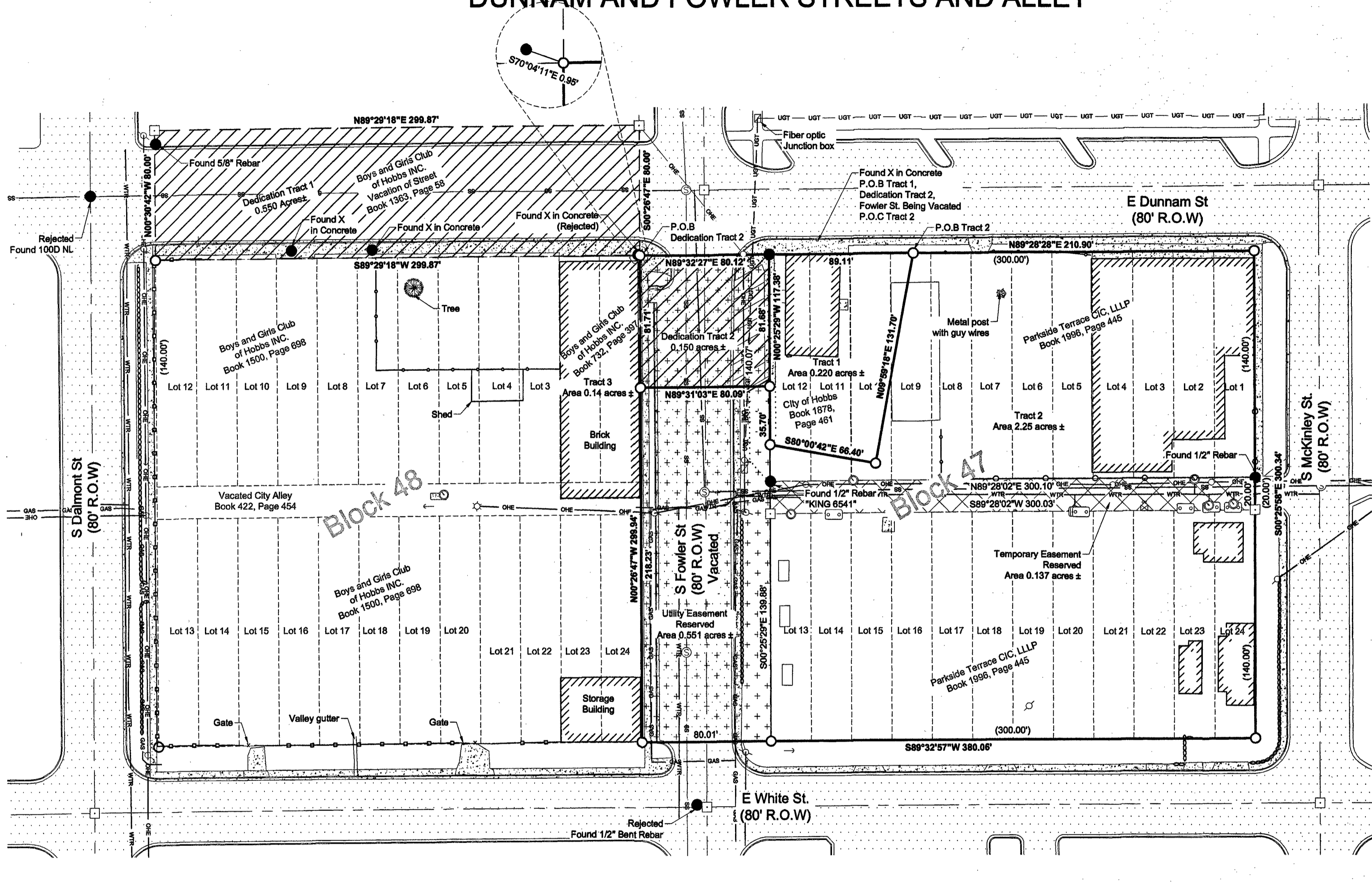
No.	DATE	DESCRIPTION

State of New Mexico, County of \_\_\_\_\_  
 I here by certify that this instrument was filed for record on:  
 The \_\_\_\_\_ Day of \_\_\_\_\_  
 20 \_\_\_\_\_ A.D.  
 At \_\_\_\_\_ O'Clock \_\_\_\_\_ M.  
 Cabinet \_\_\_\_\_ Slide \_\_\_\_\_  
 Book \_\_\_\_\_ Page \_\_\_\_\_  
 By \_\_\_\_\_  
 County Clerk  
 By \_\_\_\_\_  
 Deputy

**PARKSIDE SUBDIVISION**  
 A SUMMARY SUBDIVISION OF ORIGINAL HOBBS ADDITION BLOCK 47 A VACATED PORTION OF DUNNAM AND FOWLER STREETS AND ALLEY  
 FOR  
 CHELSEA INVESTMENT CORP.

PROJECT NUMBER:  
 2014.1430

SHEET:  
 1 of 2  
**SU - 101**



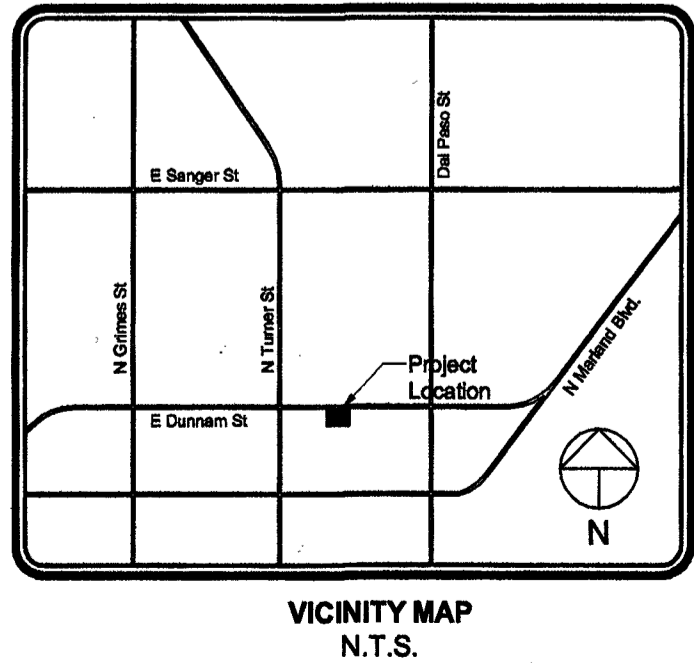
**LOTS 10-12 BLOCK 47 RECORD DESCRIPTION - PER DEED BOOK 1878, PAGE 461**

Lots Ten (10), Eleven (11), and Twelve (12), Block Forty-seven (47), Original Hobbs Addition to the City of Hobbs, Lea County, New Mexico.

**LOTS 1-10 AND LOTS 13-24 BLOCK 47 RECORD DESCRIPTION - PER DEED BOOK 1196, PAGE 445**

Lots One (1) through Ten (10) and Lots Thirteen (13) through Twenty-Four (24), Block Forty-seven (47), Original Hobbs Addition to the City of Hobbs, Lea County, New Mexico.

**BASIS OF BEARING**  
 The basis of bearing for this survey is Grid North based on the New Mexico State Plane Coordinate System, East Zone, as determined by GPS/GNSS observations. Ground coordinates are modified by scaling about a control point located at N32°40'03.64577", W103°10'44.87982" by a combined scale factor of 0.9998824473. True north can be obtained by applying a convergence angle of -00°38'54.18" at the Point of Beginning.



**LEGEND**

●	Found as noted	↓	Guy wire
○	Set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"	⊕	Gas valve
□	Calculated point	▨	Concrete
---	Lot line	▩	Asphalt
---	Property line	▧	Temporary easement reserved
—O—O—	Chainlink fence	▤	Utility easement reserved
—O—O—	Overhead electric line (Baja)	▥	Dedication
—O—O—	Underground fiber optic	▦	Measured bearing and distance
—GAS—GAS—	Gas line	▧	Record bearing and distance
—WTR—WTR—	Water line		
—SS—SS—	Sewer line		
⊕	Water meter		
⊕	Gas meter		



**SURVEY DESCRIPTION OF TRACT 1**

A tract of land located in the southwest quarter of the southeast quarter of Section 34, Township 18 South, Range 38 East, N.M.P.M., Lea County, New Mexico and being more particularly described as follows:

Beginning at a found X in concrete being used as the northwest corner of Block 47, Original Hobbs Addition to the City of Hobbs, thence N89°28'28"E along the south right of way line of Dunnam Street 89.11 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S09°59'18"W 131.70 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N80°00'42"W 66.40 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N00°25'29"W along the east right of way line of Fowler Street passing a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" at 35.70 feet and continuing a total 117.38 feet to the Point of Beginning. Containing a total of 0.220 ±acres

**SURVEY DESCRIPTION OF TRACT 2**

A tract of land located in the southwest quarter of the southeast quarter of Section 34, Township 18 South, Range 38 East, N.M.P.M., Lea County, New Mexico and being more particularly described as follows:

Commencing at a found X in concrete being used as the northwest corner of Block 47, Original Hobbs Addition to the City of Hobbs, thence N89°28'28"E along the south right of way line of Dunnam Street 89.11 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" for the Point of Beginning; thence N89°28'28"E 210.90 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S00°25'58"E along the west right of way line of McKinley Street 300.34 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S89°32'57"W along the north right way of White Street 380.06 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N00°26'47"W along the east line of property deeded to Boys and Girls Club, of Hobbs INC Book 732, Page 397, 218.23 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N89°31'03"E 80.09 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S00°25'29"E 35.70 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S80°00'42"E 66.40 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N09°59'18"E 131.70 feet to the Point of Beginning. Containing a total of 2.25 ±acres

**DESCRIPTION OF DEDICATION TRACT 2**

A tract of land located in the southwest quarter of the southeast quarter of Section 34, Township 18 South, Range 38 East, N.M.P.M., Lea County, New Mexico and being more particularly described as follows:

Beginning at a found X in concrete being used as the northwest corner of Block 47, Original Hobbs Addition to the City of Hobbs, thence S00°25'29"E 81.68 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S89°31'03"E 80.09 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N00°26'47"W along the east line of property deeded to Boys and Girls Club, of Hobbs, INC Book 732, Page 397, 81.71 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N89°32'27"E 80.12 feet along the south right of way line of Dunnam Street to the Point of Beginning. Containing a total of 0.150 ±acres

**DESCRIPTION OF DEDICATION TRACT 1**

A tract of land located in the southwest quarter of the southeast quarter of Section 34, Township 18 South, Range 38 East, N.M.P.M., Lea County, New Mexico and being more particularly described as follows:

Beginning at a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" being used as the northeast corner of Block 48 Original Hobbs Addition to the City of Hobbs, thence S89°29'18"W 299.87 feet along the south right of way line of Dunnam Street to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N00°30'42"W 80.00 feet along the east of right of way line of Dalmont Street to a calculated point; thence N89°29'18"E 299.87 feet along the north of right of way line of Dunnam Street to a calculated point; thence S00°26'47"E 80.00 feet to the Point of Beginning. Containing a total of 0.550 ±acres

**SURVEY DESCRIPTION OF TEMPORARY EASEMENT RESERVED**

A tract of land located in the southwest quarter of the southeast quarter of Section 34, Township 18 South, Range 38 East, N.M.P.M., Lea County, New Mexico and being more particularly described as follows:

Commencing at a found X in concrete being used as the northwest corner of Block 47 Original Hobbs Addition to the City of Hobbs, thence S00°25'29"E 140.07 feet a found 1/2" rebar marked "KING 6541" for a Point of Beginning; thence N89°28'02"E 300.10 feet to a found 1/2" rebar; thence S00°13'37"E 20.00 feet along the West of right of way line of McKinley Street; thence S89°28'02"W 300.03 feet to a calculated point; thence N00°25'29"W 20.00 feet to the Point of Beginning. Containing a total of 0.138 ±acres

**SURVEY DESCRIPTION OF PERMANENT UTILITY EASEMENT RESERVED**

A tract of land located in the southwest quarter of the southeast quarter of Section 34, Township 18 South, Range 38 East, N.M.P.M., Lea County, New Mexico and being more particularly described as follows:

Beginning at a found X in concrete being used as the northwest corner of Block 47 Original Hobbs Addition to the City of Hobbs, thence S00°25'29"E passing a found 1/2" rebar marked "KING 6541" at 140.07 feet and continuing for a total distance of 299.95 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S89°32'57"W along the north right of way line of White Street, 80.01 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N00°26'47"W along the east line of property deeded to Boys and Girls Club, of Hobbs INC Book 1500, Page 698 and Book 732, Page 397, 299.94 feet; thence N89°32'27"E 80.12 feet to the Point of Beginning. Containing a total of 0.551 ±acres

**CERTIFICATE OF SURVEY**

I, William M. Hicks, III New Mexico Professional Surveyor, hereby certify that this Summary Subdivision Plat was prepared from an actual ground survey performed by me or under my supervision, that this survey is true and correct to the best of my knowledge and belief. That this Summary Subdivision Plat and the field survey upon which it is based meet the Minimum Standards for Surveying in New Mexico.

*William M. Hicks, III*  
William M. Hicks, III NMPS #12348  
4-4-2016  
Date

**OWNERS STATEMENT AND AFFIDAVIT**

State Of New Mexico:  
County Of Lea:

The undersigned first duly sworn on oath, state: On behalf of the owners and proprietors we have of our own free will and consent caused this plat with its tracts to be platted, and the tract shown and described hereon as Dedication tract 2 to be dedicated to the public in fee simple forever. The property described on this plat lies within the platting jurisdiction of City of Hobbs.

By *Sam Cobb*  
Sam Cobb, Mayor.

**ACKNOWLEDGMENT**

State Of New Mexico:  
County Of Lea:

On this 26<sup>th</sup> day of May, 2016, before me, Sam Cobb to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Witness my hand and official seal the day and year last above written.

My commission expires: 10/31/17  
*April Avila*  
Notary Public  
OFFICIAL SEAL  
April Avila  
NOTARY PUBLIC  
STATE OF NEW MEXICO  
My Commission Expires: 10/31/17

**OWNERS STATEMENT AND AFFIDAVIT**

State Of New Mexico:  
County Of Lea:

The undersigned first duly sworn on oath, state: On behalf of the owners and proprietors we have of our own free will and consent caused this plat with its tracts to be platted, and the tract shown and described hereon as Dedication tract 1 and 2 to be dedicated to the public in fee simple forever. The property described on this plat lies within the platting jurisdiction of City of Hobbs.

By *Jay Collins*  
Jay Collins, President on Behalf of  
Boys and Girls Club of Hobbs INC.

**ACKNOWLEDGMENT**

State Of New Mexico:  
County Of Lea:

On this 1<sup>st</sup> day of April, 2016, before me, Jay Collins, to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Witness my hand and official seal the day and year last above written.

My commission expires: 4/1/2020  
*Tonya Jones*  
Notary Public  
OFFICIAL SEAL  
TONYA JONES  
NOTARY PUBLIC-STATE OF NEW MEXICO  
My Commission Expires: 4/1/2020

**OWNERS STATEMENT AND AFFIDAVIT**

State of New Mexico:  
County of Lea:

The undersigned first duly sworn on oath, state: On behalf of the owners and proprietors we have of our own free will and consent caused this plat with its tracts to be platted, and the tract shown and described hereon as Roadway Dedication to be dedicated to the public in fee simple forever. The property described on this plat lies within the platting jurisdiction of City of Hobbs.

By *Cheri Hoffman*  
Cheri Hoffman on behalf of Parkside Terrace CIL, LLLP

**ACKNOWLEDGMENT**

State Of New Mexico:  
County Of Lea:

On this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, Cheri Hoffman to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Witness my hand and official seal the day and year last above written.

My commission expires: \_\_\_\_\_

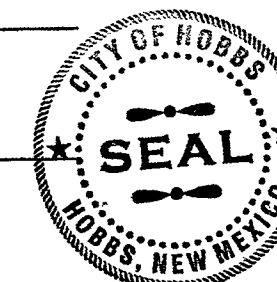
Notary Public

**CERTIFICATE OF MUNICIPAL APPROVAL**

I, Kevin Robinson, Lead Project Manager for the City of Hobbs, Lea County, New Mexico, do hereby certify that the foregoing plat in the City of Hobbs, Lea County, New Mexico, was reviewed and deemed compliant with the Municipal Summary Process Regulations on this 13<sup>th</sup> day of April, 2016.

By *Kevin Robinson*  
Kevin Robinson, Lead Project Manager

By *Jan Fletcher*  
Jan Fletcher, City Clerk



**ACKNOWLEDGMENT**

State Of New Mexico:  
County Of Lea:

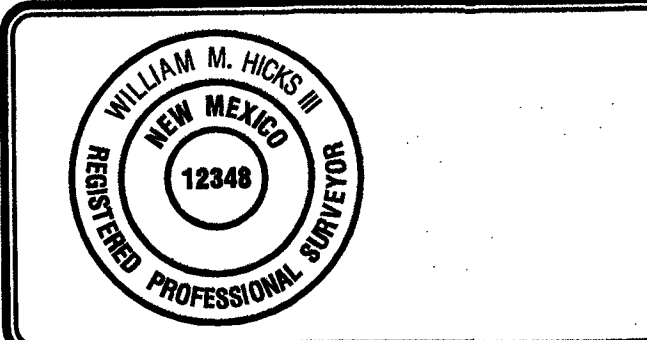
On this 26<sup>th</sup> day of May, 20\_\_\_\_, before me, Kevin Robinson and Jan Fletcher to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Witness my hand and official seal the day and year last above written.

My Commission Expires: 10/31/17  
*April Avila*  
Notary Public  
OFFICIAL SEAL  
April Avila  
NOTARY PUBLIC  
STATE OF NEW MEXICO  
My Commission Expires: 10/31/17

**PETTIGREW & ASSOCIATES PA**  
ENGINEERING | SURVEYING | TESTING  
DEFINING QUALITY SINCE 1965  
100 E. Navajo - Suite 100, Hobbs New Mexico 88240  
T 575 393 9827 F 575 393 1543  
Pettigrew.us

PROJECT SURVEYOR: M. Kneeland  
DRAWN BY: D. Trevizo



**INDEXING INFORMATION FOR COUNTY CLERK**  
OWNER:  
City of Hobbs  
Parkside Terrace CIC, LLLP.  
Boys and Girls Club of Hobbs INC.  
LOCATION:  
Located in the SE1/4 of Section 34, T18S, R38E, N.M.P.M., City of Hobbs, Lea County, New Mexico.

**REVISIONS**

No.	DATE	DESCRIPTION

State of New Mexico, County of \_\_\_\_\_  
I here by certify that this instrument was filed for record on:  
The \_\_\_\_\_ Day of \_\_\_\_\_,  
20\_\_\_\_ A.D.  
At \_\_\_\_\_ O'Clock \_\_\_\_\_ M.  
Cabinet \_\_\_\_\_ Slide \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_  
By \_\_\_\_\_  
County Clerk  
By \_\_\_\_\_  
Deputy

**PARKSIDE SUBDIVISION**  
A SUMMARY SUBDIVISION OF ORIGINAL HOBBS ADDITION BLOCK 47 A VACATED PORTION OF DUNNAM AND FOWLER STREETS AND ALLEY FOR CHELSEA INVESTMENT CORP.

PROJECT NUMBER:  
**2014.1430**

SHEET: 2 of 2  
**SU - 102**

LAND DIVISION OF TRACT 11, SELMAN SUBDIVISION  
CLAIM OF EXEMPTION - LEA COUNTY

WITHIN SECTION 2, T19S, R38E, N.M.P.M.  
LEA COUNTY, NEW MEXICO  
JANUARY, 2014

DESCRIPTION

A CERTAIN TRACT OF LAND SITUATE WITHIN SECTION 2, T19S, R38E, N.M.P.M., LEA COUNTY, NEW MEXICO COMPRISING OF TRACT 11, SELMAN SUBDIVISION AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF THE TRACT HEREIN DESCRIBED WHENCE A FOUND STEEL ROD WITH ALUMINUM CAP AT THE SE CORNER OF SAID SECTION 2 BEARS, S0°33'58"E 2640.00 FEET AND RUNNING THENCE S89°16'23"W, 399.59 FEET TO THE SW CORNER; THENCE, N0°35'44"W, 1089.91 FEET TO THE NW CORNER; THENCE N89°16'27"E, 400 FEET TO THE NORTHEAST CORNER; THENCE S0°34'26"E, 1089.90 FEET TO THE SE CORNER AND POINT OF BEGINNING OF THE TRACT HEREIN DESCRIBED.

REPLATTED AS SHOWN HEREON AND NOW TO BE KNOWN AS TRACT 11-A AND TRACT 11-B, LAND DIVISION SURVEY OF TRACT 11, SELMAN SUBDIVISION, LEA COUNTY, NEW MEXICO ALONG WITH THE FILING DATE AND CABINET AND SLIDE NUMBER OF THIS PLAT.

OWNERS STATEMENT AND AFFIDAVIT:

The platting shown hereon, including the granting of easements as shown, is with the free consent and accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. The undersigned owner(s) and proprietor(s) do hereby freely consent to all the foregoing and do represent themselves that I am so authorized to act.

Margarita C. Ramos  
Owner(s): RAMOS, RAMIRO & MARGARITA

State of New Mexico  
County of Lea

The foregoing instrument was acknowledged before me this 8th day of January, 2014, by Margarita C. Ramos

My commission expires: 9-4-14 Jessica Garcia  
Notary Public



CERTIFICATE OF APPROVAL OF EXEMPTION TO  
SUBDIVISION REGULATIONS BY LEA COUNTY:

PURSUANT TO LEA COUNTY SUBDIVISION REGULATIONS, SECTION 7.5 (1997) THE PLAT AND CLAIM OF EXEMPTION MEET THE CRITERIA FOR THE DIVISION OF LAND THE SALE, LEASE OR OTHER CONVEYANCE OF A SINGLE PARCEL FROM A TRACT OF LAND, EXCEPT FROM A TRACT WITHIN A PREVIOUSLY APPROVED SUBDIVISION, WITHIN ANY FIVE (5) YEAR PERIOD OF SAID FILED SUBDIVISION, AND IS APPROVED FOR A CLAIM OF EXEMPTION ON THIS 14th DAY OF January, 2014.

LEA COUNTY, NEW MEXICO

BY: Mike Gallagher  
MIKE GALLAGHER, COUNTY MANAGER

ACKNOWLEDGMENT:  
STATE OF NEW MEXICO  
COUNTY OF LEA

ON THIS 14th DAY OF January, 2014, BEFORE ME PERSONALLY APPEARED MIKE GALLAGHER, LEA COUNTY MANAGER, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHOM EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT HE EXECUTED THE SAME AS HIS FREE ACT AND DEED.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR LAST ABOVE WRITTEN.

MY COMMISSION EXPIRES: 9-4-14 Jessica Garcia  
NOTARY PUBLIC



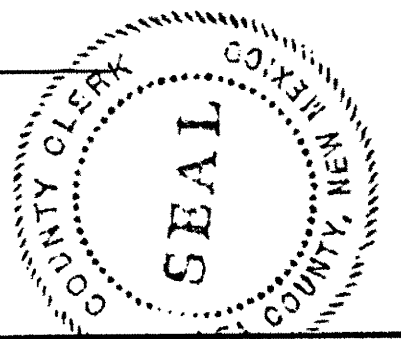
FILING AND RECORDING

FILED FOR RECORD IN THE LEA COUNTY CLERKS OFFICE ON THE 14th DAY OF January, 2014

AT 10:12 AM P.M., CABINET E SLIDE 258  
Pat Chappelle Williams  
COUNTY CLERK DEPUTY

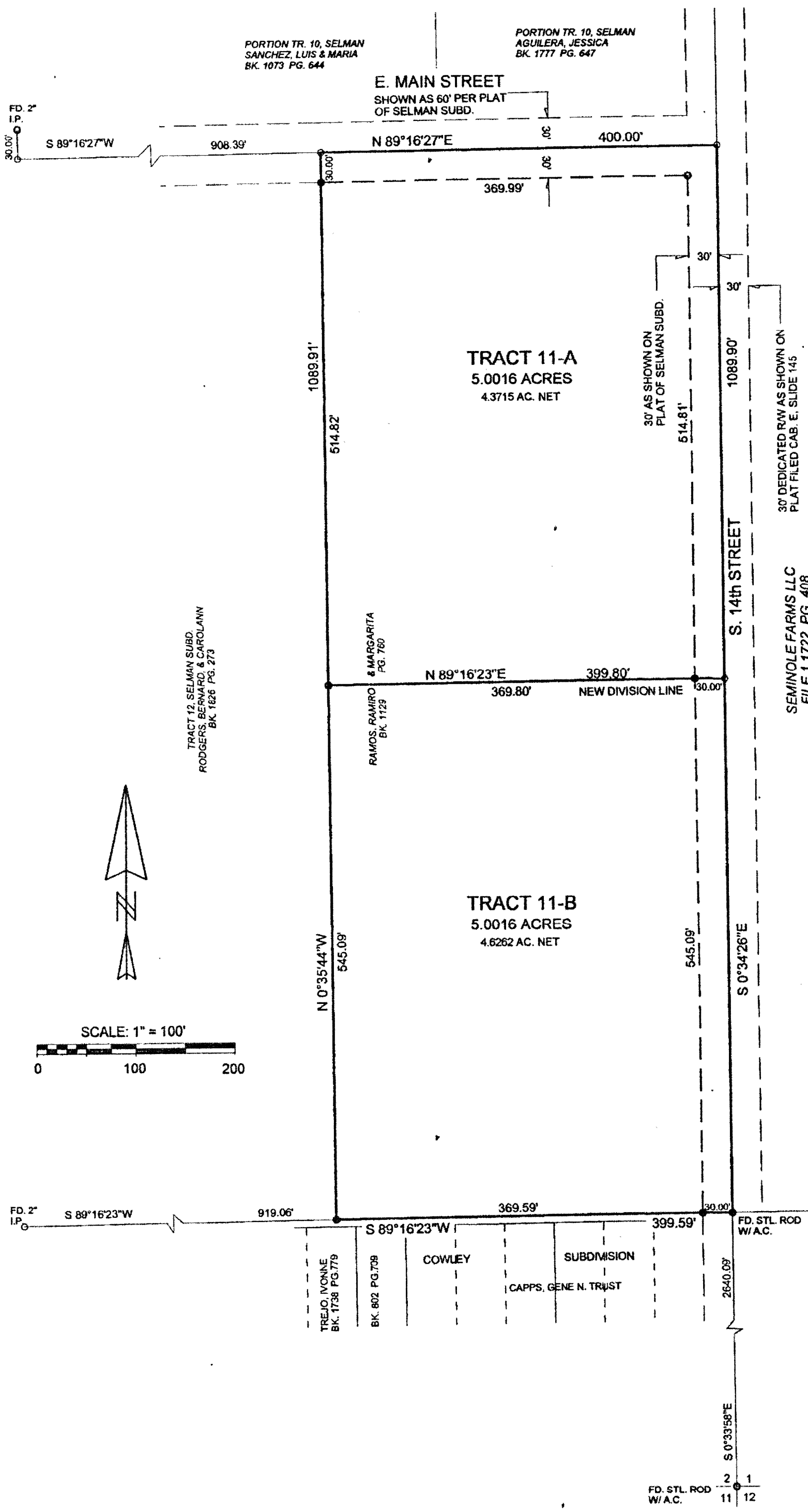
INDEXING INFORMATION FOR THE COUNTY CLERK

ASSESSED OWNER: RAMOS, RAMIRO & MARGARITA  
SECTION(S): SECTION 2, T19S, R38E, N.M.P.M.  
SUBDIVISION: SELMAN SUBDIVISION



SURVEY PREPARED BY:  
 MDN SURVEYING CO.  
1104 ELGIN RD.  
CARLSBAD, NM 88220  
575-234-3505

55-1385



SURVEY NOTES:

1. Unless otherwise noted all set corners are 5/8" rebar stakes with plastic cap impressed "MDN 17821".
2. Date of field survey December 14, 2013.
3. BASIS OF BEARINGS ARE GRID "NEW MEXICO EAST ZONE" NORTH AMERICAN DATUM 1983. DISTANCES ARE GROUND.
4. The property shown hereon is subject to all Easements, Conditions, Restrictions and Reservations of record or in existence.
5. FILE NAME: SELMAN11.ZAK

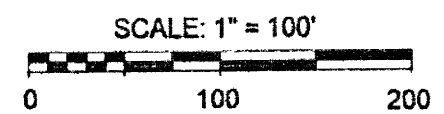
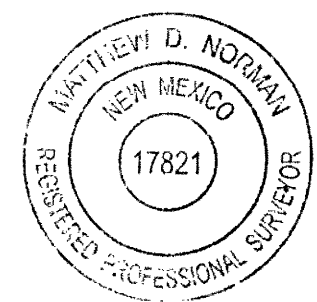
NOTE:

THE TWO TRACTS OF LAND PLATTED HEREON CONSTITUTE A SUBDIVISION AS DEFINED BY THE LEA COUNTY SUBDIVISION REGULATIONS OF LEA COUNTY, NEW MEXICO. THIS PLAT IS FILED UNDER A "CLAIM OF EXEMPTION" FROM THESE REGULATIONS. NO FURTHER SUBDIVISION OF THE ORIGINAL TRACTS MAY BE EXEMPTED FROM THESE REGULATIONS FOR FIVE (5) YEARS FROM THE FILING DATE OF THIS PLAT.

SURVEYORS CERTIFICATE

I, Matthew D. Norman, a New Mexico registered Professional Land Surveyor, certify that I conducted and am responsible for this survey, that this survey is true and correct to the best of my knowledge and belief, and that this survey and plat meet the Minimum Standards for Surveying in New Mexico.

Matthew D. Norman 1-6-14  
Matthew D. Norman, P.S. 17821 Date



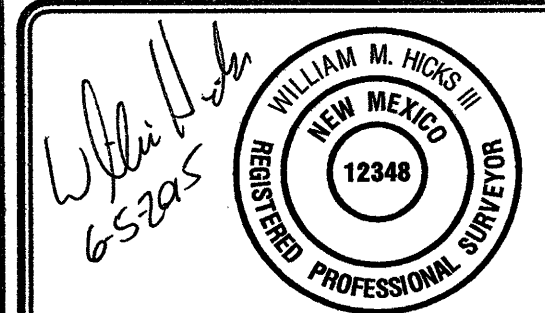
# XUAN LE SUMMARY PLAT

PART OF THE NW1/4 OF SECTION 22, T18S, R38E, N.M.P.M., CITY OF HOBBS, LEA COUNTY, NEW MEXICO



ENGINEERING | SURVEYING | TESTING  
DEFINING QUALITY SINCE 1965  
100 E. Navajo - Suite 100, Hobbs New Mexico 88240  
T 575 393 9827 F 575 393 1543  
Pettigrew.us

PROJECT SURVEYOR: J. Baker  
DRAWN BY: D. Trevizo



### INDEXING INFORMATION FOR COUNTY CLERK

OWNER:  
Ngoc Xuan Nguyen Le

LOCATION:  
Located in the NW1/4 of Section 22, T18S, R38E, N.M.P.M., Hobbs, Lea County, New Mexico.

### REVISIONS

No.	DATE	DESCRIPTION

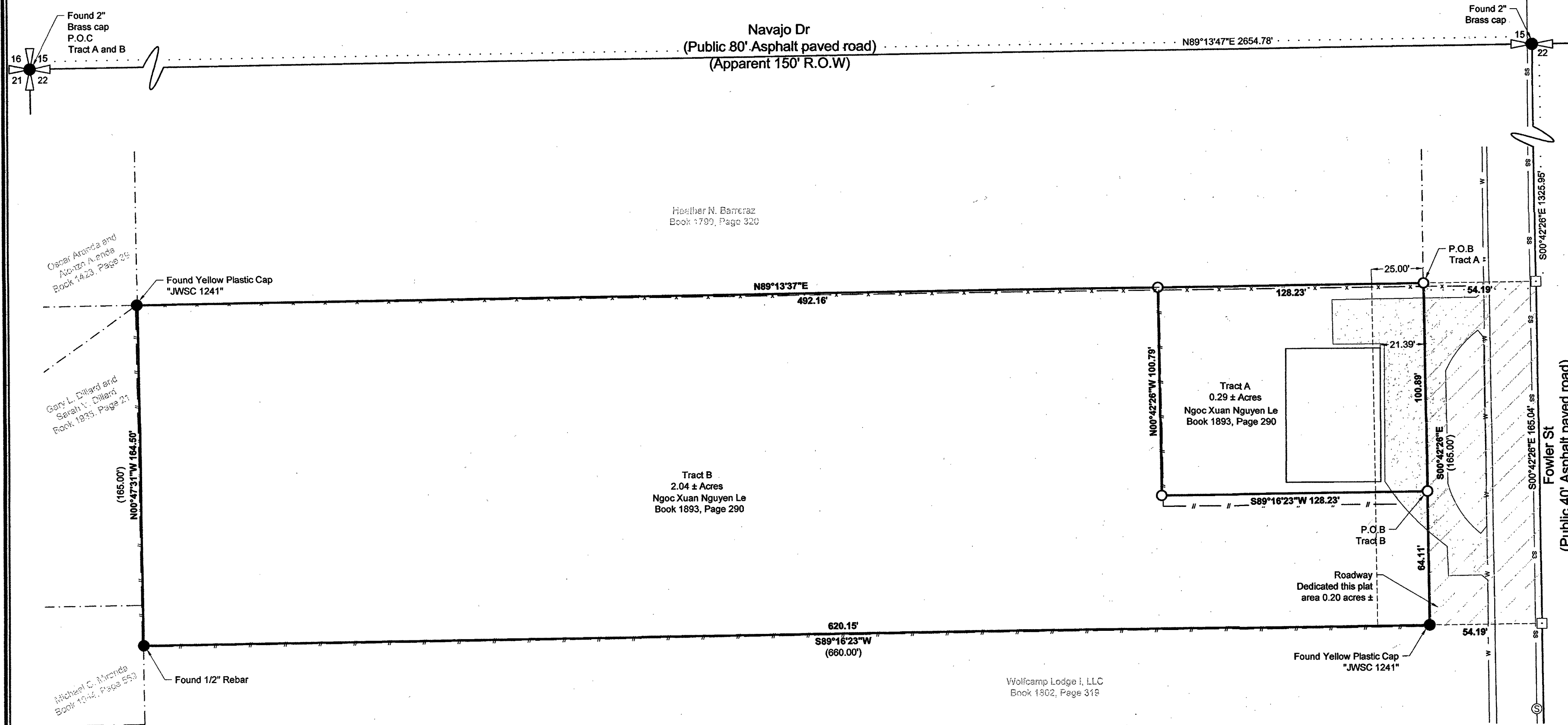
State of New Mexico, County of \_\_\_\_\_  
I here by certify that this instrument was filed for record on:

The \_\_\_\_\_ Day of \_\_\_\_\_  
20\_\_\_\_ A.D.  
At \_\_\_\_\_ O'Clock \_\_\_\_\_ M.  
Cabinet \_\_\_\_\_ Slide \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_  
By \_\_\_\_\_  
County Clerk  
By \_\_\_\_\_  
Deputy

SUMMARY PLAT  
OF  
XUAN LE TRACTS  
FOR  
NGOC XUAN NGUYEN LE

PROJECT NUMBER:  
2015.1097

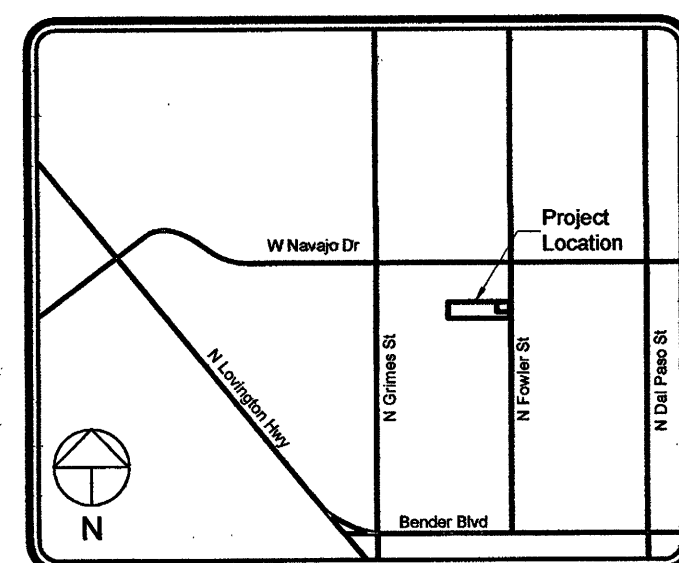
SHEET: 1 of 2  
SU - 101 43



Wolfcamp Lodge I, LLC  
Book 1802, Page 318

### BASIS OF BEARING

The basis of bearing for this survey is Grid North based on the New Mexico State Plane Coordinate System, East Zone, as determined by GPS/GNSS observations. Ground coordinates are modified by scaling about a control point located at N32°40'03.64577", W103°10'44.87982" by a combined scale factor of 0.9998824473. True north can be obtained by applying a convergence angle of 00°38'50.34" at the Point of Beginning



VICINITY MAP  
N.T.S.

### LEGEND

●	Found as noted	— — — — —	Lot line
○	Set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"	— — — — —	Section line
□	Calculated point	— — — — —	Property line
⊕	Found section corner	- x - x -	Barbed wire fence
⊕	Found quarter section corner	- // - // -	Wood picket fence
⊙	Sanitary Sewer Manhole	▨	Dedication
w	Water line	▩	Concrete
ss	Sewer line	XX'XX'XX" XX.XX'	Measured bearing and distance
—	Building line	(XX'XX'XX" XX.XX')	Record bearing and distance
- - - - -	Set back line		

SCALE 1" = 40'  
0' 20' 40' 80'

**RECORD DESCRIPTION - PER DEED BOOK 1893, PAGE 290**

A tract of land located in the Northwest Quarter of Section 22 Township 18 South, Range 38 East, N.M.P.M., Lea County, New Mexico and being more particularly described as follows:

Beginning at a point 1320 feet South and 1980 feet East of the Northwest corner of Section 22; thence South 165 feet; thence East 660 feet; thence North 165 feet; thence West 660 feet to the point of beginning. The East 30 feet subject to an easment.

**LEGAL DESCRIPTION NEW TRACT A**

A Tract of land located of the Northwest Quarter (NW1/4) of Section 22, Township 18 South, Range 38 East, N.M.P.M., Lea County, New Mexico.

Commencing at a found 2" brass cap being used as the northwest corner of Section 22, thence N89°13'47"E along the north line of Section 22, to a found 2" brass cap at 2654.78 feet and S00°42'26"E along the east line of the NW 1/4 of Section 22, to a calculated point at 1325.95 feet and S89°13'37"W 54.19 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" for a Point of Beginning; thence S00° 42'26"E 100.89 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S89°16'23"W 128.23 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N00°42'26"W 100.79 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N89°13'37"E 128.23 feet to the Point of Beginning.

Containing 0.29 acres, more or less.

**LEGAL DESCRIPTION NEW TRACT B**

A Tract of land located of the Northwest Quarter (NW1/4) of Section 22, Township 18 South, Range 38 East, N.M.P.M., Lea County, New Mexico.

Commencing at a found 2" brass cap being used as the northwest corner of Section 22, thence N89°13'47"E along the north line of Section 22, to a found 2" brass cap at 2654.78 feet and S00°42'26"E along the east line of the NW 1/4 of Section 22, to a calculated point at 1325.95 feet and S89°13'37"W 54.19 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" and S00°42'26"E 100.89 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348" for a Point of Beginning; thence S00°42'26"E 64.11 feet to a found yellow plastic cap marked "JWSC 1241"; thence S89°16'23"W 620.15 feet to a found 1/2" rebar; thence N00°47'31"W 164.50 feet to a found yellow plastic cap marked "JWSC 1241"; thence N89°13'37"E 492.16 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence S00°42'26"E 100.79 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N89°16'23"E 128.23 feet to the Point of Beginning.

Containing 2.04 acres, more or less.

**DEDICATION TRACT DESCRIPTION**

A Tract of land located of the Northwest Quarter (NW1/4) of Section 22, Township 18 South, Range 38 East, N.M.P.M., Lea County, New Mexico.

Commencing at a found 2" brass cap being used as the northwest corner of Section 22, thence N89°13'47"E along the north line of Section 22, to a found 2" brass cap at 2654.78 feet and S00°42'26"E along the east line of the NW 1/4 of Section 22, to a calculated point at 1325.95 feet for a Point of Beginning; thence S00°42'26"E 165.04 feet to a calculated point; thence S89°16'23"W 54.19 feet to a found yellow plastic cap marked "JWSC 1241"; thence N00°42'26"W 165.00 feet to a set 5/8" rebar with red plastic cap marked "HICKS NMPS 12348"; thence N89°13'37"E 54.19 feet to the Point of Beginning.

Containing 0.20 acres, more or less.

**CERTIFICATE OF SURVEY**

I, William M. Hicks, III New Mexico Professional Surveyor, hereby certify that this Summary Subdivision Plat was prepared from an actual ground survey performed by me or under my supervision, that this survey is true and correct to the best of my knowledge and belief. That this Summary Subdivision Plat and the field survey upon which it is based meet the Minimum Standards for Surveying in New Mexico.

*William M. Hicks, III*  
 William M. Hicks, III NMPS #12348

6-5-2015  
 Date

**OWNERS STATEMENT AND AFFIDAVIT**

State of New Mexico: \_\_\_\_\_  
 County of Lea: \_\_\_\_\_

The undersigned first duly sworn on oath, state: On behalf of the owners and proprietors we have of our own free will and consent caused this plat with its tracts to be platted. The property described on this plat lies within the platting jurisdiction of City of Hobbs.

By *Ngoc Xuan Nguyen Le*  
 Ngoc Xuan Nguyen Le

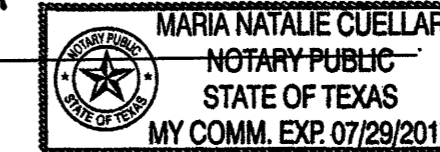
**ACKNOWLEDGMENT**

State Of New Mexico: Texas  
 County Of Lea: El Paso

On this 15th day of June, 2015, before me, Ngoc Xuan Nguyen Le to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Witness my hand and official seal the day and year last above written.

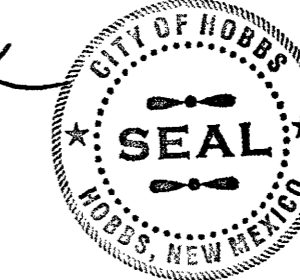
My commission expires: 12/31/17  
 Notary Public *Maria Natalie Cuellar*



**CERTIFICATE OF MUNICIPAL APPROVAL**

I, Kevin Robinson, Lead Project Manager for the City of Hobbs, Lea County, New Mexico, do hereby certify that the foregoing plat in the City of Hobbs, Lea County, New Mexico, was reviewed and deemed compliant with the Municipal Summary Process Regulations on this 19th day of June, 2015.

*Kevin Robinson*  
 Kevin Robinson, Lead Project Manager



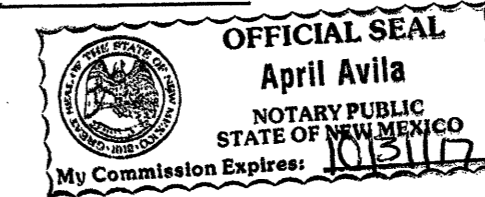
**ACKNOWLEDGMENT**

State of New Mexico: \_\_\_\_\_  
 County of Lea: \_\_\_\_\_

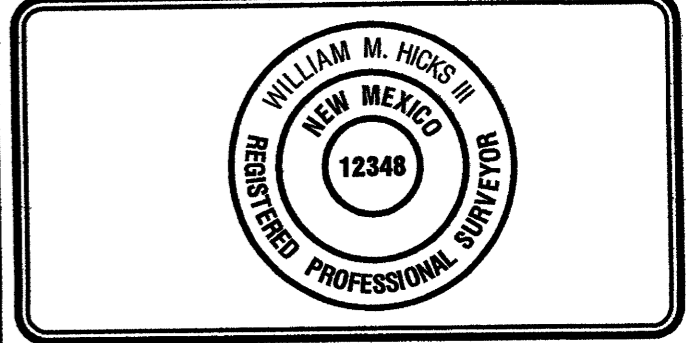
On this 19th day of June, 2015, before me, Kevin Robinson and Jan Fletcher to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Witness my hand and official seal the day and year last above written.

My Commission Expires: 10/31/17  
*April Avila*  
 Notary Public



PROJECT SURVEYOR: J. Baker  
 DRAWN BY: D. Trevizo



**INDEXING INFORMATION FOR COUNTY CLERK**  
 OWNER: Ngoc Xuan Nguyen Le  
 LOCATION: Located in the NW1/4 of Section 22, T18S, R38E, N.M.P.M., Hobbs, Lea County, New Mexico.

**REVISIONS**

No.	DATE	DESCRIPTION

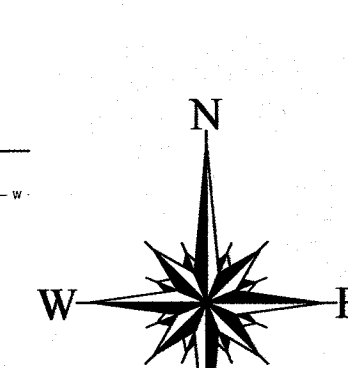
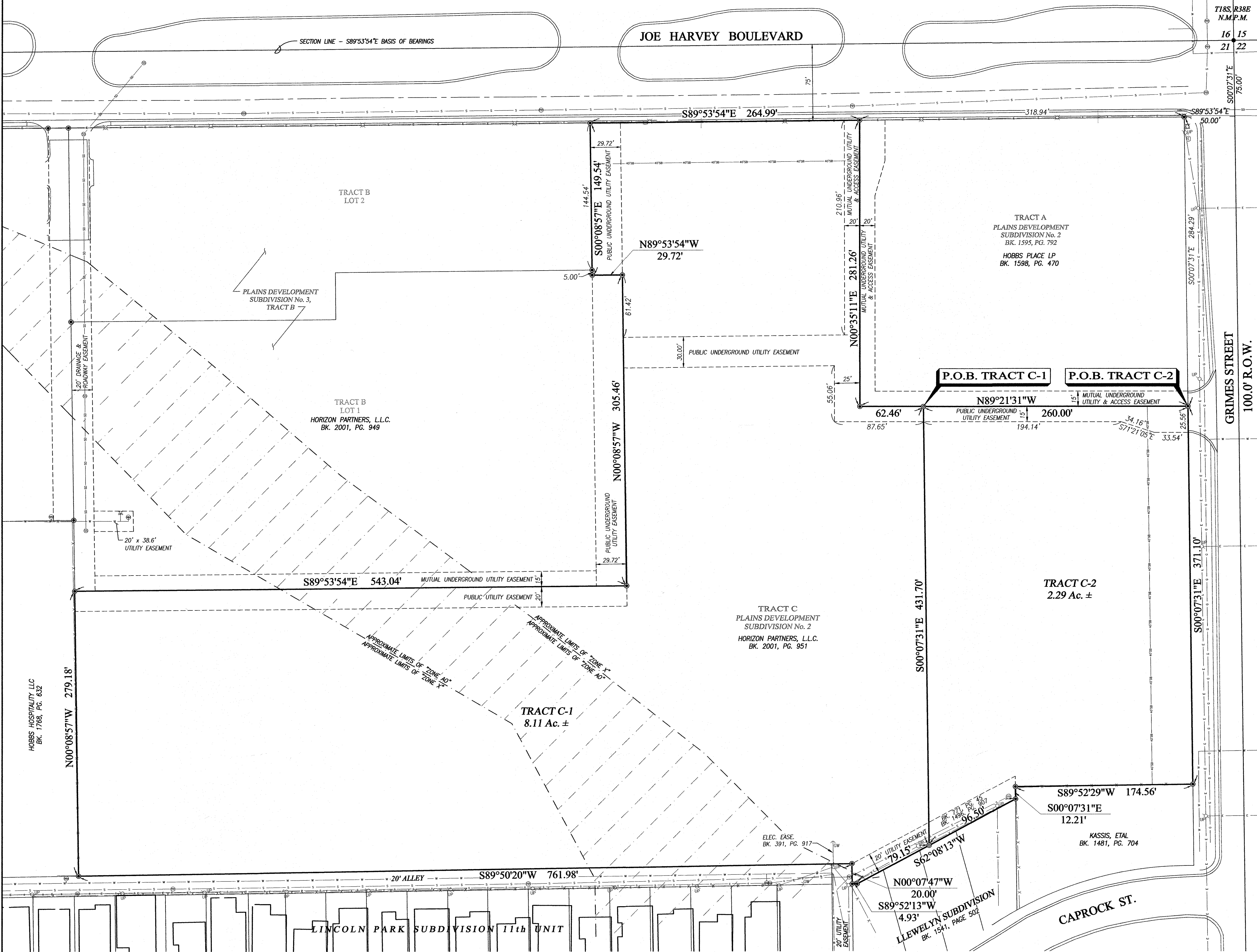
State of New Mexico, County of \_\_\_\_\_  
 I here by certify that this instrument was filed for record on:  
 The \_\_\_\_\_ Day of \_\_\_\_\_,  
 20 \_\_\_\_\_ A.D.  
 At \_\_\_\_\_ O'Clock \_\_\_\_\_ M.  
 Cabinet \_\_\_\_\_ Slide \_\_\_\_\_  
 Book \_\_\_\_\_ Page \_\_\_\_\_  
 By \_\_\_\_\_  
 County Clerk  
 By \_\_\_\_\_  
 Deputy

**SUBDIVISION PLAT OF XUAN LE TRACTS FOR NGOC XUAN NGUYEN LE**

PROJECT NUMBER: 2015.1097

SHEET: 2 of 2  
**SU - 102**

51262



**PLAINS DEVELOPMENT SUBDIVISION No. 4, TRACT C**  
 LOCATED IN THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER  
 OF SECTION 21, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M.,  
 CITY OF HOBBS, LEA COUNTY, NEW MEXICO

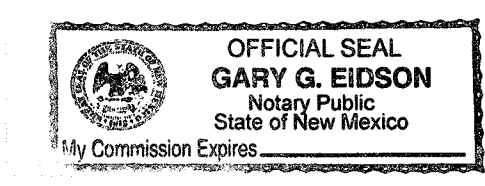
**THE FOREGOING SUBDIVISION OF TRACT C, PLAINS DEVELOPMENT SUBDIVISION No. 2, FILED IN THE OFFICIAL RECORDS OF LEA COUNTY, NEW MEXICO IN BOOK 1595, PAGE 792, SITUATED IN THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 21, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., CITY OF HOBBS, LEA COUNTY, NEW MEXICO INTO THE FOLLOWING DESCRIBED TRACTS:**

**TRACT C-1**  
 BEGINNING AT A POINT ON THE SOUTH LINE OF TRACT A, PLAINS DEVELOPMENT SUBDIVISION No. 2, FOR THE NORTHEAST CORNER OF THE HEREBY DESCRIBED TRACT OF LAND, WHICH LIES S00°07'31"E 75.00 FEET, N89°53'54"W 50.00, S00°07'31"E 284.29 FEET AND N89°21'31"W 250.00 FEET FROM THE NORTHEAST CORNER OF SECTION 21;  
 THEN S00°07'31"E A DISTANCE OF 431.70 FEET TO A POINT ON THE NORTH LINE OF THE LLEWELLYN SUBDIVISION TO THE CITY OF HOBBS FOR THE SOUTHWEST CORNER OF THIS TRACT; THEN S2°08'13"W ALONG THE NORTH LINE OF SAID LLEWELLYN SUBDIVISION A DISTANCE OF 79.15 FEET TO A CORNER OF SAID LLEWELLYN SUBDIVISION; THEN S89°52'13"W A DISTANCE OF 4.93 FEET TO THE NORTHWEST CORNER OF SAID LLEWELLYN SUBDIVISION AND BEING A POINT ON THE WEST LINE OF THE ELEVENTH UNIT, LINCOLN PARK SUBDIVISION TO THE CITY OF HOBBS; THEN N00°07'47"W A DISTANCE OF 20.00 FEET TO THE NORTHEAST CORNER OF SAID ELEVENTH UNIT; THEN S89°50'20"W ALONG THE NORTH LINE OF SAID ELEVENTH UNIT A DISTANCE OF 149.54 FEET TO A POINT ON THE EAST LINE OF A TRACT CONVEYED TO HOBBS HOSPITALITY LLC; THEN N00°08'57"W A DISTANCE OF 279.18 FEET ALONG SAID HOBBS HOSPITALITY LLC TRACT TO THE SOUTHWEST CORNER OF TRACT B, PLAINS DEVELOPMENT SUBDIVISION No. 3; THEN S89°53'54"E ALONG THE SOUTH LINE OF SAID TRACT B, A DISTANCE OF 543.04 FEET TO THE SOUTHWEST CORNER OF SAID TRACT B; THEN N00°08'57"W ALONG THE EAST LINE OF SAID TRACT B, A DISTANCE OF 305.46 FEET; THEN N89°53'54"W A DISTANCE OF 29.72 FEET; THEN N00°08'57"W A DISTANCE OF 149.54 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF JOE HARVEY BOULEVARD AND BEING THE NORTHEAST CORNER OF SAID TRACT B; THEN S89°53'54"E ALONG SAID SOUTH RIGHT-OF-WAY LINE A DISTANCE OF 264.99 FEET TO THE NORTHEAST CORNER OF TRACT A, PLAINS DEVELOPMENT SUBDIVISION No. 2; THEN S00°35'11"W ALONG THE WEST LINE OF SAID TRACT A, A DISTANCE OF 281.26 FEET; THEN S89°21'31"E ALONG THE SOUTH LINE OF SAID TRACT A, A DISTANCE OF 72.46 FEET TO THE POINT OF BEGINNING, CONTAINING 8.11 ACRES MORE OR LESS.

**TRACT C-2**  
 BEGINNING AT THE SOUTHWEST CORNER OF TRACT A PLAINS DEVELOPMENT SUBDIVISION No. 2 FOR THE NORTHEAST CORNER OF THE HEREBY DESCRIBED TRACT OF LAND, SAID CORNER BEING ON THE WEST RIGHT-OF-WAY LINE OF GRIMES STREET, WHICH LIES S00°07'31"E 75.00 FEET, N89°53'54"W 50.00 AND S00°07'31"E 284.29 FEET FROM THE NORTHEAST CORNER OF SECTION 21;  
 THEN S00°07'31"E ALONG THE WEST RIGHT-OF-WAY LINE OF GRIMES STREET A DISTANCE OF 371.10 FEET TO THE NORTHEAST CORNER OF A TRACT OF LAND CONVEYED TO KASSIS, ETAL AND THE SOUTHWEST CORNER OF THIS TRACT; THEN S89°52'29"W ALONG THE NORTH LINE OF SAID KASSIS TRACT A DISTANCE OF 174.56 FEET TO THE NORTHEAST CORNER OF SAID KASSIS TRACT; THEN S00°07'31"E ALONG THE WEST LINE OF SAID KASSIS TRACT A DISTANCE OF 12.21 FEET TO NORTHEAST CORNER OF THE LLEWELLYN SUBDIVISION TO THE CITY OF HOBBS; THEN S2°08'13"W ALONG THE NORTH LINE OF SAID SUBDIVISION A DISTANCE OF 96.50 FEET; THEN N00°07'31"W A DISTANCE OF 431.70 FEET TO A POINT ON THE SOUTH LINE OF TRACT A, PLAINS DEVELOPMENT SUBDIVISION No. 2 TO THE CITY OF HOBBS; THEN S89°21'31"E ALONG SAID SOUTH LINE OF TRACT A, A DISTANCE OF 260.00 FEET TO THE POINT OF BEGINNING, CONTAINING 2.29 ACRES MORE OR LESS.

SAID TRACT BEING SUBDIVIDED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER THEREOF SURVEYED AND SUBDIVIDED ACCORDING TO THE TRACTS AS THEY APPEAR ON THE PLAT AFFIXED HEREOF.  
 IN WITNESS WHEREOF, THE UNDERSIGNED OWNERS OF SAID LAND, HAVE HERUNTO SET THEIR HAND THIS 8th DAY OF June, 2016 A.D.  
*Rodger Gray*  
 RODGER GRAY  
 HORIZON PARTNERS, L.L.C.

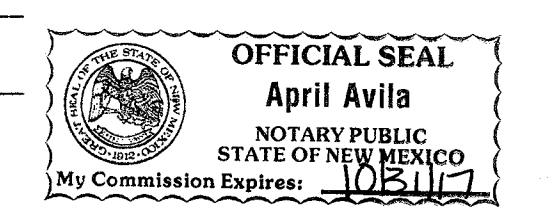
**ACKNOWLEDGMENT:**  
 STATE OF NEW MEXICO  
 COUNTY OF LEA  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 8th DAY OF June, 2016 A.D., BY  
 RODGER GRAY, HORIZON PARTNERS, L.L.C.  
 Notary Public  
*Dag B. Edmon*  
 May 9, 2017  
 My Commission Expires



**CERTIFICATE OF MUNICIPAL APPROVAL:**  
 I, KEVIN ROBINSON, DEVELOPMENT DIRECTOR FOR THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING PLAT IN THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, WAS REVIEWED AND DEEMED COMPLIANT WITH THE MUNICIPAL SUMMARY PROCESS REGULATIONS ON THIS 8th DAY OF June, 2016 A.D.  
*Kevin Robinson*  
 KEVIN ROBINSON, DEVELOPMENT DIRECTOR  
 ATTEST: *Jan Fletcher*  
 JAN FLETCHER, CITY CLERK



**ACKNOWLEDGMENT:**  
 STATE OF NEW MEXICO  
 COUNTY OF LEA  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 10th DAY OF June, 2016 A.D., BY  
*April Avila*  
 NOTARY PUBLIC  
 103117  
 My Commission Expires 10/31/17



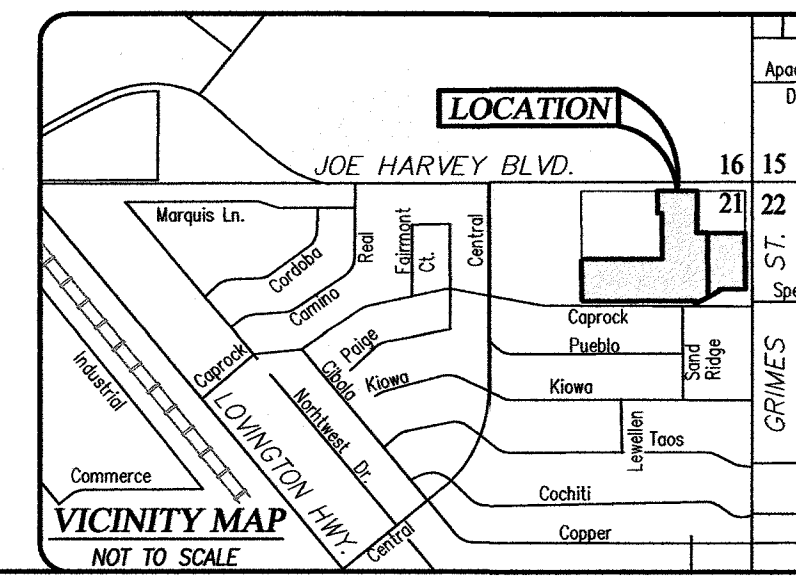
**SURVEYOR'S CERTIFICATE:**  
 I, GARY G. EIDSON, NEW MEXICO PROFESSIONAL SURVEYOR No. 12641, DO HEREBY CERTIFY THAT THIS SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

GARY G. EIDSON *Dag B. Edmon*  
 DATE: 5/23/2016  
 PROVIDING SURVEYING SERVICES SINCE 1946  
**JOHN WEST SURVEYING COMPANY**  
 412 N. DAL PASO HOBBS, N.M. 88240  
 (773) 552-2117 www.jwsurvey.com  
 TPLS# 10021000



- LEGEND:**
- DENOTES SET 1/2" STEEL ROD W/CAP MARKED "JWSC P.S. 12641"
  - DENOTES FOUND 1/2" STEEL ROD W/CAP MARKED "JWSC P.S. 12641"
  - DENOTES FOUND BRASS CAP IN CONCRETE
  - DENOTES GAS LINE W/METER
  - DENOTES SEWER LINE W/MANHOLE
  - DENOTES SEWER LINE CLEANOUT
  - DENOTES STORM DRAIN LINE W/MANHOLE
  - DENOTES WATER LINE W/METER
  - DENOTES FIRE HYDRANT
  - DENOTES ELECTRIC LINE
  - DENOTES UTILITY POLE
  - DENOTES LIGHT POLE
  - DENOTES GUY/ANCHOR WIRE
  - DENOTES ELECTRIC PANEL BOX
  - DENOTES FENCE LINE
  - DENOTES SIGN
  - DENOTES 40' BUILDING SETBACK LINE

**NOTE:**  
 1) BEARINGS SHOWN HEREON ARE BASED UPON RECORD BEARINGS SHOWN ON THAT CERTAIN PLAT "SUMMARY PLAT, PLAINS DEVELOPMENT SUBDIVISION No. 3, TRACT B, IN NE/4 OF THE NE/4 OF SECTION 21, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., CITY OF HOBBS, LEA COUNTY, NEW MEXICO, RECORDED ON APRIL 24, 2009, IN THE PLAT RECORDS OF LEA COUNTY, NEW MEXICO.  
 2) UTILITY LOCATIONS SHOWN ON THIS PLAT ARE PLOTTED FROM INFORMATION OBTAINED FROM THE CITY OF HOBBS AND OBSERVED SURFACE EVIDENCE AND MAY NOT BE SHOWN IN THEIR TRUE LOCATION. ACTUAL LOCATIONS SHOULD BE VERIFIED.  
 3) WITH RESPECT TO THE FLOOD INSURANCE RATE MAP FOR LEA COUNTY, NEW MEXICO AND INCORPORATED AREAS, PANEL 1335 OF 2150, MAP No. 35025C13350, EFFECTIVE DATE, DECEMBER 16, 2008, A PORTION OF THE SOUTHWEST CORNER OF TRACT "C" IS LOCATED WITHIN "ZONE A0", DEFINED AS AREAS OF FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY SHEET FLOW ON SLOPING TERRAIN); AVERAGE DEPTH DETERMINED FOR AREAS OF ALLUVIAL FAN FLOODING; VELOCITIES ALSO DETERMINED. THE REMAINDER OF THIS TRACT IS WITHIN "ZONE X", DEFINED AS AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOOD PLAN, THE APPROXIMATE BOUNDARIES AS SHOWN HEREOF.



LEA COUNTY SEAL  
 STATE OF NEW MEXICO  
 COUNTY OF LEA  
 FILED  
June 23, 2016  
 at 2:00 o'clock A.M.  
 and recorded in:  
 Cabinet \_\_\_\_\_ Slide \_\_\_\_\_  
 Book \_\_\_\_\_ Page \_\_\_\_\_  
 Notary Public  
*April Avila*  
 Deputy

55-1387