

**AGENDA**  
**City of Hobbs Planning Board – Regular Meeting**  
**January 17, 2017 at 10:00 AM**

**W. M. “Tres” Hicks, Chairman**  
**Bill Ramirez**  
**Brett Drennan**  
**Larry Sanderson**

**Guy Kesner, Vice Chairman**  
**Bobby Shaw**  
**Dwayne Penick**

**Tentative Agenda for the Planning Board Regular Session Meeting to be held on Tuesday, January 17, 2017 at 10:00 AM at the City of Hobbs Annex Building, First Floor Commission Chambers located at 200 E. Broadway, Hobbs, NM 88240.**

**AGENDA**

- 1) Call To Order.**
- 2) Review and Consider Approval of Agenda.**
- 3) Review and Consider Approval of Minutes.**

**December 20, 2016 – Regular Meeting**

- 4) Communications from Citizens.**
- 5) Review and Consider Variance to Municipal Code Chapter 16.16.050 B-1 (Lots) as requested by Robert Smith, property owner. Minimum width for a newly created lot containing a detached structure is 35’; the property owner is proposing to replat five 25’ lots creating 3 lots. One of the lots proposed to be created is not compliant with MC 16.16.050 B-1 having a width of 31’. The proposed replat is located on Burke between Clinton and Park.**
- 6) Review and Consider Tanglewood, Unit 2 at Ranchview Estates Preliminary Plan as submitted by property owner Western States Development Group, LLC.**
- 7) Review and Consider various variance requests for proposed development to be located adjacent to the Lovington Highway north of the Holiday Inn Express as submitted by Hawkins Companies, property owner. Variance Request #1 is a setback variance; Lovington Highway is classified as a Major Arterial with a required setback of 40’ from the property line; the proposed structures are requested to be located 20’ from the property line requiring a 20’ variance. Variance #2 is a parking variance; total buildout will produce +/- 188,863 sq. ft. of retail space requiring 944 parking spaces per MC 15.20, the developer is proposing 850 parking spaces requiring a variance of 94 spaces. Variance #3 is a sign variance; MC 15.32.030 C-3 allows one multi-business shopping center sign comprised of 288 sq. ft. sign face total, the developer is proposing two multi-business shopping center sign comprised of 288 sq. ft. sign face total.**
- 8) Review and Consider proposed subdivision located southwest of the intersection of Jones Road and Bensing within the extra territorial jurisdiction of the Municipality, as submitted by property owners.**
- 9) Review and Consider proposed subdivision located northeast of the terminus of West Bender, as submitted by property owners.**

**10) Adjournment.**

**The City will make every effort to provide reasonable accommodations for people with disabilities who wish to attend a public meeting. Please notify the City at least 24 hours before the meeting. Telephone 397-9351.**

*“Notice is hereby given that a quorum of the Hobbs City Commission may be in attendance at this meeting.”*

**PLANNING BOARD MEETING  
MINUTES  
December 20, 2016**

The Hobbs Planning Board met on December 20, 2016 at 10:00 a.m. at City of Hobbs Annex Building, First Floor Commission Chambers, located at 200 E. Broadway, Hobbs, NM 88240 with Mr. W.M. “Tres” Hicks Chairman presiding.

**Members Present:**

Tres Hicks, Chairman  
Guy Kesner, Vice Chairman  
Bobby Shaw  
Bill Ramirez  
Larry Sanderson  
Dwayne Penick

**Members Absent:**

Brett Drennan

**Also present were members of the public and City staff as follows:**

Kevin Robinson, Development Director  
Todd Randall, City Engineer  
Julie Nymeyer, Staff Secretary

Manny Marquez, Building Official  
Bruce Reid, County Planner  
Elise Govac, EDC

- 1) Chairman W.M. “Tres” Hicks called the meeting to order at 10:05 am.
- 2) **Review and Consider Approval of Agenda.**

The first item of business was to review and approve the Agenda for the December 20, 2016 meeting. Mr. Hicks asked if there were any changes or additions to the Agenda? Mr. Robinson said there are no changes or additions to the agenda. Mr. Ramirez made a motion, seconded by Mr. Shaw to approve the agenda as presented. The vote on the motion was 6-0 and the motion carried.

- 3) **Review and Consider Approval of Minutes.**

Mr. Hicks asked if everyone has had a chance to read the Regular Minutes from November 15, 2016. Mr. Kesner made a motion seconded by Mr. Ramirez to approve the minutes as presented. The vote on the motion was 6-0 and the motion carried.

**November 15, 2016 – Regular Meeting**

- 4) **Communications from Citizens.**

Ms. Elise Govac with the EDC introduced herself. She said she was there because she had an interest in item #5.

- 5) **Review and Consider front yard setback variance request for proposed development to be located adjacent to the Lovington Highway north of the Holiday Inn Express as submitted by Hawkins Companies, property owner. Lovington Highway is classified as a Major Arterial with a required setback of 40' from the property line; the proposed structure is requested to be located 20' from the property line requiring a 20' variance.**

Mr. Robinson said this is a front yard setback variance request. He said Lovington Hwy is a major arterial requiring a 40 foot setback and the developer is proposing a 20 foot setback. He said the 20 foot setback will be on this single proposed structure. He said it will be located on a subdivision that was recently purchased. He said there are several existing structures located on the east side of Lovington Highway that are non-compliant with the Major Thoroughfare Plan as far as setbacks. He said the new structures which are located from Holiday Inn to Bender with the exception of Pet Smart are compliant. He said Pet Smart has about 30 or 35 foot setback.

Mr. Robinson said there is a master plan for the entire property being looked at today. Mr. Hicks asked if they were only asking for the variance for this one lot? He said it looks like they intend this for the entire master plan. Mr. Robinson said this is not a submittal and can be change. He said according to the master plan right now there will be two buildings that will require a variance setback.

Mr. Hicks asked what the staff's recommendation was and what the future need for development along Lovington Highway is. Mr. Robinson said that it is at the discretion of the Board. He said staff will be diligent in maintaining the site triangle.

Mr. Ramirez asked what the main reason for the variance was? Mr. Robinson said they would like to locate the structure closer to the property line for visibility. Mr. Shaw said he will be abstaining from this item because he is directly involved in the transaction. He said the developers have closed on this piece of this property early because Verizon wanted to be open mid to late 2017. He said from what he understands one of the requirements from Verizon is the position of the building of the lot.

Mr. Kesner said he is worried about traffic. He said he thinks they need to limit their access points off of Lovington Highway. He said with two accesses approximately 200 feet apart it would make more sense to move the entrance further north. Mr. Hicks said when they subdivided the lot they left a flag pole on the south side so the lot behind Verizon has access by the flag pole. Mr. Shaw said the primary access to the shopping center is further north. Mr. Randall said this will be one of four access points. Mr. Kesner said he thinks they have to limit access points off Lovington Highway. Mr. Randall said the Highway Departments standard is 660 feet between driveways except when a parcel has already been created. He said they typically will not deny access to a parcel that does not have a connection any place else.

Mr. Robinson said Hawkins Group has done a good job in Master Planning the entire site but we are only looking at the compliance of a portion of the site. He said if Hawkins's went away tomorrow there could be numerous accesses to individual lots. He said you could



restrict the accesses to right in and right out only. Mr. Shaw said they do not own the property yet, this is a standalone issue now. Mr. Sanderson said if Verizon gets this variance then the other two parcels will want the same consideration. Mr. Randall said the Comprehensive Plan establishes several strategic corridors. He said this is a prime corridor for growth and he is excited to see development on all of these properties. Mr. Ramirez asked if it would affect the development? Mr. Shaw said he believed it would. Mr. Robinson said there are two parts to this setback. He said number one is the safety and the other is the aesthetics. Mr. Hicks said his company is involved in this project and he would also be abstaining. He said from an aesthetics perspective he doesn't think it is that big of a deal but he is concerned about the preservation of the corridor from the long term growth perspective. Mr. Sanderson said his concern is future developments on this corridor. Mr. Penick said he has seen a lot of Verizon stores set back in shopping centers.

Mr. Ramirez said if they are setting precedence then he will deny it because of the rest of the buildings. Mr. Hicks asked if it was a motion? Mr. Ramirez made a motion, seconded by Mr. Penick to deny the setback variance request. Mr. Shaw and Mr. Hicks abstained, Mr. Kesner said he opposed. He said he was more worried about the access than the setback. The vote on the motion was 3-1 and the motion was carried.

**6) Review and Consider proposed amendment of Municipal Code Title 16 (Subdivision Regulations).**

Mr. Robinson said this is the amendments that were requested to the Municipal Code. He said the change is to the claim of exemptions within the ETZ over 5 acres. He said a claim of exemption within the ETZ can conceivably be subdivided without any local governing authority approval. He said there are staff recommendations in your packet.

Mr. Sanderson left the meeting at 11:10 am.

Mr. Bruce Reid the County Planner said the County is making new ordinances and design standards in the near future. Mr. Hicks suggested coming back in 3 months to see where the county is with their new rules. He said we have assurances from Mr. Reid that the county is making people comply with development standards.

Mr. Hicks said the city will review every subdivision within the ETZ unless it is compliant with the county ordinances and regulations. He said the city will always review less than 5 acre subdivisions in the ETZ. Mr. Shaw said that gives the city authority to look at all subdivisions even if they are complaint with the county. Mr. Robinson said the changes to be made are: 1) the municipality reviews and approves everything under 5 acres? Mr. Kesner said we need to make it reasonable for developers. Mr. Robinson asked about the city looking over subdivisions that require a variance from the county?

After a lengthy discussion Mr. Kesner made a motion, seconded by Mr. Ramirez to table this item while staff rewrites the amendments of the Municipal Code Title 16 and has legal look it over. The vote on the motion was 5-0 and the motion carried.

**7) Review and Consider Planning Board Calendar for Calendar Year 2017.**

Mr. Kesner made a motion, seconded by Mr. Penick to approve the calendar as presented. The vote on the motion was 5-0 and the motion carried.

Mr. Randall said that Mr. Manny Marquez is going to retire at the end of the year so this will be his last Planning Board Meeting.

Mr. Marquez thanked the Board for the support they have given his department. He believes the city has moved forward. Mr. Hicks thanks Manny for his years of service. He introduced Mr. Ben Maynes as the new Building Official. Mr. Maynes said he is happy to be here and he looks forward to working with everyone.

**8) Adjournment.**

With nothing further to discuss Mr. Ramirez made a motion, seconded by Mr. Kesner to adjourn the meeting at 11:50 am. The vote on the motion was 5-0 and the motion carried.

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Tres Hicks, Chairman

- 5) **Review and Consider Variance to Municipal Code Chapter 16.16.050 B-1 (Lots) as requested by Robert Smith, property owner. Minimum width for a newly created lot containing a detached structure is 35'; the property owner is proposing to replat five 25' lots creating 3 lots. One of the lots proposed to be created is not compliant with MC 16.16.050 B-1 having a width of 31'. The proposed replat is located on Burke between Clinton and Park.**

**From:** Gary Eidson <gary@jwsc.biz>  
**Sent:** Friday, December 30, 2016 9:24 AM  
**To:** Kevin Robinson  
**Subject:** Re: Re plat Grimes Addition

Works for me.

Sent from my iPhone

On Dec 30, 2016, at 9:15 AM, Kevin Robinson <[krobinson@hobbsnm.org](mailto:krobinson@hobbsnm.org)> wrote:

No and it is 100% my fault ( I don't know why\how). We can have this variance request on the January Planning Board will that work?

Thanks,  
Kevin Robinson  
City of Hobbs  
Planning Department  
1.575.391.4111 Office  
1.575.441.4360 Cellular

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**From:** Gary Eidson [<mailto:gary@jwsc.biz>]  
**Sent:** Friday, December 30, 2016 9:07 AM  
**To:** Kevin Robinson  
**Subject:** FW: Re plat Grimes Addition

Kevin,

Did anything ever happen on this?

Gary

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**From:** Gary Eidson [<mailto:gary@jwsc.biz>]  
**Sent:** Friday, November 11, 2016 2:31 PM  
**To:** 'Kevin Robinson'  
**Subject:** RE: Re plat Grimes Addition

I finally spoke with the client. They would like to request a variance on Lot 8A being less than 35' wide.

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**From:** Kevin Robinson [<mailto:krobinson@hobbsnm.org>]  
**Sent:** Thursday, October 20, 2016 3:00 PM  
**To:** Gary Eidson  
**Subject:** RE: Re plat Grimes Addition

The only problem I see is LOT 8A being less than 35' would require Planning Board approval since Title 16 does not give authority for administrative variances.

However we do have authority to grant administrative variances of side yard setbacks if there is an existing violation within the block. So if a variance application was completed for a structure having a minimum of 3' for a side yard setback we could approve the subdivision administratively.

Thanks,  
Kevin Robinson  
City of Hobbs  
Planning Department  
1.575.391.4111 Office  
1.575.441.4360 Cellular

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**From:** Gary Eidson [<mailto:gary@jwsc.biz>]  
**Sent:** Thursday, October 20, 2016 2:18 PM  
**To:** Kevin Robinson  
**Subject:** Re plat Grimes Addition

Kevin,

I can't find where I ever sent this to you for review.

Gary

**SUMMARY REPLAT OF LOTS 6, 7, 8, 9, AND 10, BLOCK 7,  
GRIMES ADDITION TO THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO**

REPLAT OF LOTS 6, 7, 8, 9, AND 10, BLOCK 7, GRIMES ADDITION, CITY OF HOBBS, LEA COUNTY, NEW MEXICO, INTO LOTS 7A AND 8A.

SAID LOTS ARE BEING REPLATTED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER THEREOF SURVEYED AND REPLATTED AS THE SAME APPEARS HEREON. UTILITIES SERVING THESE LOTS CROSSING EACH OTHER ARE HEREBY RESERVED A UTILITY EASEMENT, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER THE LOTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, RELOCATING, INSPECTING, PATROLLING, MAINTAINING, OR REMOVING SAID UTILITIES.

IN WITNESS WHEREOF, THE UNDERSIGNED OWNER OF SAID LAND, HAS HEREUNTO SET HIS HAND THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016 A.D.

\_\_\_\_\_  
ROBERT SMITH, ROBERT SMITH TRUST  
BOOK 1933, PAGE 577

ACKNOWLEDGMENT  
STATE OF NEW MEXICO  
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016 A.D., BY ROBERT SMITH.

\_\_\_\_\_  
NOTARY PUBLIC

\_\_\_\_\_  
MY COMMISSION EXPIRES

CERTIFICATE OF MUNICIPAL APPROVAL  
I, KEVIN ROBINSON, DEVELOPMENT DIRECTOR FOR THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING PLAT IN THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, WAS REVIEWED AND DEEMED COMPLIANT WITH THE MUNICIPAL SUMMARY PROCESS REGULATIONS ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016 A.D.

\_\_\_\_\_  
KEVIN ROBINSON, DEVELOPMENT DIRECTOR

ATTEST: \_\_\_\_\_  
JAN FLETCHER, CITY CLERK

ACKNOWLEDGMENT  
STATE OF NEW MEXICO  
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016 A.D., BY KEVIN ROBINSON AND JAN FLETCHER.

\_\_\_\_\_  
NOTARY PUBLIC

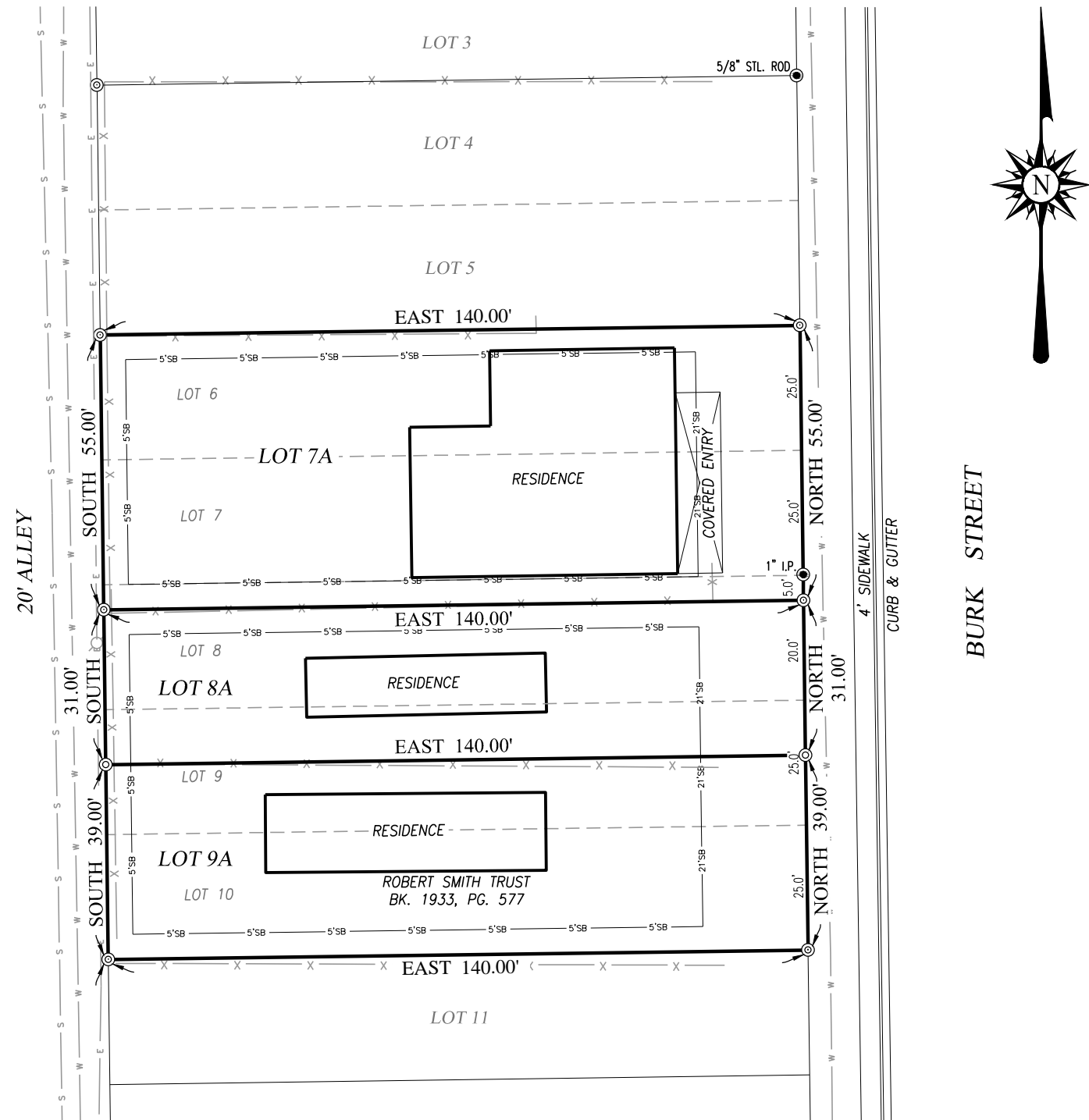
\_\_\_\_\_  
MY COMMISSION EXPIRES

SURVEYOR'S CERTIFICATE:

I, GARY G. EIDSON, NEW MEXICO PROFESSIONAL SURVEYOR No. 12641, DO HEREBY CERTIFY THAT THIS SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

GARY G. EIDSON \_\_\_\_\_

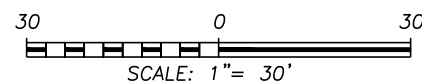
DATE: \_\_\_\_\_



BURK STREET

4' SIDEWALK  
CURB & GUTTER

20' ALLEY

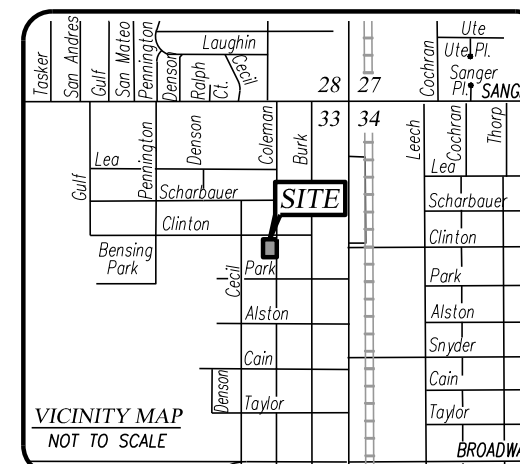


**LEGEND**

- ⊙ - DENOTES SET 1/2" STL. ROD W/CAP MKD. "JWSC PS 12641"
- - DENOTES FOUND CORNER, AS NOTED
- — — — — DENOTES WATER LINE W/METER
- — — — — DENOTES SEWER LINE W/MANHOLE
- X — — — — — DENOTES FENCE LINE
- 5'SB — 5'SB — DENOTES 5' BUILDING SETBACK LINE
- 21'SB — 21'SB — DENOTES 21' BUILDING SETBACK LINE
- — — — — DENOTES ELECTRIC LINE WITH UTILITY POLE

**NOTE**

1. BEARINGS SHOWN HEREON ARE BASED ON THE PLAT OF THE GRIMES ADDITION TO THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, ON FILE IN THE OFFICIAL PLAT RECORDS OF LEA COUNTY, NEW MEXICO.
2. UTILITY LOCATIONS SHOWN ARE FROM OBSERVED LOCATIONS AND INFORMATION PROVIDED BY THE CITY OF HOBBS ENGINEERING DEPARTMENT. ACTUAL LOCATIONS SHOULD BE VERIFIED.



LEA COUNTY SEAL

STATE OF NEW MEXICO  
COUNTY OF LEA  
FILED

**PRELIMINARY**  
This document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.

\_\_\_\_\_, 2016  
at \_\_\_\_\_ o'clock \_\_\_\_\_ M  
and recorded in:  
Cabinet \_\_\_\_\_ Slide \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_  
Pat Chappelle, Lea County Clerk  
By \_\_\_\_\_ Deputy

PROVIDING SURVEYING SERVICES  
SINCE 1946  
**JOHN WEST SURVEYING COMPANY**  
412 N. DAL PASO HOBBS, N.M. 88240  
(575) 393-3117 www.jwsc.biz  
TBPLS# 10021000

There were no communications from citizens.

**5) Review and Consider Variance to Municipal Code Chapter 16.16.050 B-1 (Lots) as requested by Irene Gonzalez, property owner. Minimum width for a newly created lot containing a detached structure is 35', the property owner is proposing to create two lots with a minimum width of 32' 6" each will contain a detached structure. The proposed subdivision is located on Cecil between Clinton and Scharbauer.**

Mr. Robinson said Ms. Gonzalez is requesting to make two lots instead of one and the minimum lot width she can get out of these lots is 32.6 feet instead of the required 35 feet. She is requesting a variance prior to creating the two lots. Mr. Hicks asked if there would be enough room for two off street parking spaces? Mr. Robinson said yes. Mr. Shaw said that he did not have a problem with it but he would like a little more setback on the north side. Mr. Kesner suggested a 30 foot setback. Mr. Robinson said then 40 foot from back of curb. Mr. Kesner made a motion, seconded by Mr. Shaw to allow the variance with a 40 foot setback of curb requirement and the setback will be required on both lots if the first house is ever moved. The vote on the motion was 5-0 and the motion carried.

**6) Review Subdivision Sketch Plan as submitted by Hang Cho, property owner.**

Mr. Robinson said this is a Sketch Plan submitted by Hang Cho. He said this Casa Verde Unit 2 does present some rather unique issues. He said the subdivision was started in 1982 so there is some horizontal infrastructure that is in place. He said it is proposed to be dedicated through the subdivision process to the community and it may or may not be up to today's standards.

Mr. Robinson said staff went through the Sketch Plan and produced a red line version with various issues that need to be addressed. He said the dedicated right-of-way on College Lane the city will require additional dedication with this plat. He said the second issue is University Road which is a projection south of Bensing. He said staff would prefer Bensing Road for the name of that street. He said Bensing will require an 80 foot right of way. Mr. Robinson said on a Minor Collector we would want to restrict the accesses. He said there are a lot of Minor Collectors that have direct access to smaller lots but it is not ideal.

Mr. Randall said Bensing could tie into Gerry with a signalized intersection. He said one of the design challenges will be the old pit area. Mr. Kesner asked if Mr. Randall thought it needed to be an 80 foot right-of-way? Mr. Randall said it would hamper his development because it was originally created as a 60 foot right-of-way. He said the curb sections are already built. Mr. Kesner asked if the curbs were in but not the streets? Mr. Randall said there are portions that the curb and gutter section is in throughout the subdivision. He said the base course would have to be redone.

Mr. Hicks asked if water and sewer were in place? Mr. Randall said water and sewer was installed in the 1980's. Mr. Hang Cho's representative said most of the water and sewer was done in the 2008. He said from the invoices the water and sewer in Casa Verde Street was done in 1980's and the fingers coming down were done or redone in 2008. Mr. Randall said

6) **Review and Consider Tanglewood, Unit 2 at Ranchview Estates Preliminary Plan as submitted by property owner Western States Development Group, LLC.**

**Staff Note:**

**This subdivision received Preliminary Approval on July 7, 2014 . As per our existing code a conditional “Preliminary Approval” becomes null & void after 6 months (see below highlighted). Additionally, historically we have been taking Preliminary approvals to the Commission not as a requirement but as an assurance to the Developer. This process has been cleaned up somewhat in the proposed changes to Title 16.**

16.08.020 Preliminary plat—Generally.

A. The subdivider shall submit to the Planning Board a preliminary plat, together with improvement plans and other supplementary material as specified in Section 16.08.030

B. Four (4) copies of the preliminary plat and supplementary material shall be submitted to the Planning Board with a written application for conditional approval. At the time the preliminary application is filed, the preliminary application fee shall be paid. The Planning Board shall thereupon refer the application to the City Engineer for his or her consideration.

C. Following review of the preliminary plat and other material submitted, for conformity thereof to this title, and negotiations with the subdivider on changes deemed advisable and the kind and extent of improvements to be made by him or her, the City Engineer shall, within fifteen (15) days, act thereon as submitted or modified. If approved, the City Engineer shall express his approval as conditional approval and state the conditions of such approval, if any, or if disapproved, shall express his disapproval and his or her reasons therefor, to the Planning Board.

D. The action of the City Engineer shall be noted on two (2) copies of the preliminary plat, referenced and attached to any conditions determined. One (1) copy shall be returned to the subdivider and the other retained by the City Engineer.

E. Conditional approval of a preliminary plat shall not constitute approval of the final plat (subdivision plat). Rather, it shall be deemed an expression of approval to the layout submitted on the preliminary plat as a guide to the preparation of the final plat.

16.08.040 Final Plat—Generally.

C. Four (4) copies of the final plat and other exhibits required for approval shall be prepared as specified in Section 16.08.050 and shall be submitted to the City Engineer within six (6) months after approval of the preliminary plat; otherwise, such approval shall become null and void, unless an extension of time is applied for and granted by the Planning Board.

16.08.040-050 - Final Plat—Generally.

A. The final plat shall conform substantially to the preliminary plat as approved, and if desired by the subdivider, it may constitute only that portion of the approved preliminary plat which he or she proposes to record and develop at the time; provided, that such portions conform to all requirements of this title.

B. Application for approval of the final plat shall be submitted in writing to the ~~City Engineer~~ Planning Department at least ten (10) days prior to the meeting at which it is to be considered. ~~At the time the final subdivision plat is filed, the required fee shall be paid~~ All submittals for final plat approval shall include a Certification of Compliance from the Engineer of Record certifying that all municipal infrastructures are in place and has been installed as per plans and City of Hobbs Standards. Such certification shall be in a form acceptable to the City Engineer.

C. ~~Four (4) copies of the final plat and other exhibits required for approval~~ A set of as-builts in printed and electronic format shall be prepared as specified in Section 16.08.050 and shall be submitted to the City Engineer ~~within six (6) months after approval of the preliminary plat; otherwise, such approval shall become null and void, unless an extension of time is applied for and granted by the Planning Board~~ concurrently with the application for final plat approval.

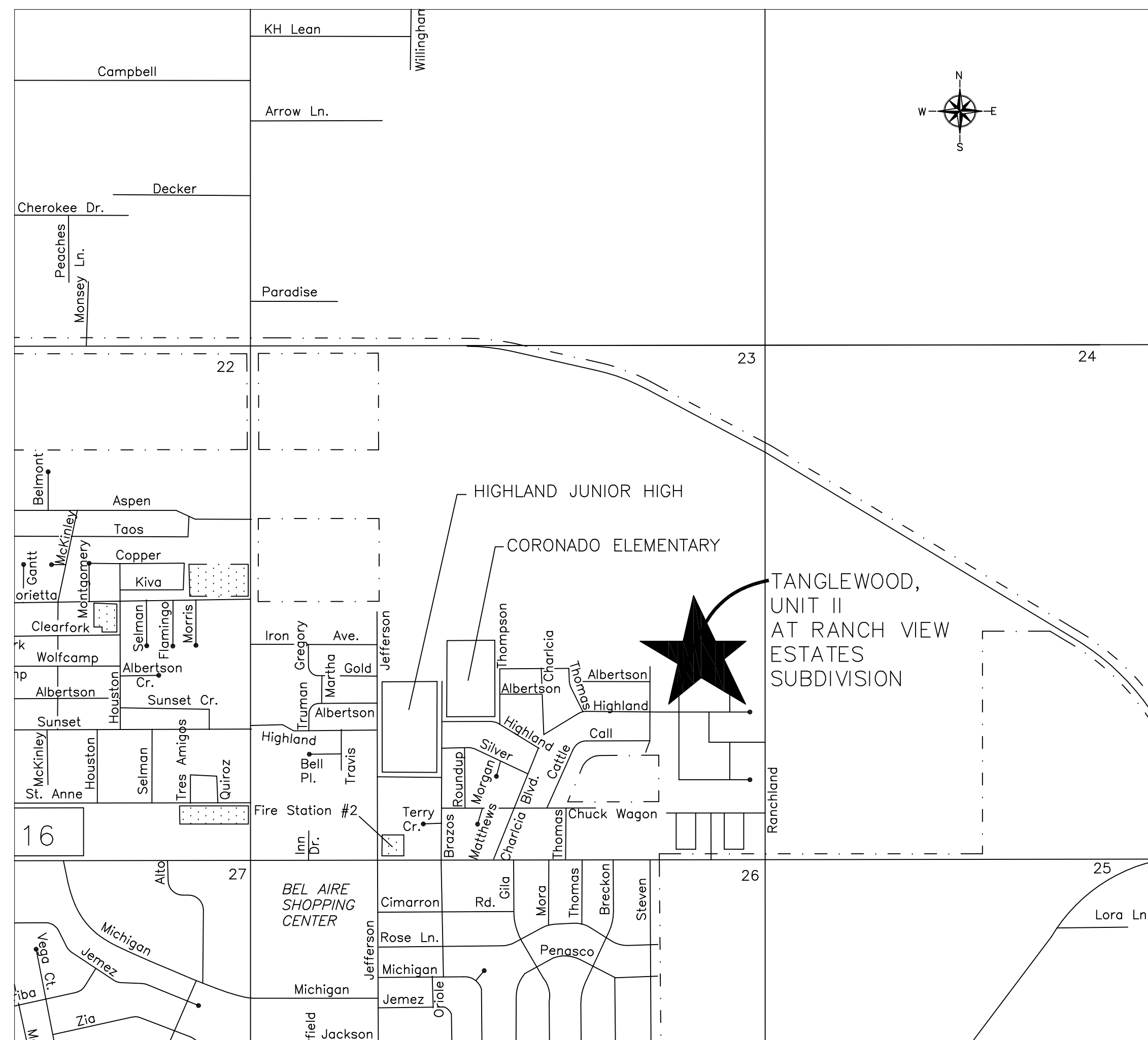


# SUBDIVISION PLANS

## WESTERN STATES DEVELOPMENT GROUP, LLC

# TANGLEWOOD, UNIT II AT RANCH VIEW ESTATES

CITY OF HOBBS  
LEA COUNTY, NEW MEXICO  
SECTION 23 TOWNSHIP 18 SOUTH RANGE 38 EAST



**LOCATION MAP**  
SCALE 1" = 1,000'

### INDEX OF SHEETS

SHEET	DESCRIPTION
1	COVER SHEET, INDEX OF DRAWINGS & LOCATION MAP
2	GENERAL NOTES
3	PRELIMINARY PLAT
4	MASTER LAYOUT (ROADWAYS AND UTILITIES)
5	RANCHLAND DRIVE ROADWAY AND SEWER PLAN AND PROFILE
6	LEAGACY LANE ROADWAY PLAN AND PROFILE
7	GREEN VALLEY TRAIL/PARKWOOD AVE. ROADWAY AND SEWER PLAN AND PROFILE
8	WEDGEWOOD DRIVE ROADWAY AND SEWER PLAN AND PROFILE
9	TANGLEWOOD AVE. ROADWAY AND SEWER PLAN AND PROFILE
10	ROADWAY DETAILS
11	WATER DETAILS
12	SEWER DETAILS
13	SEWER DETAILS (CONTINUED)
14	MISCELLANEOUS DETAILS
15	ELECTRICAL TRENCH LAYOUT BY XCEL ENERGY INC.
16	LOT GRADING LAYOUT AND TYPICAL DETAIL

410 n. dal paso  
 hobbs, new mexico 88240  
 (505) 392-7918 bus  
 (505) 392-9114 fax

SPECIFICATIONS: Street Construction

- All work shall meet or exceed the applicable requirements of the "New Mexico Standard Specifications for Public Works Construction" 1987 Edition (herein—after abbreviated NMSS), except as otherwise specified herein.
- Earthwork shall be considered incidental to the street construction unless otherwise indicated in the bid proposal. All roots and other vegetation shall be removed from areas to be covered by asphalt or concrete. The subgrade shall be accurately shaped to lines and grades as indicated on the drawings and compacted as indicated on the details. Minimum compaction in areas not otherwise shown shall be 90% of the maximum density as determined by ASTM D-1557, Method A.
- All Portland Cement Concrete for pavement shall conform to NMSH&TD Specification— Section 451 or Section 503, for structures. The contractor shall submit a proposed job mix for the engineer's approval in ample time before placing any concrete.
- Base course materials and placement shall conform to the requirements of NMSH&TD Specification, Section 304—Base Course. The contractor shall submit an aggregate analysis for the engineer's approval in ample time before placing any base course material.
- Prime coat material and placement shall conform to the requirements of NMSH&TD Specifications, Section 408—Prime Coat. The contractor shall submit certification of quality for his proposed material for the engineer's approval in ample time before placing any prime coat.
- Asphaltic concrete surface course material and placement shall conform to the requirements of NMSH&TD Specification, Section 420 OR 422—Plant Mix Bituminous Pavement (Dense Graded or Super Pave). The contractor shall submit a proposed mix design for the engineer's approval in ample time before placing any surface course.
- The water and sewer contractor shall complete his work, including trench compaction and clean-up, in any one street before the paving contractor starts final subgrade preparation for the street construction. Final adjustment to grade of valve boxes and manhole covers, pouring concrete collars, etc., shall be left for the paving contractor.
- All construction, including compaction, shall be guaranteed for a period of 12 months after completion of construction.

SPECIFICATIONS – Water and Sewer Systems

- All work shall meet or exceed the applicable requirements of the "New Mexico Standard Specifications for Public Works Construction", 1987 Edition (herein—after abbreviated NMSS), except as otherwise specified herein.
- Manufacturer's brochure cuts, and certificates of quality where applicable, shall be submitted for the engineer's approval for all items installed on the job.
- Water mains shall be PVC Water Pressure Pipe, Class 150, DR 18, C-900 water pipe as specified in NMSS Section 121, joints may be either mechanical or push-on type except where otherwise specifically indicated, or shall be Polyethylene Water Pressure Pipe, DR 17 as specified by AWWA C-906.
- The use of tapping sleeves for connection to existing mains or repair sleeves will not be permitted except with the express permission of the engineer for each instance.
- Water service lines shall be 1" diameter, polyethylene tubing and accessories shall conform with NMSS Section 560.2 – Water Service Pipe.
- All sections of new water mains shall be hydrostatically tested in accordance with AWWA C-600, Sec. 13, in the presence of the engineer and a city representative. The contractor shall furnish all equipment and labor required to make the tests. The mains shall be tested with the service connections complete in place. The leakage shall not exceed the calculated allowable leakage as specified in test sheet 801.16.2 in NMSS Section 801. The contractor shall locate and repair all leaks until there are no visible leaks and the overall leakage is within the specified maximum.
- Sanitary sewer pipe shall be Polyvinyl Chloride (PVC) pipe, DR 35, as specified in the NMSS Section 121.
- Manholes shall be constructed with precast reinforced concrete sections conforming to ASTM C-478. Block manholes are expressly prohibited. All portland cement concrete and mortar used in manhole construction shall utilize Type II cement. Care shall be taken to properly finish manhole inverts.
- The water and sewer contractor shall complete his work, including trench compaction and clean-up, in any one street before the paving contractor starts final subgrade preparation for the street construction. Final adjustment to grade of valve boxes and manhole covers, pouring concrete collars, etc., shall be left for the paving contractor.
- All water mains shall be chlorinated as specified in NMSS Section 801.17. Each service connection shall be operated to thoroughly flush the lines on completion.
- All construction, including compaction, shall be guaranteed for a period of 12 months after completion of construction.
- All service line connections for water and sewer shall be made with fittings specifically for the material used, and as per the manufacturer's installation requirements.

NOTES – Water and Sewer Construction

- Sewer services shall be located 5 feet ± down-stream from the center of the lot frontage except where otherwise indicated on the plans. Opposing connections shall be spaced at least 4 feet apart along the sewer mains. Water services shall be located 5 feet ± upstream from the common lot lines except where otherwise indicated on the plans, and 10 feet minimum away from the sewer services. Water taps shall be spaced at least 2 feet apart on the water mains.
- Stationing is as shown on the plan and profile sheets.
- Water mains shall not be located less than 10 feet away from sewer lines nor closer than 3 feet to the lip of the curb and gutter, except where lines cross.
- Where a water line passes beneath or less than 18 inches above a sewer line, the sewer line shall be encased in concrete 6 inches thick as shown in the "Standard Details" for at least 10 feet on each side of the water line, or the sewer line shall be Ductile or Cast Iron Pipe with pressure-type joints for 10 feet on each side of the water line. This shall also apply where a parallel water line is less than 10 feet horizontally and less than 2 feet above the sewer.

GENERAL NOTES:

- Testing of construction materials, including subgrade compaction, shall be performed as required by the engineer and at the expense of the owner, except that the contractor shall pay for any re-testing required. The contractor shall cooperate in allowing opportunity for testing and furnishing samples and job site assistance as required. The contractor shall furnish manufacturer's certificates of quality as required.
- The contractor shall maintain a reasonably clean job site throughout the construction period and at completion shall remove all debris and dress up all areas disturbed by his operations.
- Measurement and payment of the various items of construction shall be made by the units indicated in the bid proposal and at the unit prices bid, work and materials not specifically called out in the bid proposal shall be considered incidental to the nearest associated item listed in the proposal.
- The contractor shall do his own layout and construction staking from bench marks and centerline reference points furnished by the owner. The contractor shall be responsible for properly referencing all triangulation stations, bench marks, monuments, and grant markers, section corners, or other permanent reference marker, that may be destroyed during the construction of this project. The Project Manager, at the contractor's expense, shall reference and reset destroyed monuments according to government regulations and state law. Design survey for Owner provided by John West Surveying Company.
- Haul shall be considered incidental to construction, and no direct payment shall be made.
- For estimating purposes only, earthwork quantities are based on a shrinkage factor of 0% in roadway embankment and 0% swell in roadway excavation.
- No underground utilities (water or sewer) shall be backfilled prior to inspection and approval by the ENGINEER. Any backfill placed prior to inspection and approval will be removed at the contractor's expense.
- Locations of all existing utilities shown were taken from record drawings or field surveys and are located as accurately as possible from information available. It will be the contractor's responsibility to protect, maintain in service, and at points required, verify exact locations of these utilities during construction operations of this project.
- The contractor shall never unnecessarily interfere with or interrupt the services of any public utility having property within or adjacent to the construction area. He shall give all public utility companies a reasonable notice in writing, in no event less than 48 hours, for any work that he contemplates would interfere in any what whatsoever with the service of any existing public utility and city-owned facility.
- When construction under this project connects to existing improvements the contractor shall build an easy-riding connection.
- When abutting new pavement to edges of existing pavement, the existing pavement shall be cut a straight neat edge and tack coat shall be applied to edges of existing pavement prior to beginning of new pavement operations.
- The Contractor shall coordinate any work required by others in the construction area with the construction of this project.
- No underground utilities (water or sewer) shall be backfilled prior to inspection and approval by the CITY OF HOBBS. Any backfill placed prior to inspection and approval will be removed at the contractor's expense.
- Where proposed elevations in the plans are shown with two digits preceding the decimal, it shall be assumed that 3600 feet is to be added.
- All concrete shall contain fiber reinforcement. Fiber reinforcement shall be virgin polypropylene strands approximately 3/4 inches in length, mixed into the concrete at a rate of 1.5 pounds per cubic yard or fibers shall be Anti-Crack HD (AR glass fibers) as manufactured by Saint-Gobain Vetrotex America and mixed into the concrete at a rate of 1.0 pounds per cubic yard (fiber length 3/4 inch). Use of fiber reinforcement does NOT substitute for any structural reinforcement required by the project drawings and contract documents. No separate measurement or payment will be made for fiber reinforcement, it shall be considered incidental to the item being installed.
- Construction will not be considered complete until all drainage structures, including new curband gutter, are tested flowing and found satisfactory by the project manager. Finished concrete grade tolerance shall not deviate from those shown on the plans by more than =/- 0.002 feet. This shall be considered incidental to the construction of this project.

MATERIAL SPECIFICATION:

Materials and equipment used in the installation of water and sewer improvements shall be in accordance with the City of Hobbs standards and shall be new and unused, manufactured in compliance with standards published by the American Society for Testing and Materials (ASTM), the American Water Works Association (AWWA) or other published applicable standards.

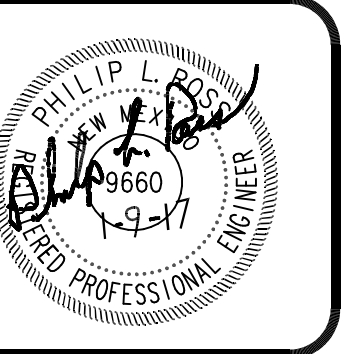
Where specific items are called for by name, make, or catalog number such reference shall be interpreted as establishing a standard quality and not construed as limiting competition. The use of substitutes is permissible in most cases, provided written requires and proper certification are submitted to the ENGINEER for review and approval prior to Bid Opening for City of Hobbs approval.

SANITARY SEWER

Collector: PVC, SDR 26 (under 18" Dia.) (Stiffness of 46 for over 18" Dia.), push-on, gasketed (or glued) sewer pipe.  
 Service: PVC, SCH 40 or SDR 21, push-on, gasketed (or glued) sewer pipe.  
 Fittings: PVC, SCH 40, push-on, gasketed sewer pipe.  
 Manholes: Fiberglass (preferred) or Precast reinforced concrete, 4 ft. inside diameter, type "C" Concentric manholes.  
 Manhole rim and Lid: A. Vented in pavement areas, East Jordan Iron Works #41430120A01 or approved equal. Frame & cover shall be AASHTO H-20 load rated, Ductile iron castings shall be grade 70-50-05 conforming to ASTM A536 (latest edition), Grey iron castings shall be CL35 conforming to ASTM A48 (latest edition), frame & cover to be uncoated. (See Details)  
 B. Sealing in drainage swale and bar-ditch areas, shall be as required by the City of Hobbs.  
 Force Mains: HDPE DR 13.4 C-906 (WPR 130 psi) or PVC DR 14 Class 200 C-900 (WPR 145 psi).

POTABLE WATER

Distribution Lines: PVC, DR 18, Class 150, C-900 push-on, gasketed water pipe – OR – HDPE, DR 17, C-906 blue or blue stripe.  
 Fittings: Mechanical joint (MJ), class 250 or 350 S.S.B. type, ductile iron pipe fittings for PVC. Polyethylene fittings may be MJ or fused fittings, ductile iron pipe sizes. All HDPE pipe shall utilize MJ adapters when connection to Ductile Iron Fittings. Mega Lug restrained fittings shall be used along with concrete thrust blocking. Valves may be FL X MJ when connected at fittings.  
 Gate Valves: Mueller bonded resilient seat, non-raising stem type, mechanical joint, fuse bonded epoxy coated inside and out, 2 inch operating nut, opens counter-clockwise. Valves may be FL x MJ when connected at fittings.  
 Fire Hydrants: Kennedy Guardian – KB1D Main valve fire hydrant, Exterior painted "chrome yellow" as per NM APWA specs.  
 Valve Boxes: Tyler 461S, or equal  
 Water Meter Box – Regular Meter Box – East Jordan product number 32234002A04, round 18" x 18" and DFW Plastics Inc. plastic blue cover product number (18AMR-49).



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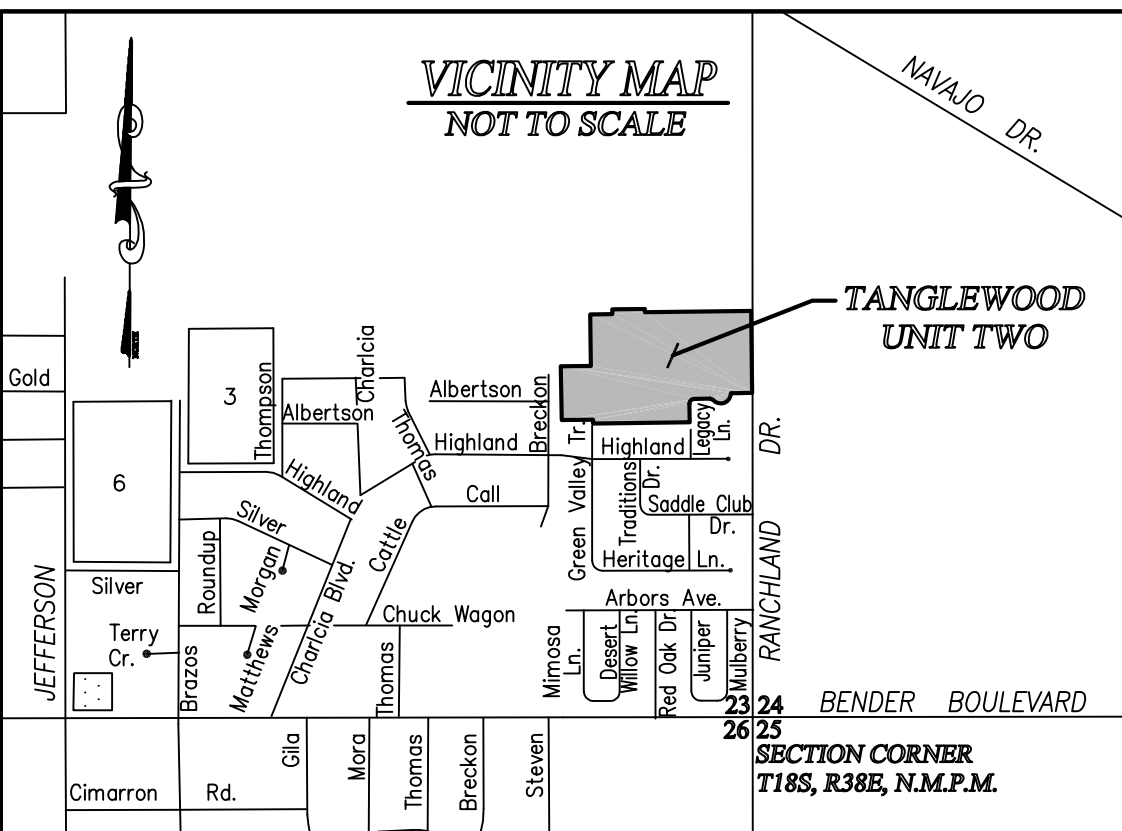
WESTERN STATES DEVELOPMENT GROUP, LLC  
 TANGLEWOOD UNIT II AT RANCH VIEW ESTATES  
 GENERAL NOTES AND  
 MATERIALS SPECIFICATIONS



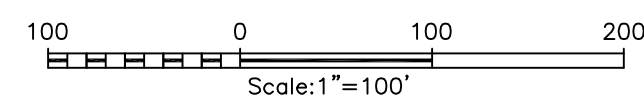
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GEN NOTES	

ORIGINAL DRAWING SIZE 24" X 36"





## TANGLEWOOD, UNIT TWO, AT RANCHVIEW ESTATES SUBDIVISION TO THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO



**NOTES:**

- 1) BEARINGS SHOWN HEREON ARE MERCATOR GRID AND CONFORM TO THE NEW MEXICO COORDINATE SYSTEM "NEW MEXICO EAST ZONE" NORTH AMERICAN DATUM 1983. DISTANCES ARE SURFACE VALUES.
- 2) SET 1/2" STEEL ROD W/CAP MARKED "JWSC PS12641" AT ALL CORNERS.
- 3) LOT SIDE SETBACK LINES ARE 5.0 FEET EXCEPT ALONG RIGHTS-OF-WAY, WHERE 10.00 FOOT SIDE SETBACK LINES APPLY. LOT FRONT SETBACK LINES ARE 21.00 FEET.
- 4) A ONE FOOT UTILITY EASEMENT IS HEREBY RESERVED AROUND AND WITHIN EACH LOT ADJOINING ALL RIGHTS-OF-WAY DEDICATED THIS PLAT.

**LEGEND:**

- DENOTES BUILDING SETBACK LINE
- - - DENOTES CENTERLINE OF ROADWAY
- R.O.W. - DENOTES RIGHT-OF-WAY
- - DENOTES FOUND 1/2" STL. ROD W/CAP MKD. "JWSC PS 12641"
- ⊙ - DENOTES SET 1/2" STL. ROD W/CAP MKD. "JWSC PS 12641"
- ⊙ - DENOTES CALCULATED CORNER
- - DENOTES DIMENSION POINT

CURVE TABLE			
CURVE	RADIUS	DELTA	ARC
C1	25.00	90°00'00"	39.27
C2	25.00	47°22'25"	20.67
C3	54.00	137°22'25"	129.47
C4	54.00	95°00'36"	89.54
C5	54.00	42°21'49"	39.93
C6	25.00	47°22'25"	20.67
C7	25.00	90°00'00"	39.27
C8	25.00	90°00'00"	39.27
C9	25.00	90°05'29"	39.31
C10	25.00	89°54'31"	39.23
C11	25.00	90°00'00"	39.27
C12	25.00	90°00'00"	39.27
C13	82.00	23°52'36"	34.17
C14	82.00	32°09'01"	46.01
C15	82.00	33°58'23"	48.62
C16	25.00	90°00'00"	39.27
C17	53.50	90°00'00"	84.04

LOT INFORMATION		
LOT	ACRES	SQ. FT.
1	0.19	8481.26
2	0.18	7991.04
3	0.18	7991.04
4	0.18	7991.04
5	0.18	7991.04
6	0.18	7991.04
7	0.19	8481.26
8	0.25	10925.81
9	0.16	6879.52
10	0.17	7605.00
11	0.17	7605.00
12	0.17	7605.00
13	0.17	7605.00
14	0.17	7605.00
15	0.21	9225.87
16	0.17	7605.00
17	0.21	9225.87
18	0.17	7605.00
19	0.17	7605.00
20	0.17	7605.00
21	0.17	7605.00
22	0.17	7605.00
23	0.17	7605.00
24	0.25	10673.30
25	0.24	10643.21
26	0.17	7605.00
27	0.17	7605.00
28	0.17	7605.00
29	0.17	7605.00
30	0.17	7605.00
31	0.19	8190.00
32	0.18	8055.87
33	0.17	7605.00
34	0.17	7605.00
35	0.17	7605.00
36	0.17	7605.00
37	0.17	7605.00
38	0.17	7605.00
39	0.20	8717.14
40	0.46	19885.62
41	0.27	11579.48
42	0.18	7745.43

**LEGAL DESCRIPTION AND DEDICATION:**

THE FOREGOING SUBDIVISION OF A CERTAIN TRACT OF LAND SITUATED WITHIN THE CORPORATE BOUNDARIES OF THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, LYING IN THE SOUTH HALF OF SECTION 23, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 23, THEN N00°46'19"W 1335.51 TO THE POINT OF BEGINNING; THEN N89°17'55"E 40.00 FEET; THEN N00°46'19"W 792.76 FEET; THEN S89°19'10"W 567.00 FEET; THEN N00°40'50"W 18.00 FEET; THEN S89°19'10"W 174.00 FEET; THEN S00°40'50"E 26.00 FEET; THEN S89°19'10"W 117.00 FEET; THEN S00°40'50"E 275.00 FEET; THEN S89°19'10"W 159.80 FEET; THEN S00°43'48"E 286.38 FEET; THEN N89°19'10"E 167.75 FEET; THEN S00°40'50"E 20.48 FEET; THEN N89°19'10"E 515.00 FEET; THEN N00°40'50"W 99.86 FEET; THEN ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 47°22'25" AND AN ARC LENGTH OF 39.27 FEET; THEN N89°19'10"E 84.40 FEET; THEN ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC LENGTH OF 39.27 FEET; THEN ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 54.00 FEET, A CENTRAL ANGLE OF 137°22'25" AND AN ARC LENGTH OF 129.47 FEET; THEN N89°19'10"E 33.98 FEET; THEN S00°46'19"E 356.29 FEET; THEN N89°17'55"E 40.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 12.39 ACRES MORE OR LESS.

SUBDIVIDED AS THE SAME APPEARS HEREON, WITH ALL RIGHTS-OF-WAY AS SHOWN BEING DEDICATED TO THE PUBLIC, COMPRISING TANGLEWOOD, UNIT TWO, AT RANCHVIEW ESTATES, TO THE CITY OF HOBBS, WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND PROPRIETORS THEREOF, NOTICE IS HEREBY GIVEN THAT THERE HAS BEEN FILED IN THE OFFICE OF THE COUNTY CLERK OF LEA COUNTY, NEW MEXICO, CERTAIN RESTRICTIVE COVENANTS APPLICABLE TO THE ABOVE DESCRIBED PROPERTY, WHICH SAID COVENANTS ARE RECORDED ON PAGE \_\_\_ OF BOOK \_\_\_, MISCELLANEOUS RECORDS OF SAID COUNTY.

OWNER: RICHARD LEMMON, MANAGING PARTNER  
WESTERN STATES DEVELOPMENT GROUP, LLC

**ACKNOWLEDGMENT:**

STATE OF NEW MEXICO )  
COUNTY OF LEA ) SS

ON THIS \_\_\_ DAY OF \_\_\_\_\_, 2008, BEFORE ME PERSONALLY APPEARED RICHARD LEMMON, MANAGING PARTNER, WESTERN STATES DEVELOPMENT GROUP, LLC, TO ME KNOWN TO BE THE PERSON(S) DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME AS THEIR FREE ACT AND DEED.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR LAST ABOVE WRITTEN.

MY COMMISSION EXPIRES: \_\_\_\_\_

NOTARY PUBLIC

**CERTIFICATE OF APPROVAL BY THE CITY PLANNING BOARD:**

THE PLAT, RESTRICTIONS AND DEDICATION APPROVED AND ACCEPTED THE \_\_\_ DAY OF \_\_\_\_\_, 2008 A.D. BY THE CITY PLANNING BOARD OF HOBBS, NEW MEXICO.

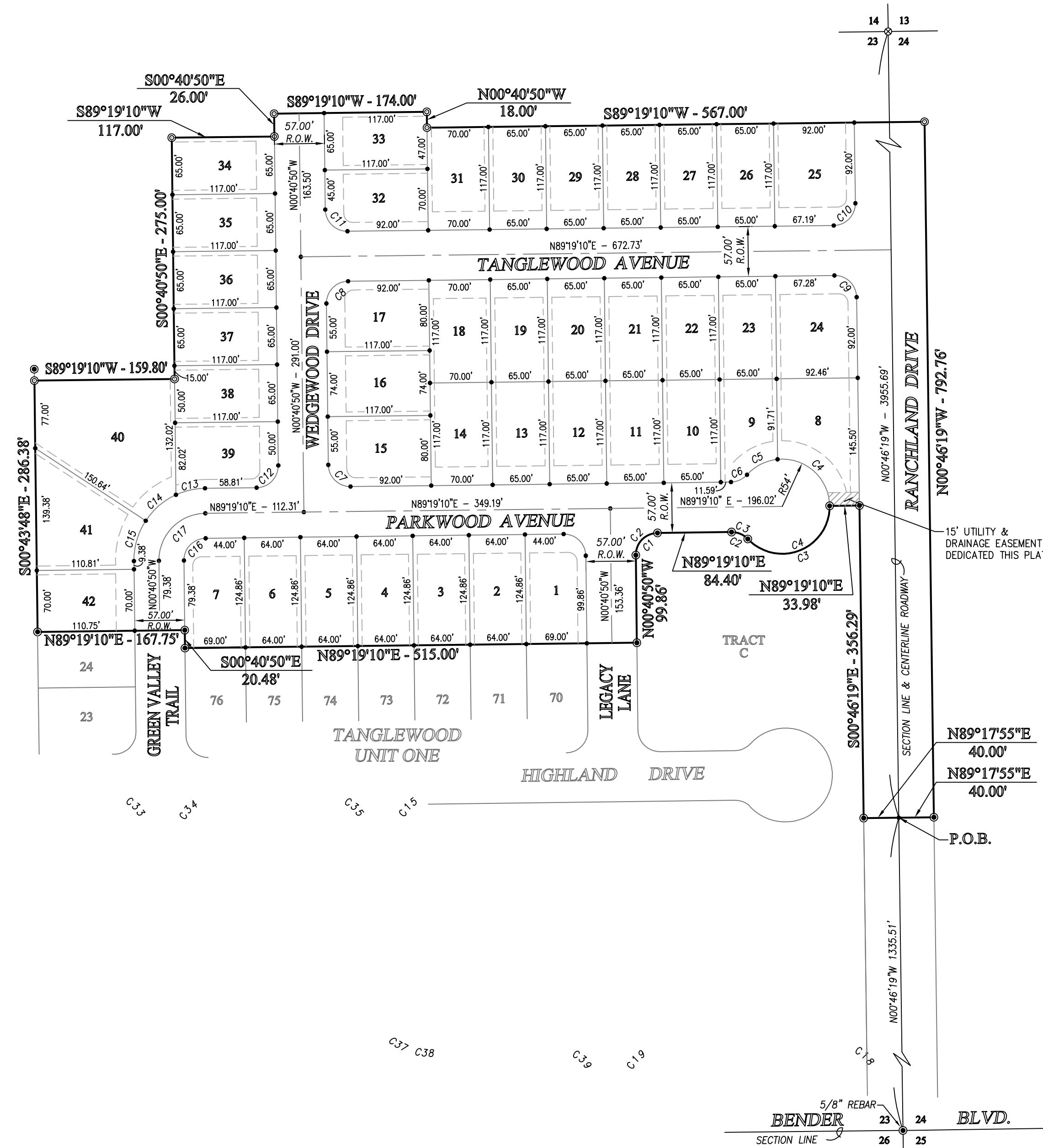
CHAIRMAN: WILLIAM M. HICKS, III

**CERTIFICATE OF MUNICIPAL APPROVAL:**

STATE OF NEW MEXICO )  
COUNTY OF LEA ) SS

I, JAN FLETCHER, THE DULY APPOINTED AND ACTING CITY CLERK OF THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING PLAT OF THE TANGLEWOOD, UNIT TWO, AT RANCHVIEW ESTATES SUBDIVISION, WAS APPROVED BY THE COMMISSION OF THE CITY OF HOBBS BY RESOLUTION No. \_\_\_ ON THE \_\_\_ DAY OF \_\_\_\_\_, 2008 A.D.

JAN FLETCHER, CITY CLERK



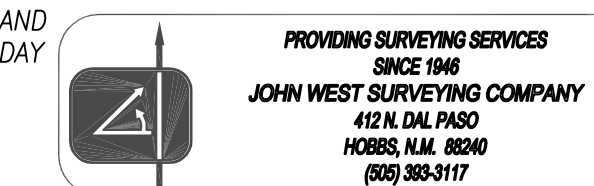
PRELIMINARY

**SURVEYORS CERTIFICATE:**

I, GARY G. EIDSON, A NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR, CERTIFY THAT I CONDUCTED AND AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THIS SURVEY AND THE PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO.

IN WITNESS WHEREOF I HERETO SET HAND AND AFFIX MY OFFICIAL SEAL THIS \_\_\_ DAY OF \_\_\_\_\_, 2008, A.D.

GARY G. EIDSON N.M.L.S. 12641



STATE OF NEW MEXICO  
COUNTY OF LEA  
FILED:

\_\_\_\_\_, 2008

AT \_\_\_\_\_ O'CLOCK \_\_\_ M

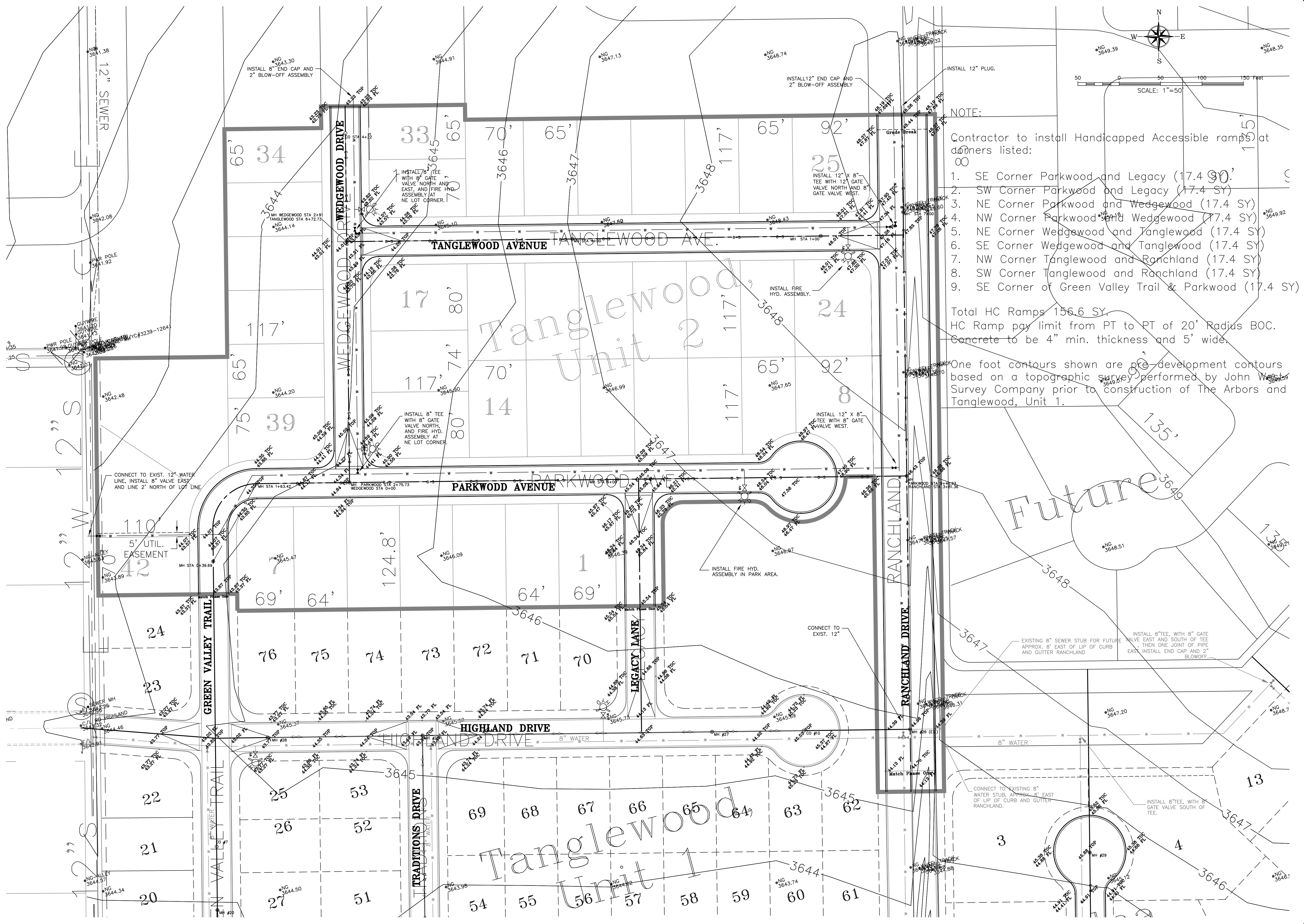
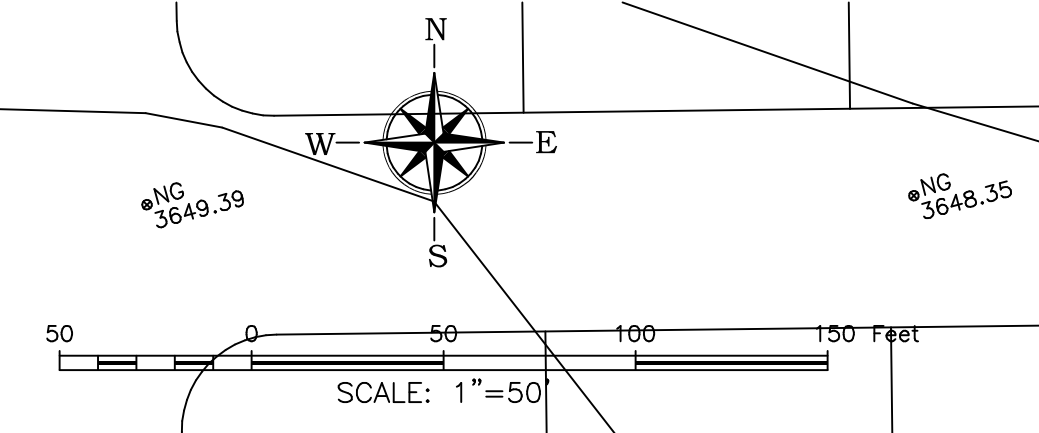
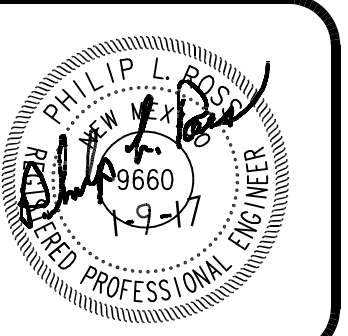
AND RECORDED IN:

BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

MELINDA HUGHES

LEA COUNTY CLERK

BY \_\_\_\_\_ DEPUTY



NOTE:  
Contractor to install Handicapped Accessible ramps at corners listed:  
00

1. SE Corner Parkwood and Legacy (17.4 SY)
2. SW Corner Parkwood and Legacy (17.4 SY)
3. NE Corner Parkwood and Wedgewood (17.4 SY)
4. NW Corner Parkwood and Wedgewood (17.4 SY)
5. NE Corner Wedgewood and Tanglewood (17.4 SY)
6. SE Corner Wedgewood and Tanglewood (17.4 SY)
7. NW Corner Tanglewood and Ranchland (17.4 SY)
8. SW Corner Tanglewood and Ranchland (17.4 SY)
9. SE Corner of Green Valley Trail & Parkwood (17.4 SY)

Total HC Ramps 156.6 SY.  
HC Ramp pay limit from PT to PT of 20' Radius BOC.  
Concrete to be 4" min. thickness and 5' wide.

One foot contours shown are pre-development contours based on a topographic survey performed by John West Survey Company prior to construction of The Arbors and Tanglewood, Unit 1.

NO.	DATE	REVISIONS:	BY	CHK	ENGR	APP.
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WESTERN STATES DEVELOPMENT GROUP LLC  
TANGLEWOOD, UNIT 2  
MASTER ROADWAY AND  
UTILITY LAYOUT

**the ROSS GROUP**  
CONSULTING ENGINEERS  
410 N. DAL PASO  
HOBBBS, 392-7918 TELE.  
(505) 392-9114 FAX

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SMM	PLR
Date:	Disk:
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MASTER	





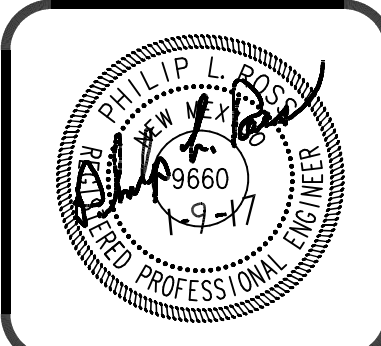






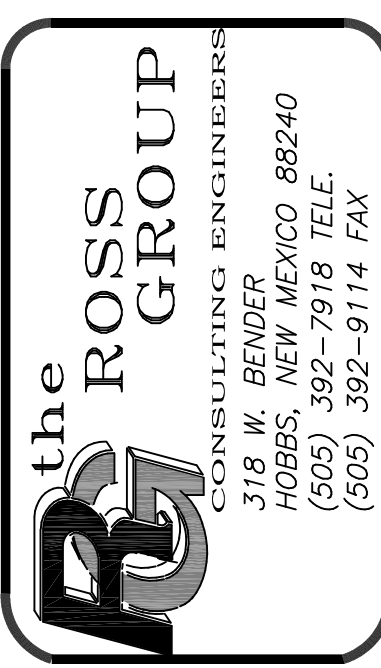




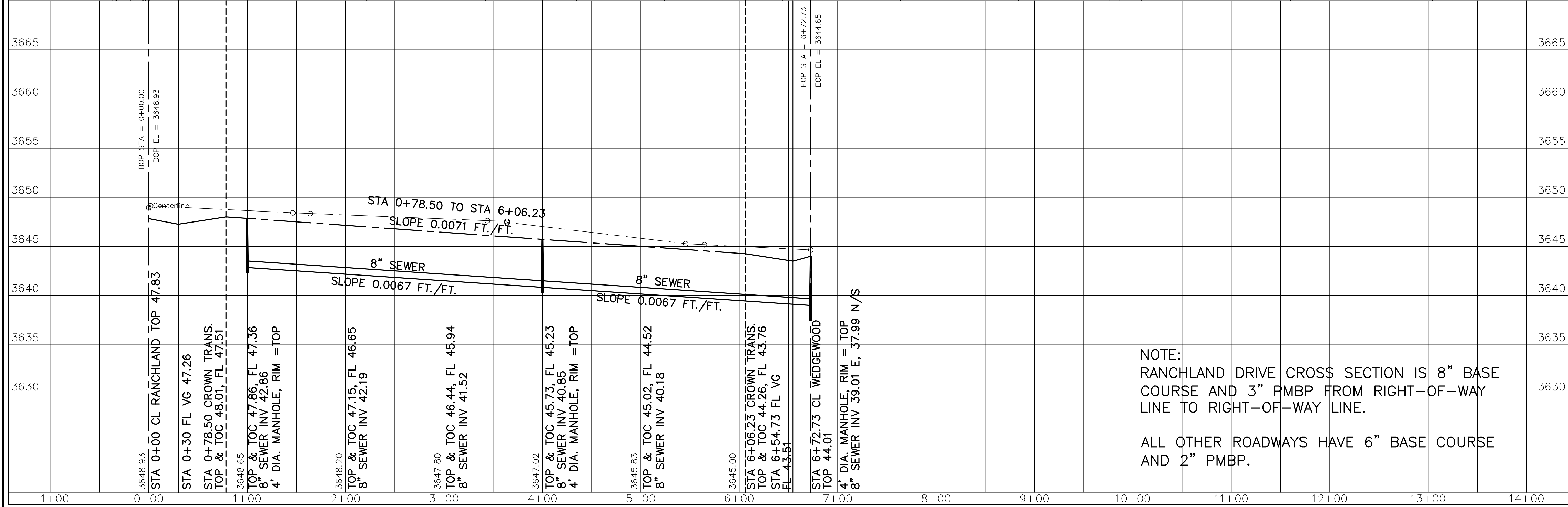
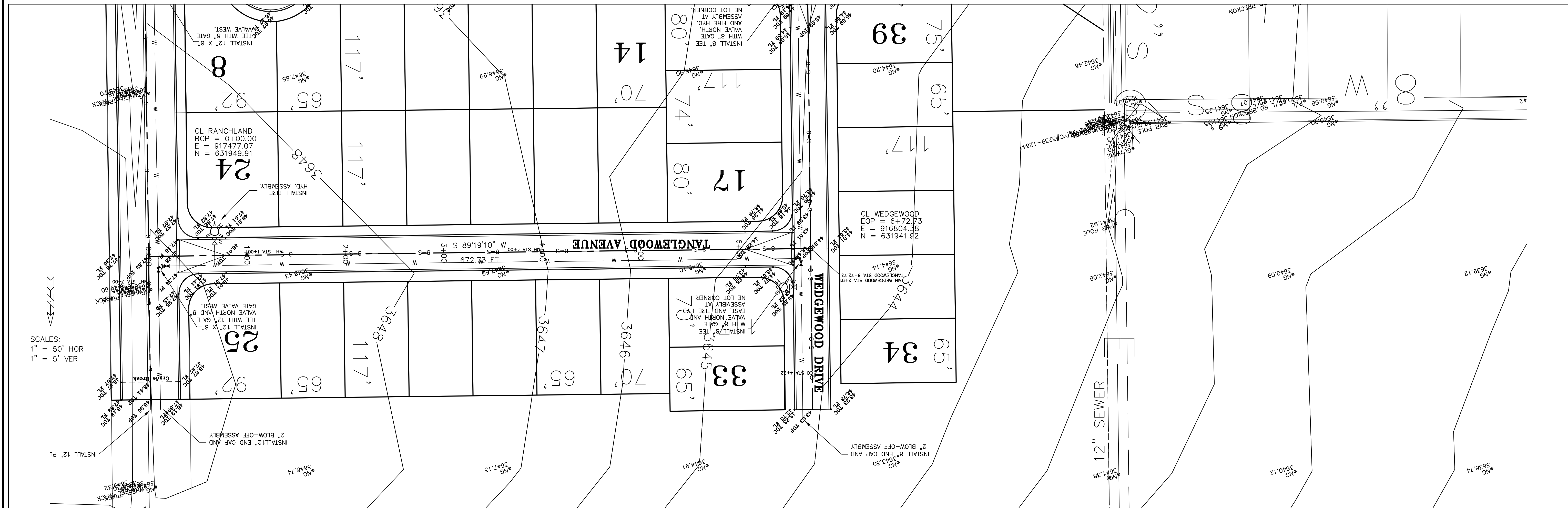


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WESTERN STATES DEVELOPMENT GROUP, LLC  
 TANGLEWOOD UNIT II AT RANCH VIEW ESTATES  
 TANGLEWOOD AVENUE  
 ROADWAY AND SEWER PLAN AND PROFILE



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1/09/17	GENERAL
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NOTE:  
 RANCHLAND DRIVE CROSS SECTION IS 8" BASE COURSE AND 3" PMBP FROM RIGHT-OF-WAY LINE TO RIGHT-OF-WAY LINE.

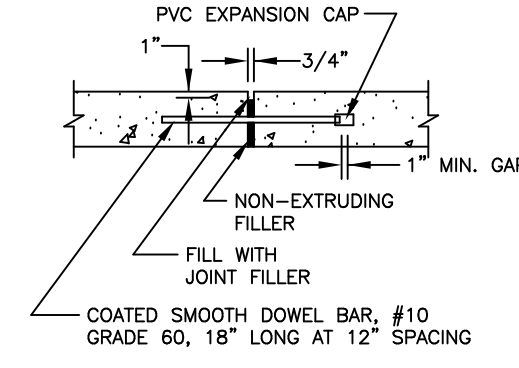
ALL OTHER ROADWAYS HAVE 6" BASE COURSE AND 2" PMBP.

SCALES:  
 1" = 50' HOR  
 1" = 5' VER



**EXPANSION JOINT GENERAL NOTES:**

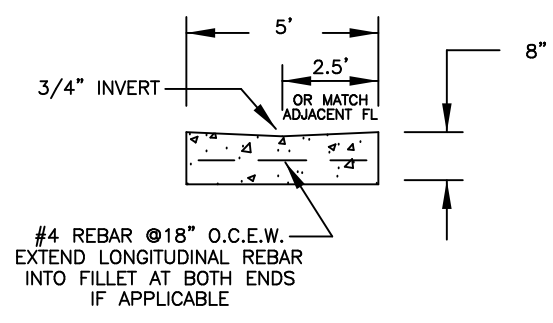
1. JOINT SPACING SHALL BE AS SHOWN ON THE PLANS.
2. DOWEL BARS SHALL BE CENTERED IN SLAB.



**DOWELED EXPANSION JOINT**  
NOT TO SCALE

**VALLEY GUTTER GENERAL NOTES:**

1. CONTRACTOR SHALL CONSTRUCT SEALED EXPANSION JOINTS AT 30' INTERVALS, AT END OF DAY'S POUR, AND AT 30-MINUTE INTERRUPTIONS.
2. CONTRACTOR SHALL CONSTRUCT TRANSVERSE CONTRACTION JOINTS (DUMMY JOINTS) AT 10' INTERVALS.
3. CONTRACTOR SHALL CONSTRUCT DOWELED EXPANSION JOINT AT MIDPOINT OF VALLEY GUTTER IF SHOWN ON THE PLANS.
4. ALL CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3,000 PSI AT 28 DAYS (CLASS A).
5. MATERIAL ON WHICH CONCRETE IS TO BE PLACED SHALL BE 8" MINIMUM APPROVED BASE COURSE MATERIAL COMPACTED TO 95% MAX. DENSITY AS DETERMINED BY AASHTO T-180. SUBGRADE BELOW BASE COURSE SHALL BE MIN. 6" COMPACTED TO 95% MAX. DENSITY AS DETERMINED BY AASHTO T-180.

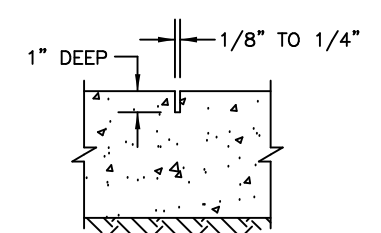


**CONCRETE VALLEY GUTTER 60" X 8"**  
NOT TO SCALE

**VALLEY GUTTER NOTES ADDED IN 2014:**  
2014 CITY OF HOBBS DEVELOPMENT REQUIRES ALL VALLEY GUTTERS TO BE 5' WIDE. ORIGINAL PLANS DRAWN IN 2008 SHOW IN PLAN VIEW VALLEY GUTTERS AT 3' WIDE. CONTRACTOR SHALL CONSTRUCT ALL VALLEY GUTTERS AS PER THE DETAILS ON THIS SHEET.

**CONTRACTION JOINT GENERAL NOTES:**

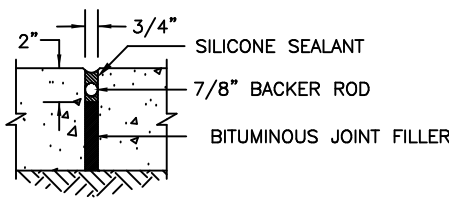
1. JOINT SPACING SHALL BE AS SHOWN ON THE PLANS.



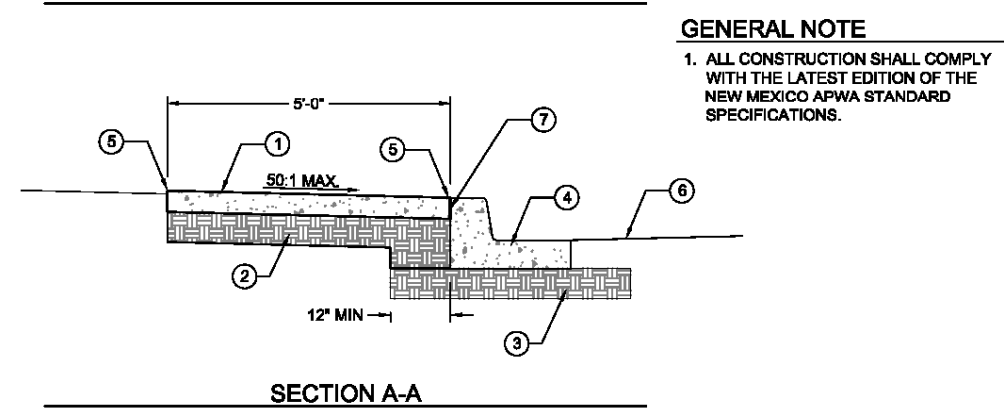
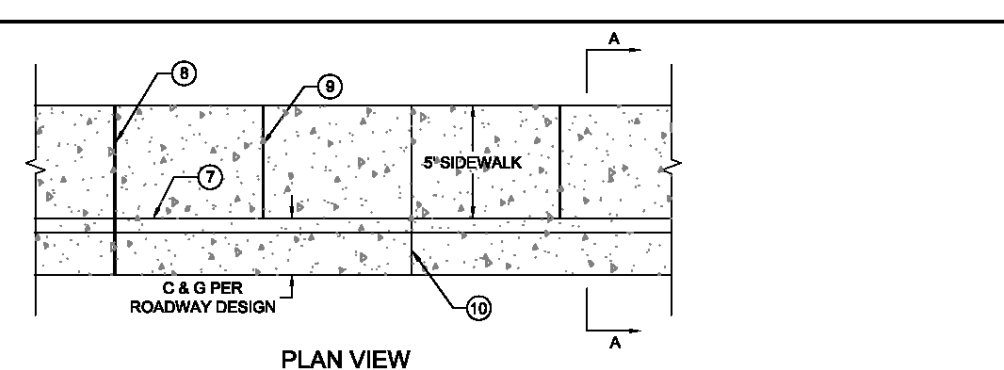
**SAWCUT TRANSVERSE CONTRACTION JOINT**  
NOT TO SCALE

**EXPANSION JOINT GENERAL NOTES:**

1. JOINT SPACING SHALL BE AS SHOWN ON THE PLANS.

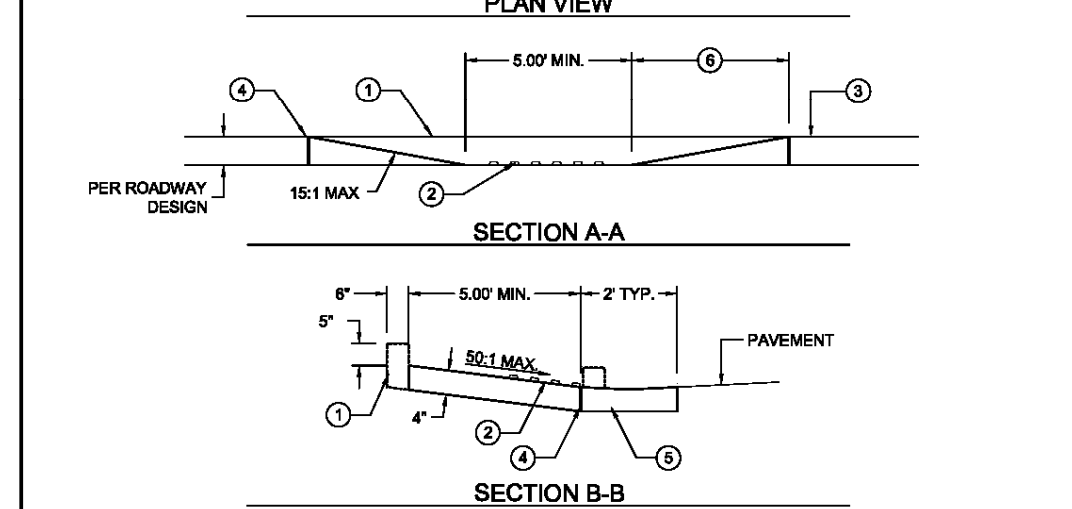
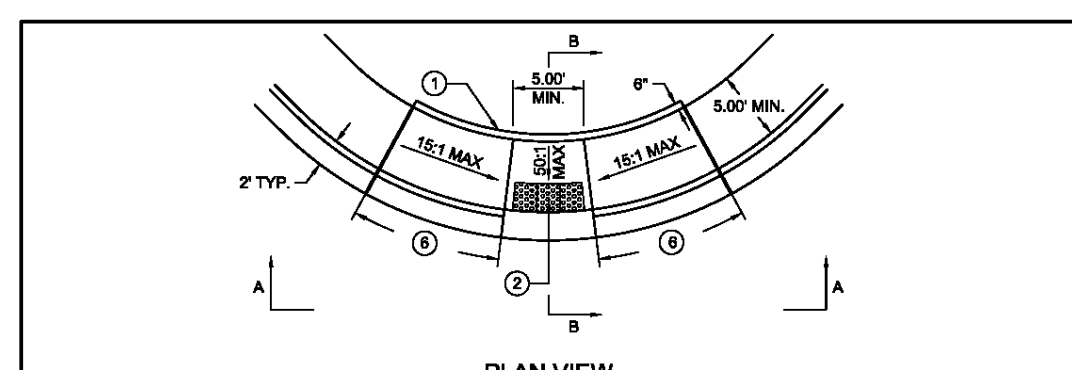


**SEALED EXPANSION JOINT**  
NOT TO SCALE



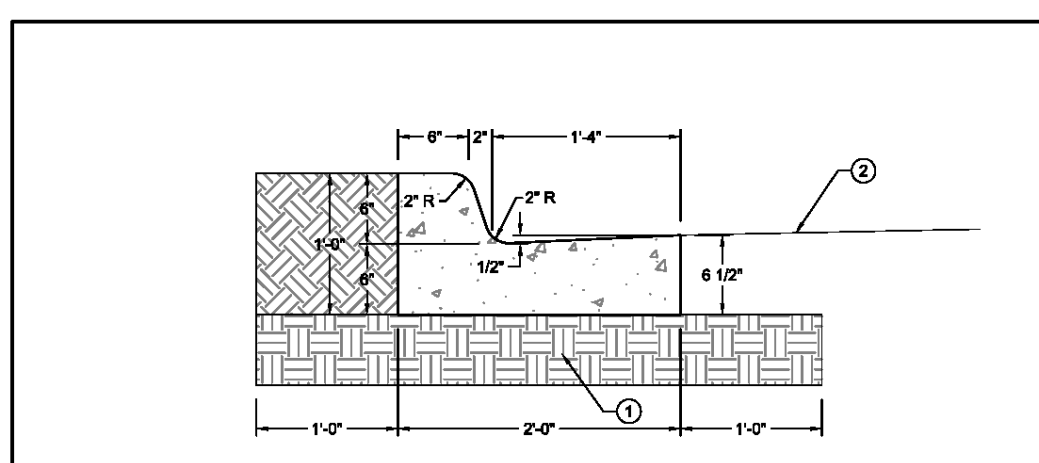
- GENERAL NOTE**
1. ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF THE NEW MEXICO APWA STANDARD SPECIFICATIONS.
  2. BACK OF CURB RADIUS TO BE APPROVED BY CITY ENGINEER.
  3. ALL CONCRETE SHALL CONTAIN ANTI-CRACK FIBER REINFORCEMENT.
  4. CONCRETE HEADER CURBS TO BE POLISHED MONOLITHICALLY WITH RAMP.
  5. CENTER A MIN. OF 3 RADIAL CORROSION RESISTANT GRAY IRON DETECTABLE WARNING PLATES AS SHOWN. (EAST JORDAN IRON WORKS OR CITY ENGINEER APPROVED EQUAL).
  6. TOP OF SIDEWALK.
  7. USE 1/2" EXPANSION JOINT WHERE SIDEWALK OR DRIVE PAD ADJUTS BUILDINGS, FENCES, WALLS OR OTHER IMMovable OBJECTS.
  8. CURB AND GUTTER SHALL HAVE 1/4" GROOVE JOINTS PLACED AT 10' INTERVALS TO CORRESPOND WITH THE LOCATIONS OF 1/4" GROOVE JOINTS IN THE SIDEWALK.
  9. HORIZONTAL RAMP LENGTH VARIES BASED ON CURB HEIGHT FOR ROADWAY DESIGN AND 15:1 MAX SLOPE.

DESIGN STD. NO. 300.00	SCALE: NTS	DATE: 06/09	REVISIONS: APWA UPDATE
CITY OF HOBBS ENGINEERING DEPARTMENT CONSTRUCTION DETAILS & SPECIFICATIONS			
DRAWN BY: ZB		APPROVED BY: TTR	



- GENERAL NOTE**
1. ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF THE NEW MEXICO APWA STANDARD SPECIFICATIONS.
  2. BACK OF CURB RADIUS TO BE APPROVED BY CITY ENGINEER.
  3. ALL CONCRETE SHALL CONTAIN ANTI-CRACK FIBER REINFORCEMENT.
  4. CONCRETE HEADER CURBS TO BE POLISHED MONOLITHICALLY WITH RAMP.
  5. CENTER A MIN. OF 3 RADIAL CORROSION RESISTANT GRAY IRON DETECTABLE WARNING PLATES AS SHOWN. (EAST JORDAN IRON WORKS OR CITY ENGINEER APPROVED EQUAL).
  6. TOP OF SIDEWALK.
  7. USE 1/2" EXPANSION JOINT WHERE SIDEWALK OR DRIVE PAD ADJUTS BUILDINGS, FENCES, WALLS OR OTHER IMMovable OBJECTS.
  8. CURB AND GUTTER SHALL HAVE 1/4" GROOVE JOINTS PLACED AT 10' INTERVALS TO CORRESPOND WITH THE LOCATIONS OF 1/4" GROOVE JOINTS IN THE SIDEWALK.
  9. HORIZONTAL RAMP LENGTH VARIES BASED ON CURB HEIGHT FOR ROADWAY DESIGN AND 15:1 MAX SLOPE.

DESIGN STD. NO. 300.00	SCALE: NTS	DATE: 06/09	REVISIONS: APWA UPDATE
CITY OF HOBBS ENGINEERING DEPARTMENT CONSTRUCTION DETAILS & SPECIFICATIONS			
DRAWN BY: ZB		APPROVED BY: TTR	



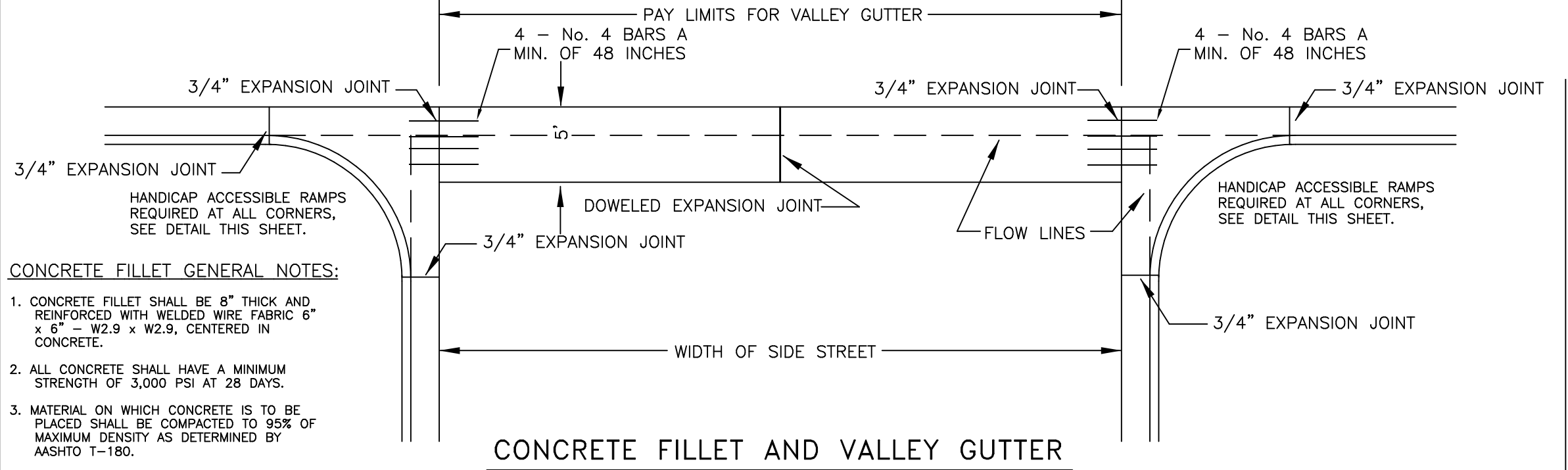
- GENERAL NOTES:**
1. FOR USE ON ALL CITY STREET CLASSIFICATIONS AS A FUNCTION OF DRAINAGE AND TRAFFIC CONTROL.
  2. ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF THE NEW MEXICO APWA STANDARD SPECIFICATIONS.
  3. SUBGRADE SHALL BE MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM OF 95% OF ASTM D-1557, DRY DENSITY.
  4. ALL CONCRETE SHALL BE CLASS A UNLESS OTHERWISE STATED IN THE PLANS OR SPECIFICATIONS.
  5. CURB AND GUTTER SHALL HAVE 1/2" EXPANSION JOINTS ON 30' O.C. MAXIMUM, AND AT ALL CURB RETURNS.
  6. CURB AND GUTTER SHALL HAVE 1/4" GROOVE JOINTS AT 8' O.C. TO CORRESPOND WITH THE LOCATION OF THE 1/4" GROOVE JOINTS IN THE SIDEWALK.
  7. ALL CONCRETE SHALL CONTAIN ANTI-CRACK FIBER REINFORCEMENT AT A RATE OF .18 PER CUBIC FOOT.
  8. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.

**GENERAL NOTES:**

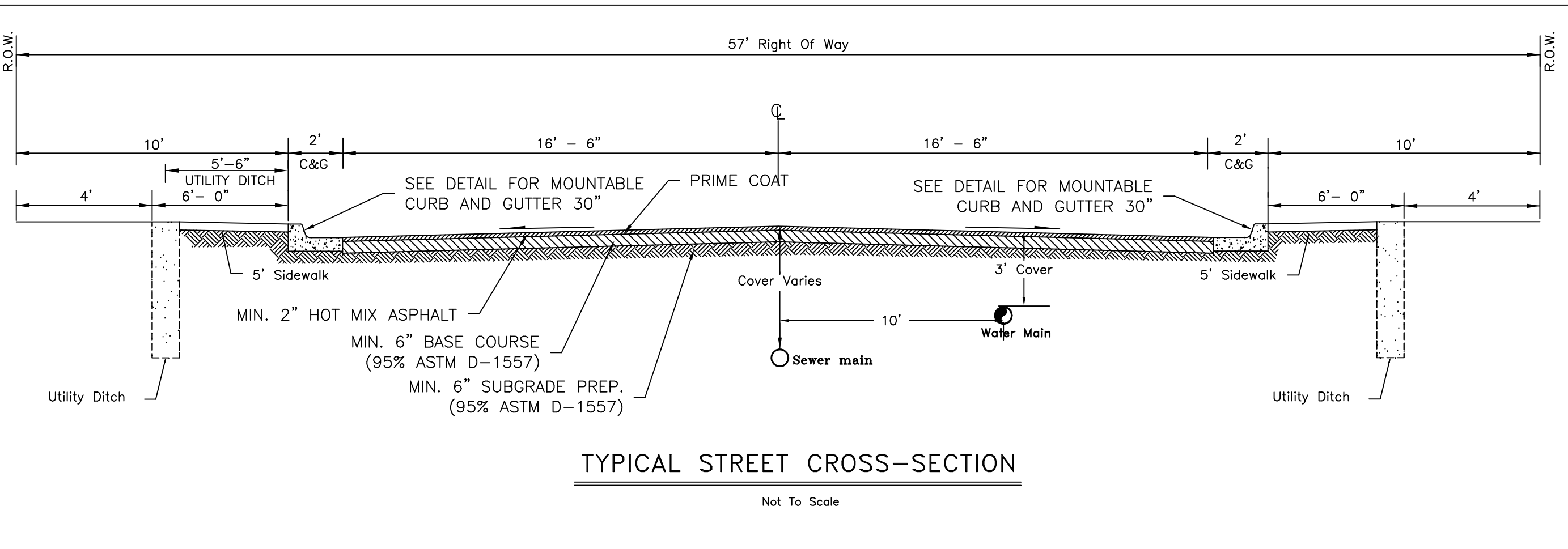
1. ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF THE NEW MEXICO APWA STANDARD SPECIFICATIONS.
2. BACK OF CURB RADIUS TO BE APPROVED BY CITY ENGINEER.
3. ALL CONCRETE SHALL CONTAIN ANTI-CRACK FIBER REINFORCEMENT.
4. CONCRETE HEADER CURBS TO BE POLISHED MONOLITHICALLY WITH RAMP.
5. CENTER A MIN. OF 3 RADIAL CORROSION RESISTANT GRAY IRON DETECTABLE WARNING PLATES AS SHOWN. (EAST JORDAN IRON WORKS OR CITY ENGINEER APPROVED EQUAL).
6. TOP OF SIDEWALK.
7. USE 1/2" EXPANSION JOINT WHERE SIDEWALK OR DRIVE PAD ADJUTS BUILDINGS, FENCES, WALLS OR OTHER IMMovable OBJECTS.
8. CURB AND GUTTER SHALL HAVE 1/4" GROOVE JOINTS PLACED AT 10' INTERVALS TO CORRESPOND WITH THE LOCATIONS OF 1/4" GROOVE JOINTS IN THE SIDEWALK.
9. HORIZONTAL RAMP LENGTH VARIES BASED ON CURB HEIGHT FOR ROADWAY DESIGN AND 15:1 MAX SLOPE.

DESIGN STD. NO. 310.00	SCALE: NTS	DATE: 06/09	REVISIONS: APWA UPDATE
CITY OF HOBBS ENGINEERING DEPARTMENT CONSTRUCTION DETAILS & SPECIFICATIONS			
DRAWN BY: ZB		APPROVED BY: TTR	

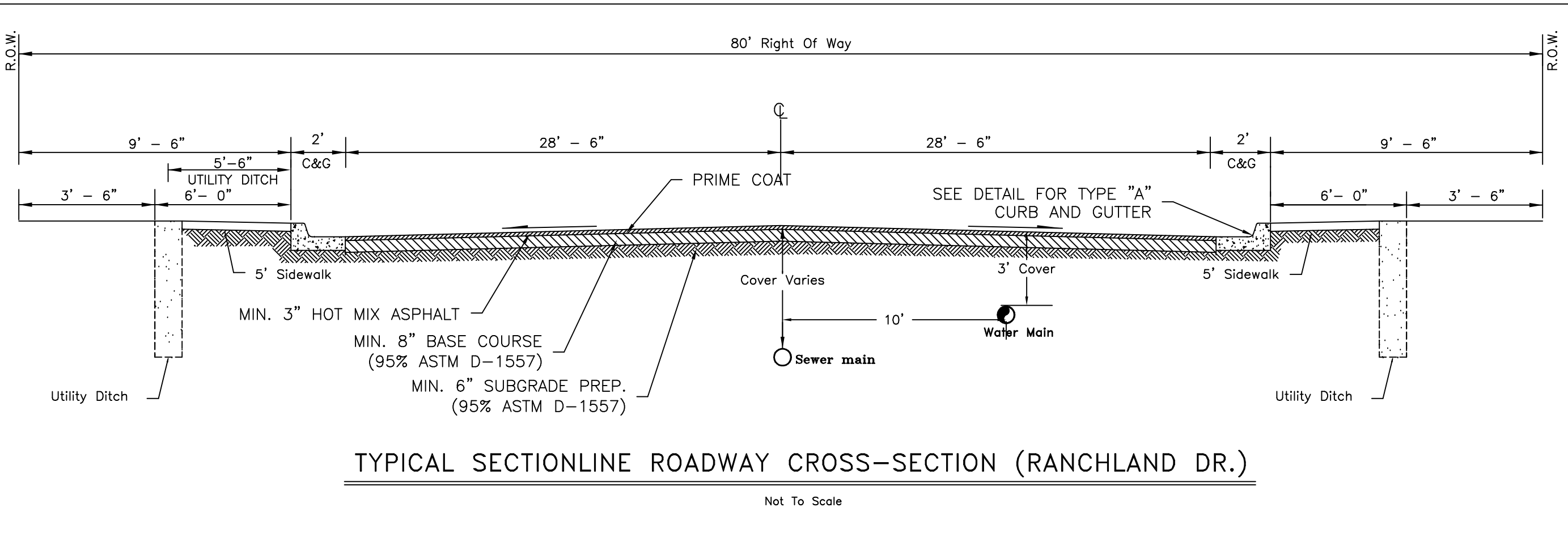
**VALLEY GUTTER NOTES ADDED IN 2014:**  
2014 CITY OF HOBBS DEVELOPMENT REQUIRES ALL VALLEY GUTTERS TO BE 5' WIDE. ORIGINAL PLANS DRAWN IN 2008 SHOW IN PLAN VIEW VALLEY GUTTERS AT 3' WIDE. CONTRACTOR SHALL CONSTRUCT ALL VALLEY GUTTERS AS PER THE DETAILS ON THIS SHEET.



**CONCRETE FILLET AND VALLEY GUTTER**  
NOT TO SCALE



**TYPICAL STREET CROSS-SECTION**  
Not To Scale

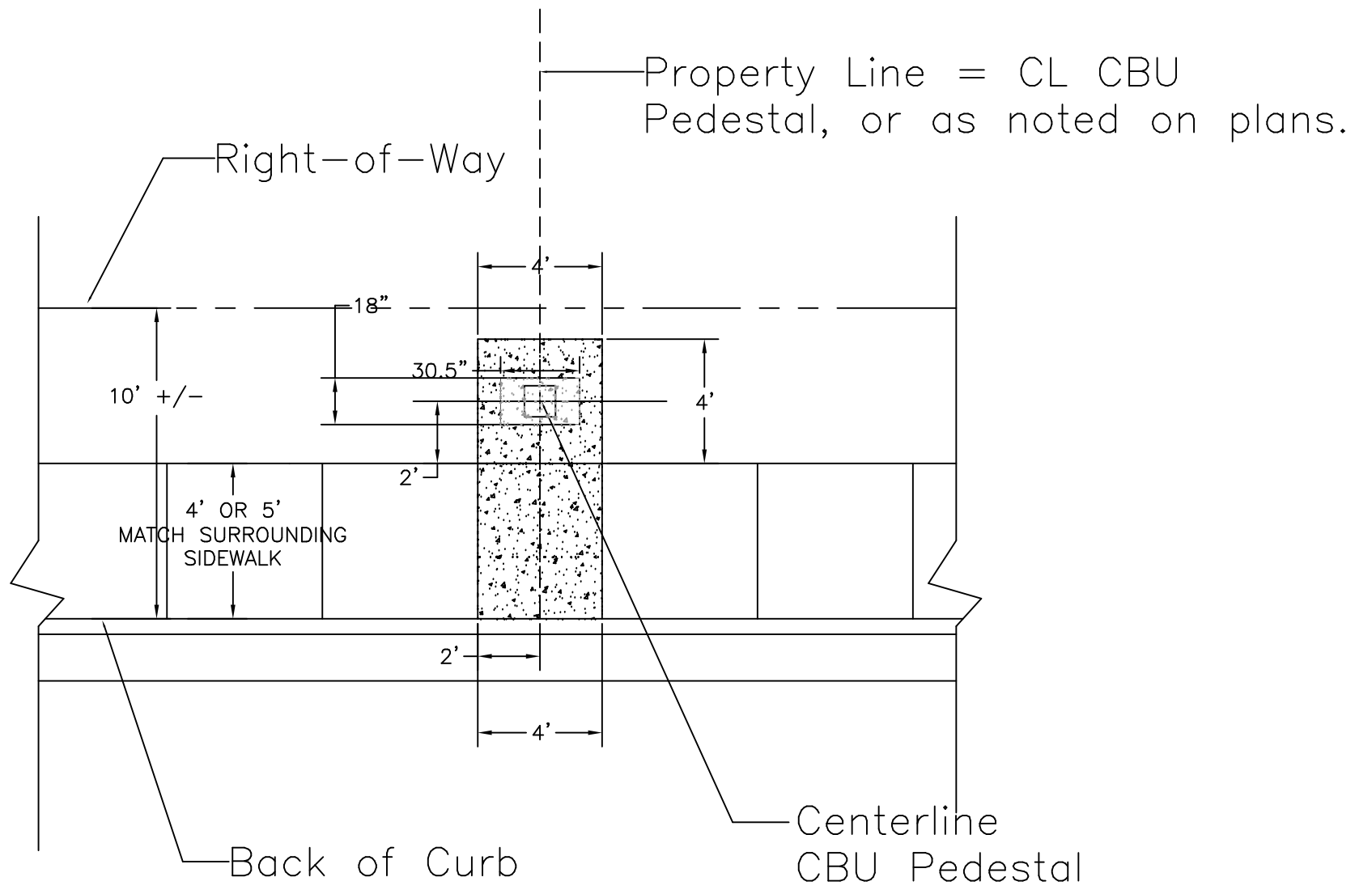


**TYPICAL SECTIONLINE ROADWAY CROSS-SECTION (RANCHLAND DR.)**  
Not To Scale

**CLUSTER BOX UNITS (CBU'S) GENERAL NOTES:**

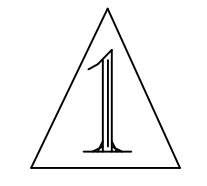
CBU'S AVAILABLE AT [WWW.MAILBOXES.COM](http://WWW.MAILBOXES.COM).

16 UNIT CBU TO BE MODEL NUMBER 3316, WITH PEDESTAL 3385; 13 UNIT CBU TO BE MODEL 3313 WITH PEDESTAL 3385. BOTH MANUFACTURED BY SALSBUARY INDUSTRIES - ALL ALUMINUM CONSTRUCTION CONTAINING AN OUTGOING MAIL SLOT AND 2 PARCEL LOCKERS EACH. ALL CBU KEYS TO BE DELIVERED TO THE ENGINEER FOR DELIVERY TO THE POST OFFICE.



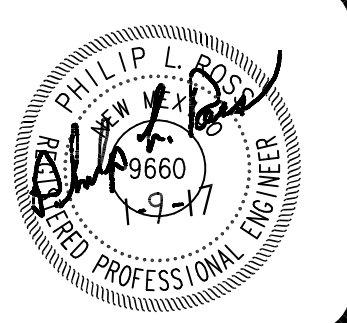
**TYPICAL CLUSTER BOX UNIT (CBU) CONCRETE DETAIL**  
NTS

- Notes:**
1. Dimensions shown allow approximately 6.25' clearance in front of CBU (mailbox).
  2. See manufacturer's installation guide for installation of CBU pedestal and box.
  3. Centerline of CBU Pedestal shall not be located closer than 25' from curb return at corner lots.
  4. If CBU placed in area with out curb and gutter, 4' x 4' sidewalk still required in front of slab for pedestal.



**ROADWAY CONSTRUCTION GENERAL NOTES:**

ALL CONCRETE WORK SHALL INCLUDE FIBER REINFORCEMENT. FIBERS SHALL BE VIRGIN POLYPROPYLENE STRANDS (APPROX. 3/4 inches IN LENGTH). ALL CONCRETE SHALL CONTAIN APPROXIMATELY 1.5 LBS. OF FIBER PER CUBIC YARD OF CONCRETE. NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR SUCH WORK AND SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION. FIBER REINFORCEMENT DOES DELETE REQUIREMENT FOR STEEL REINFORCEMENT WHEN REQUIRED BY DETAILS ON THIS SHEET.



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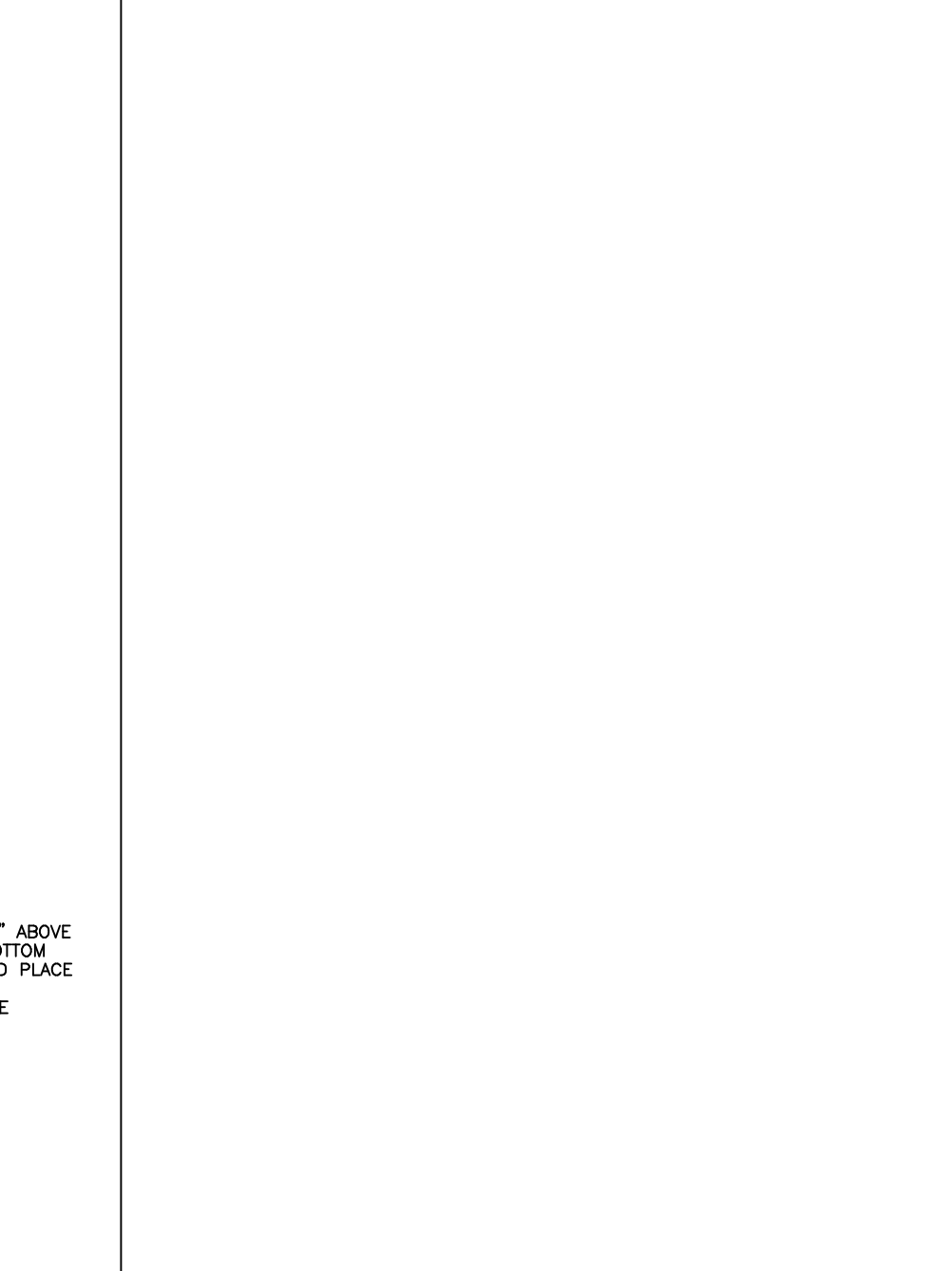
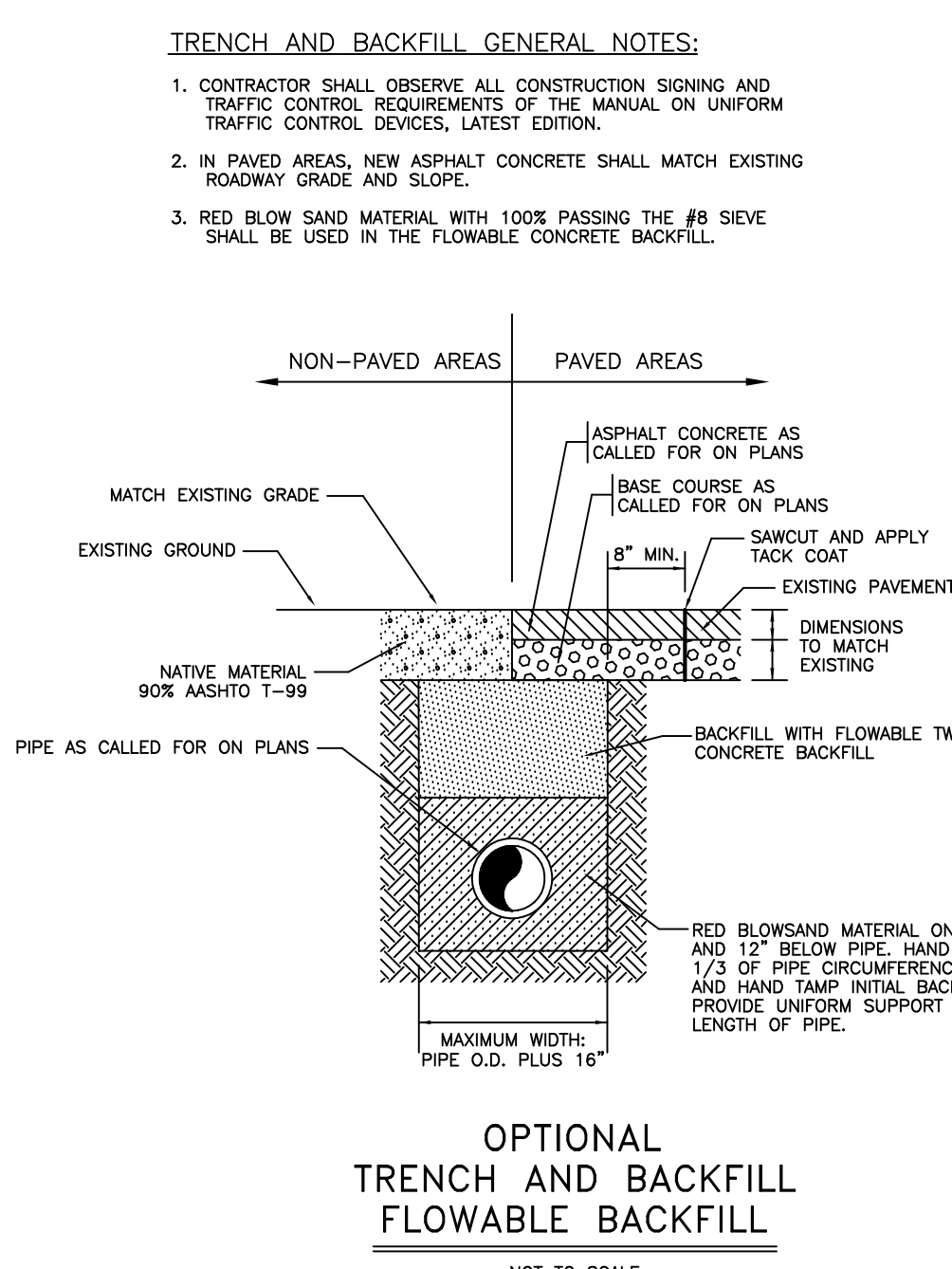
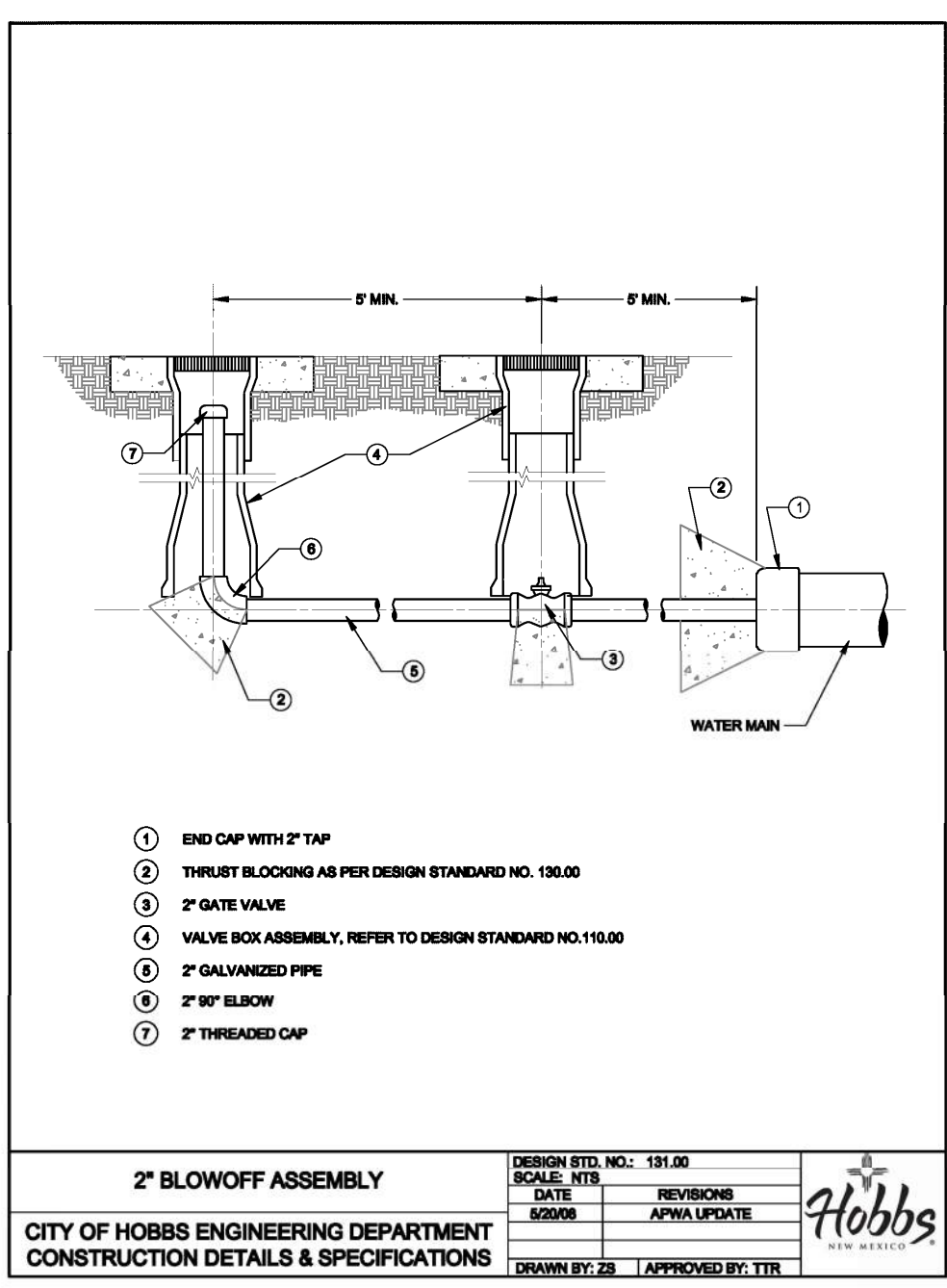
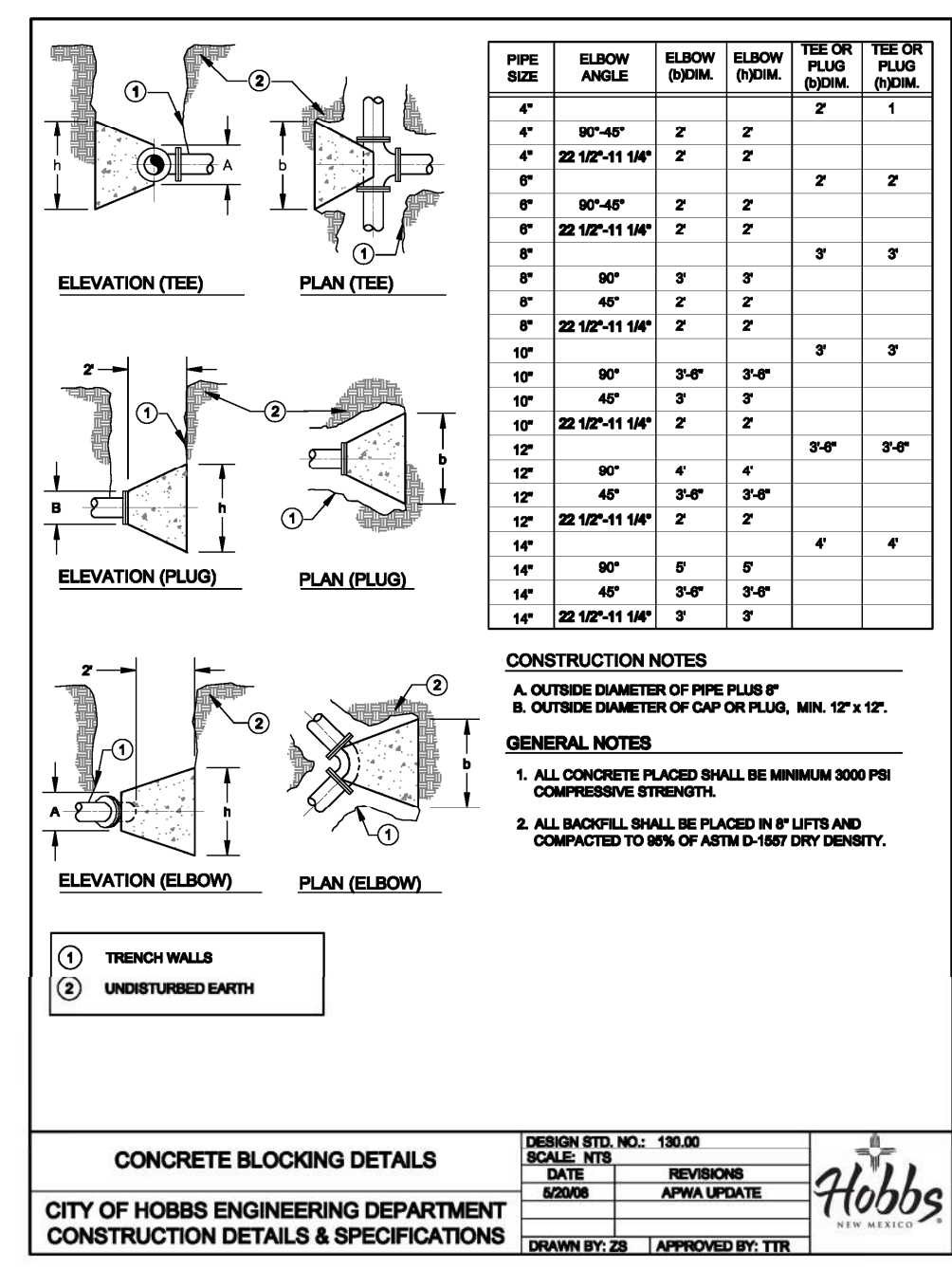
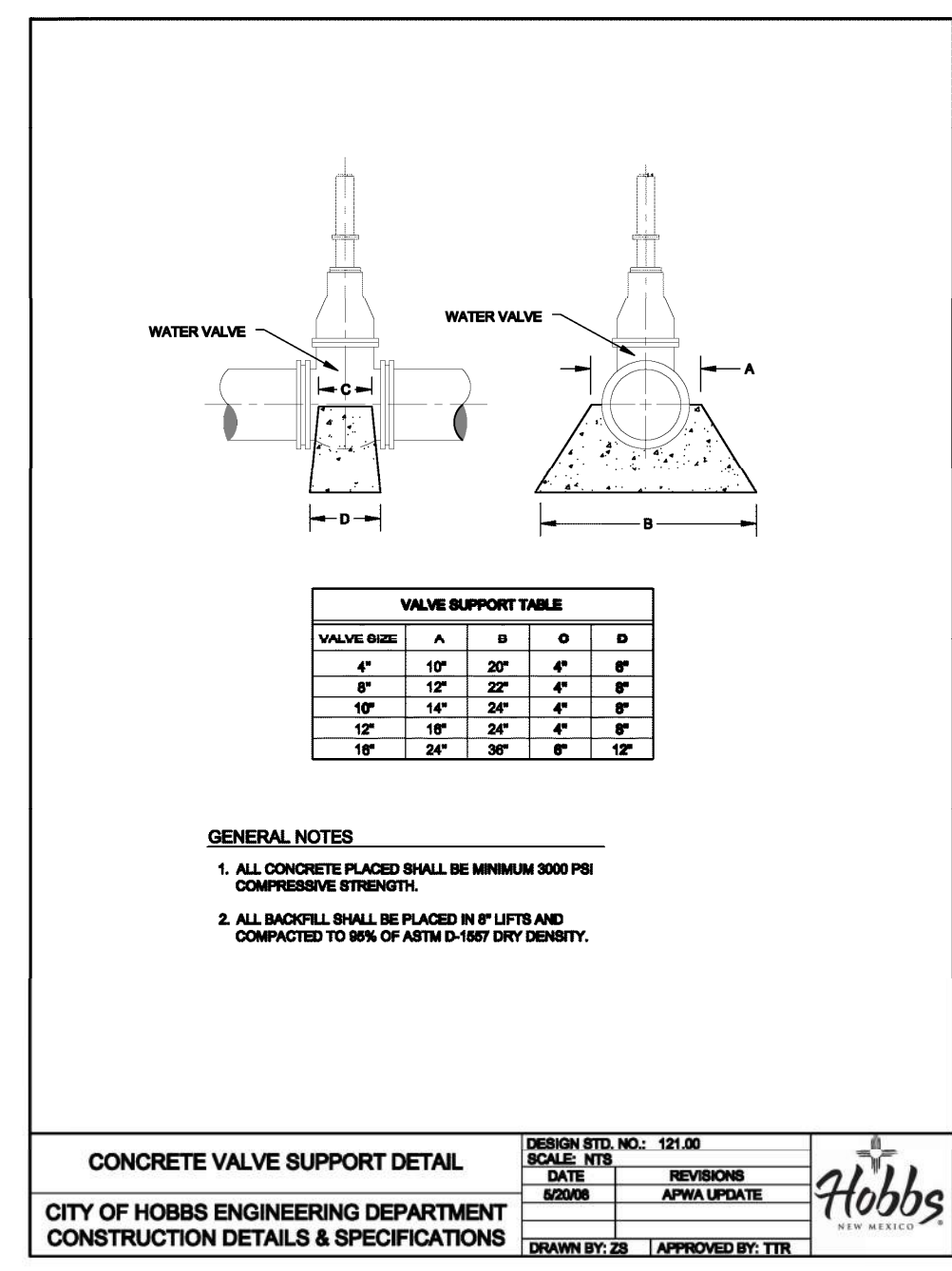
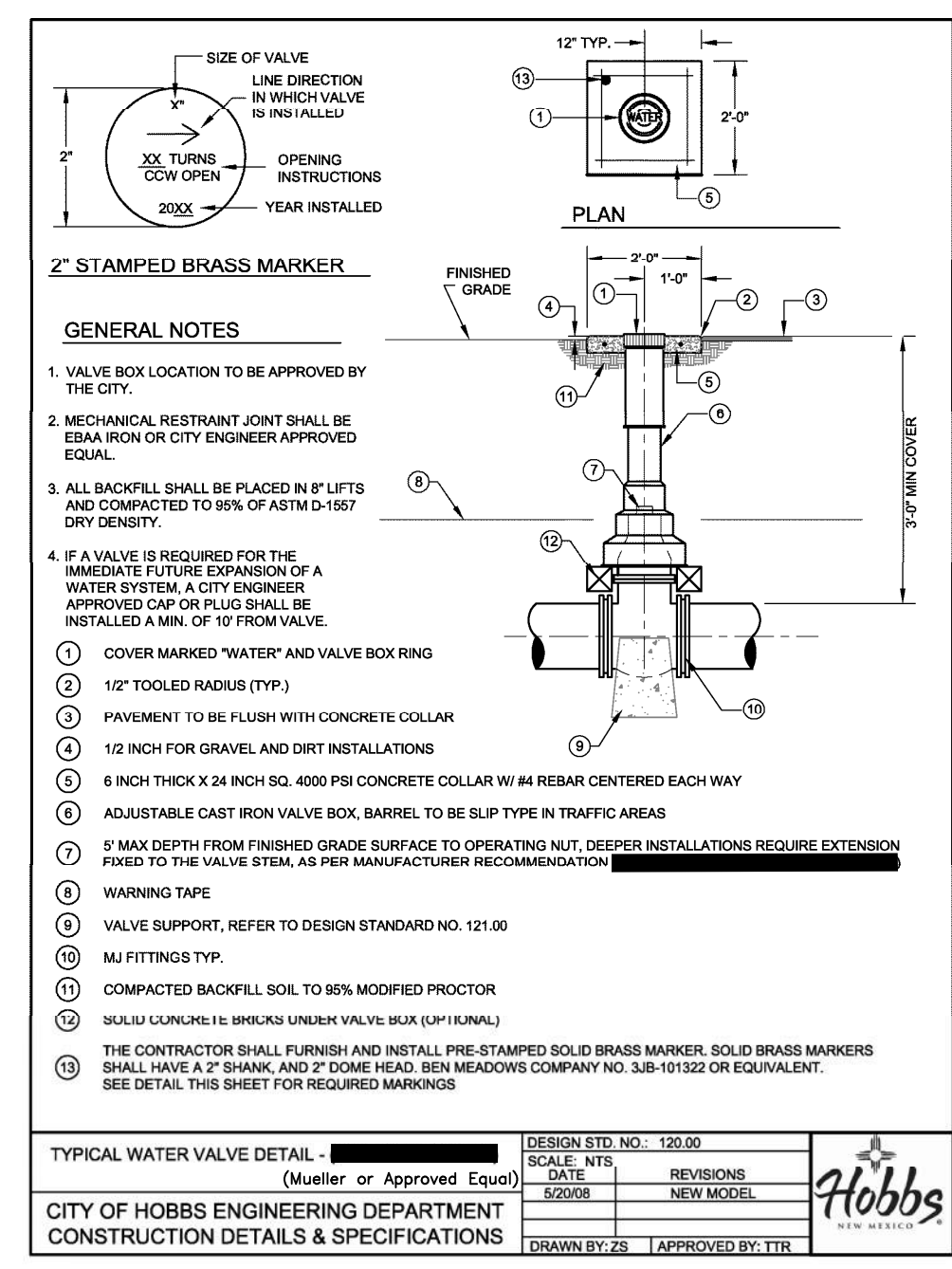
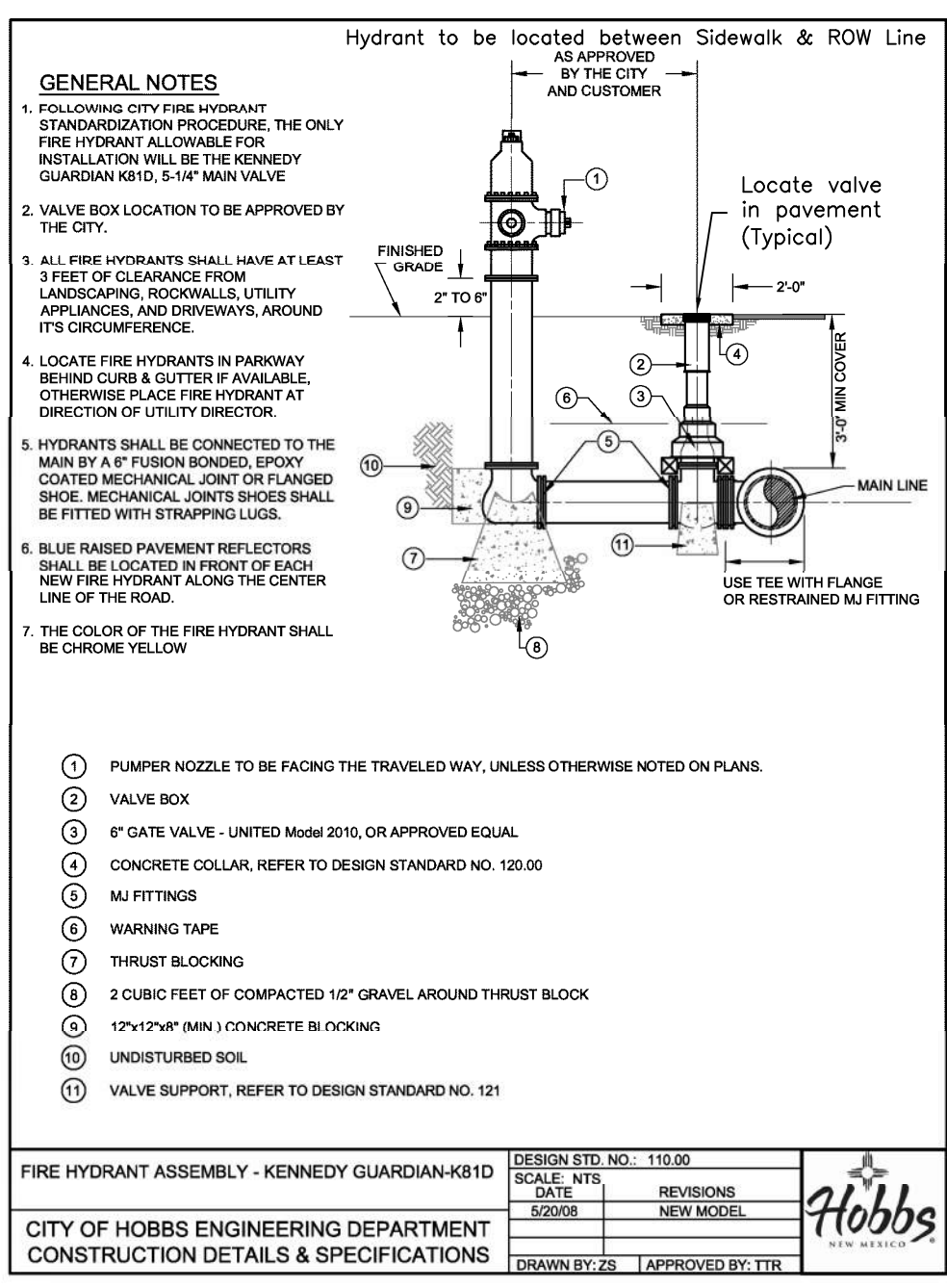
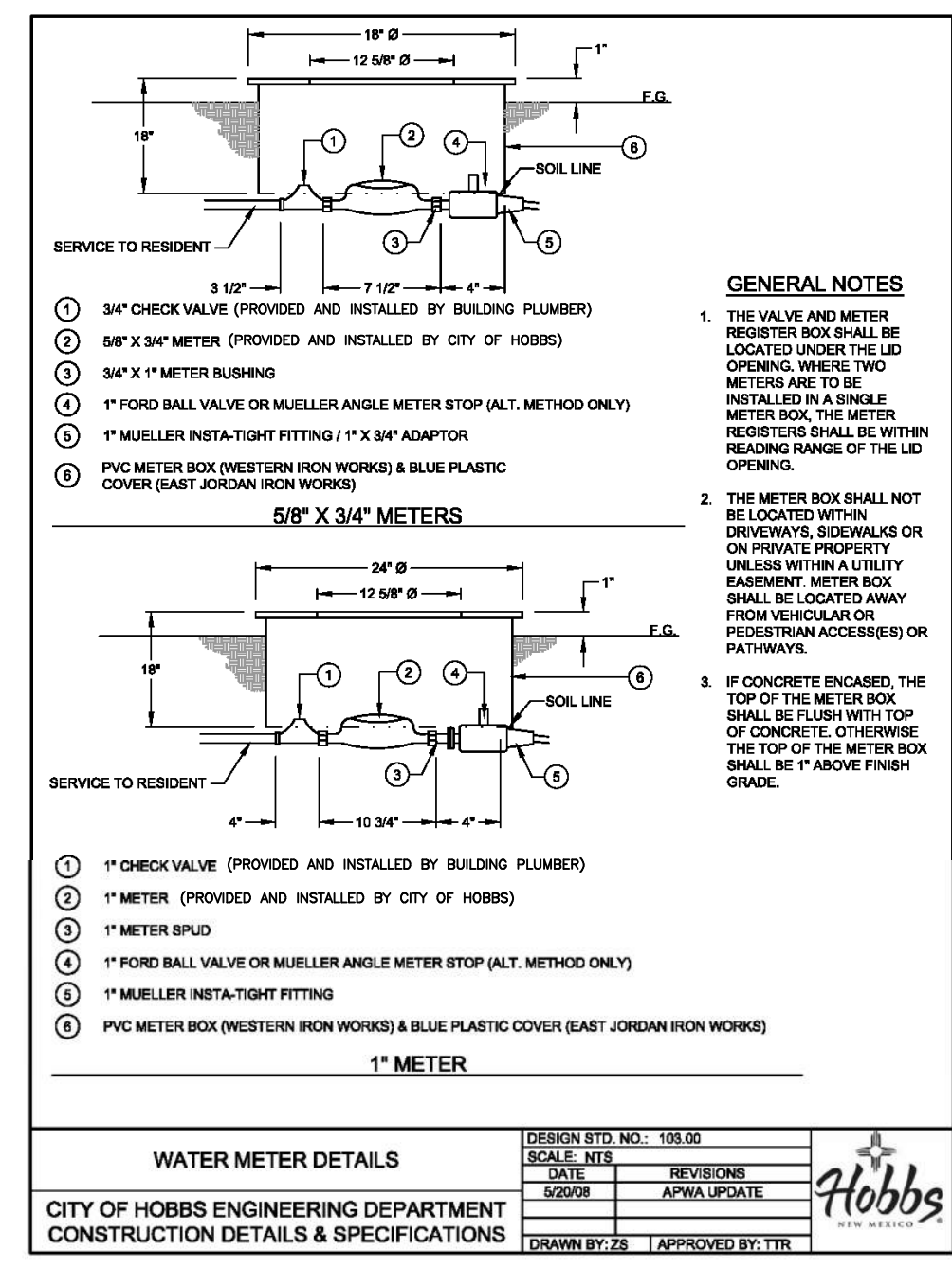
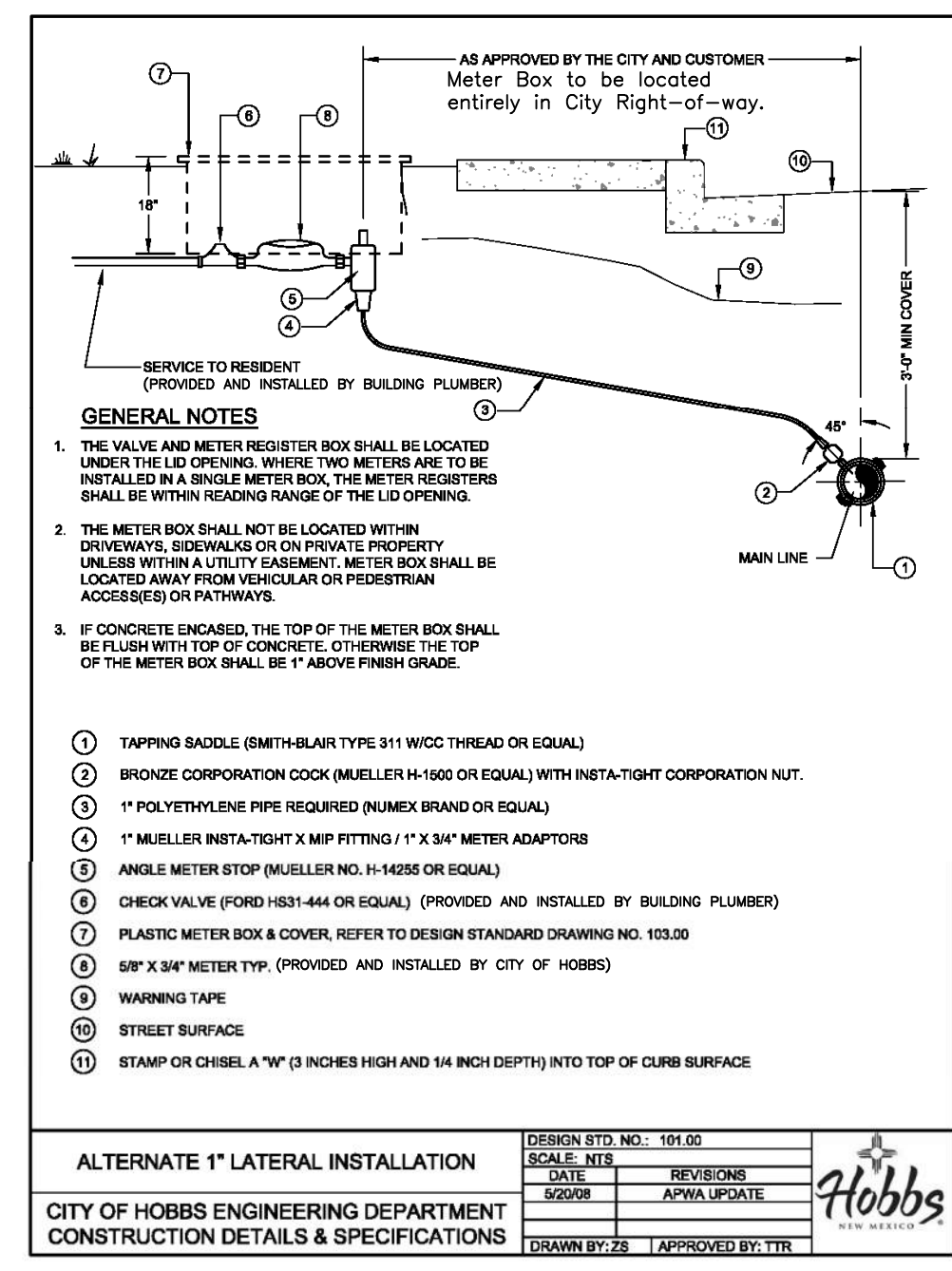
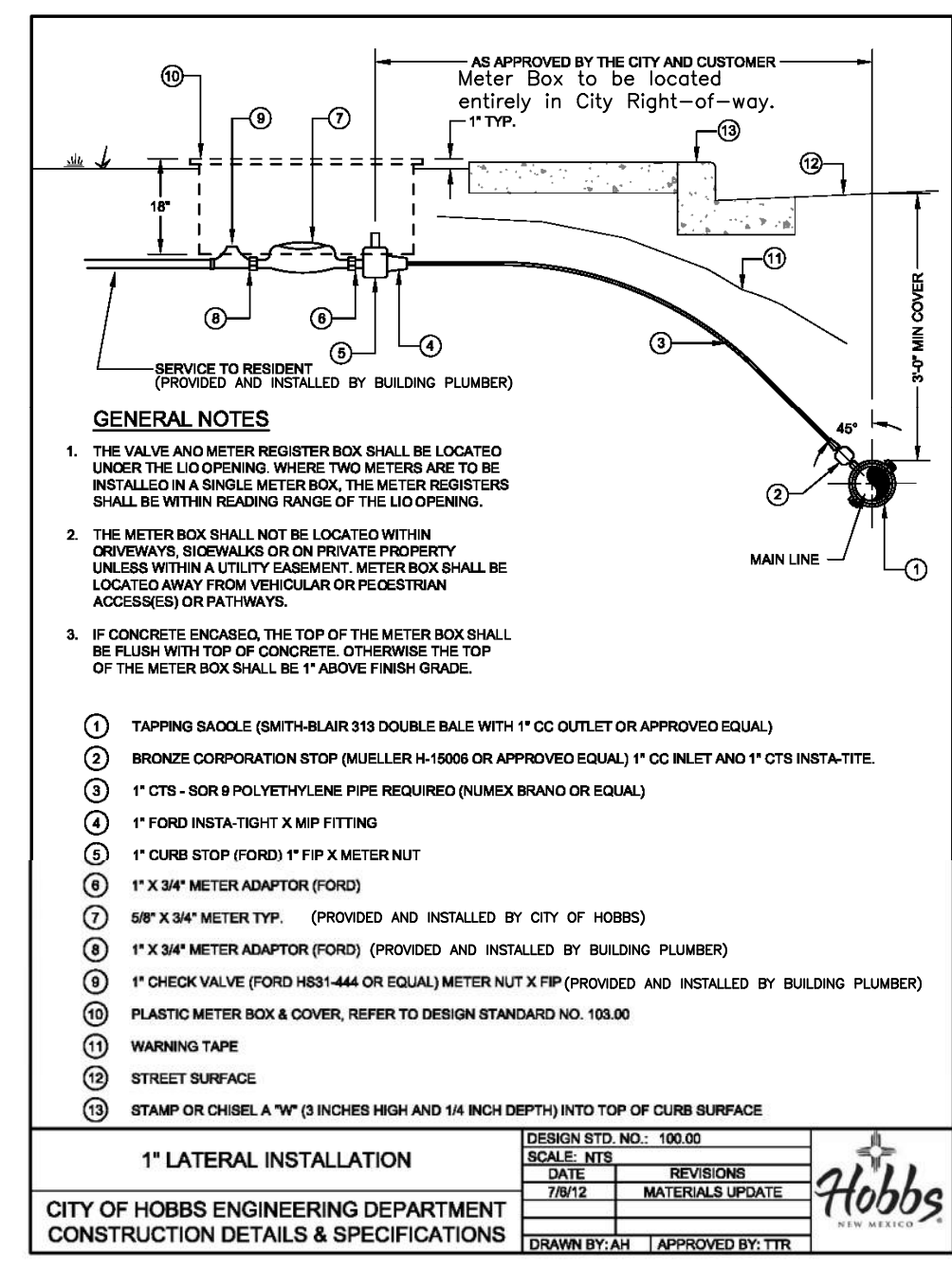
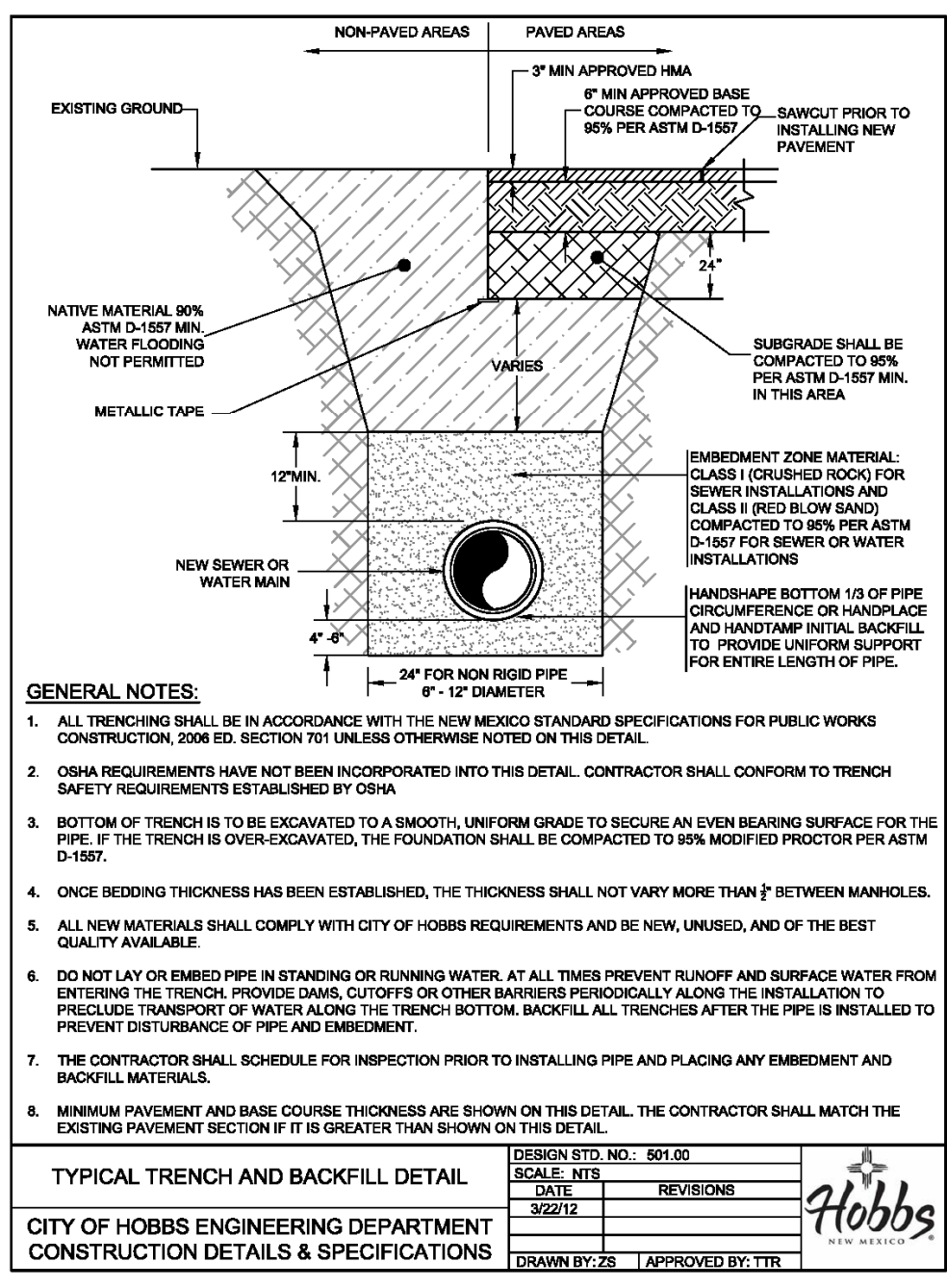
WESTERN STATES DEVELOPMENT GROUP, LLC  
TANGLEWOOD UNIT II AT RANCH VIEW ESTATES  
ROADWAY DETAILS

the ROSS GROUP  
CONSULTING ENGINEERS  
410 N. DAL PASO  
HOBBS, NEW MEXICO 88240  
(575) 392-7918 TELE.  
(575) 392-9114 FAX

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ROAD	

ORIGINAL DRAWING SIZE 24" X 36"





ORIGINAL DRAWING SIZE 24" X 36"

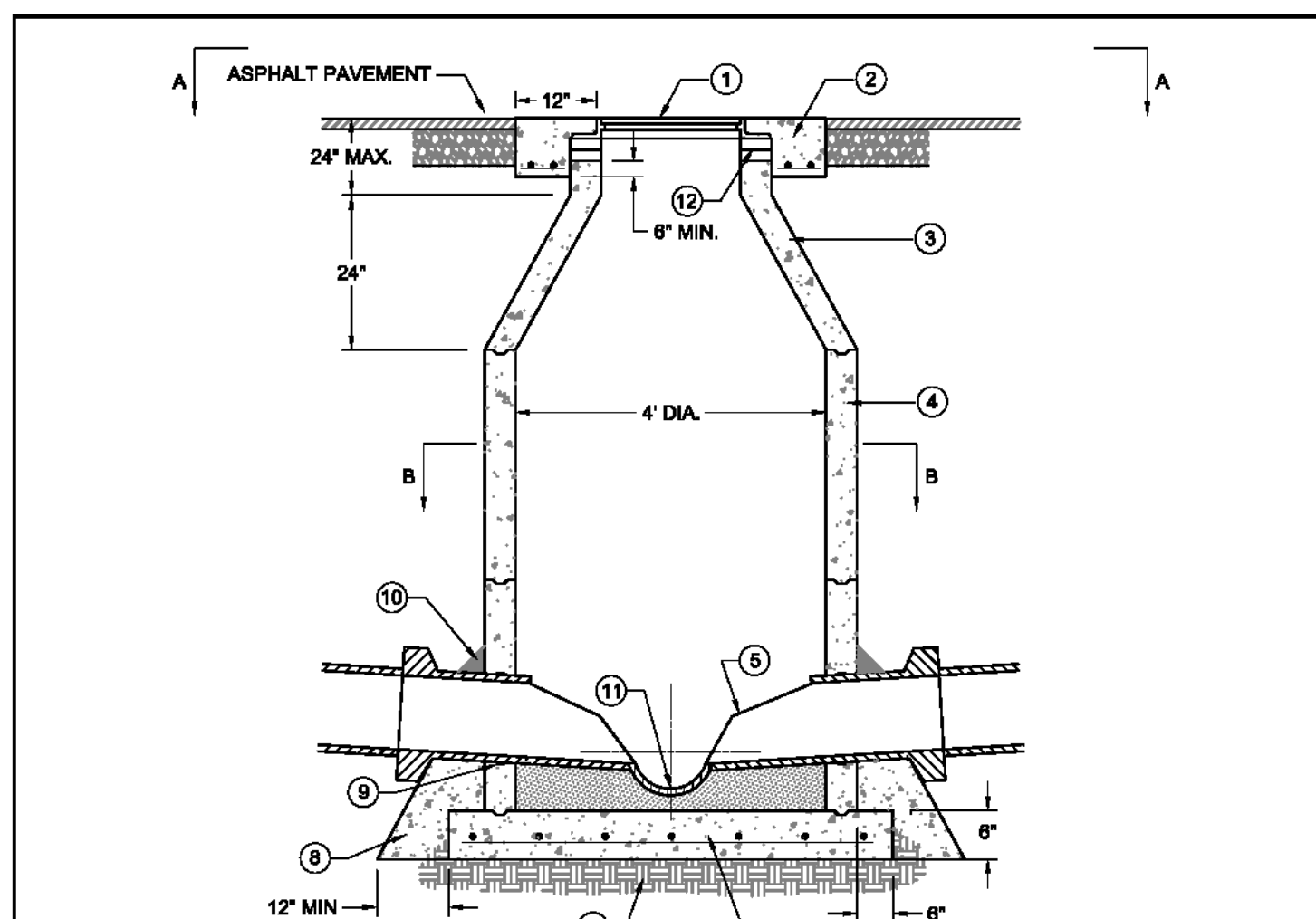
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WESTERN STATES DEVELOPMENT GROUP, LLC  
TANGLEWOOD UNIT II AT RANCH VIEW ESTATES  
WATER DETAILS

**the ROSS GROUP**  
CONSULTING ENGINEERS  
410 N. DAL PASO  
HOBBBS, NEW MEXICO 88240  
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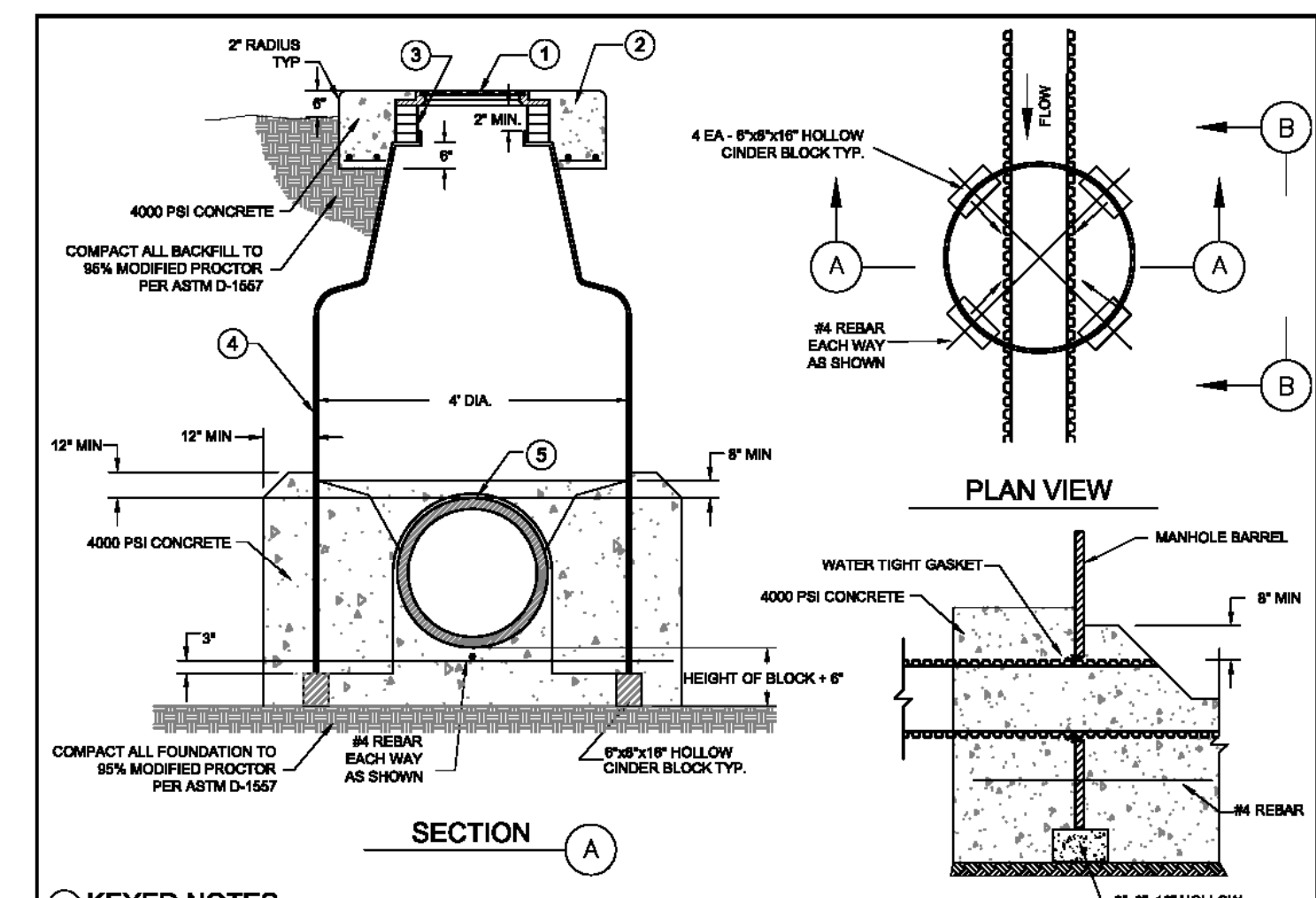
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Job No.:





- 1 30" FRAME & COVER, COVER MARKED "SANITARY SEWER" AND CITY OF HOBBS LOGO, REFER TO DESIGN STANDARD NO. 209.00
- 2 4000 PSI CONCRETE COLLAR, REFER TO DESIGN STANDARD NO. 205.00
- 3 STANDARD PRE CAST CONCRETE CONE.
- 4 6" MIN. PRE CAST REINFORCED CONCRETE RINGS, MASTIC SEAL AT ALL JOINTS.
- 5 ALL GROUT IN ALL MANHOLES SHALL START AT A LINE EQUAL TO THE TOP OF SEWER PIPE THEN SLOPE AT 1" PER FOOT UP TO WALLS.
- 6 4000 PSI CONCRETE BASE TO BE POURED IN PLACE USING #6 REBAR AT 6" O.C. EACH WAY, FOR MANHOLE DEPTH, FROM RIM TO INVERT, OF UP TO 16" AND MAXIMUM PIPE DIAMETER OF 24".
- 7 COMPACT BACKFILL UNDER ALL MANHOLES TO 96% MODIFIED PROCTOR DENSITY.
- 8 CONCRETE PIPE SUPPORTS SHALL EXTEND OUTSIDE OF M.H. TO BELL OF FIRST JOINT AND SHALL CRADLE PIPE TO SPRING LINE.
- 9 APPROVED WATERSTOP TO BE COMPATIBLE WITH TYPE OF PIPE.
- 10 6" GROUT FILLET ON UPPER HALF OF PIPE AND AROUND BASE.
- 11 INVERT ELEVATION OF STUB OR LATERAL AS SHOWN ON PLANS.
- 12 USE PRECAST ADJUSTMENT RINGS OR MAX. 4 COURSES OR MS BRICK FOR FUTURE ADJUSTMENT OF MANHOLE FRAME TO PAVEMENT GRADE. GROUT INSIDE WITH 1/2" MORTAR.
- 13 REFER TO DESIGN STANDARD DRAWING NO. 212.00 FOR CROSS SECTIONS A-A AND B-B

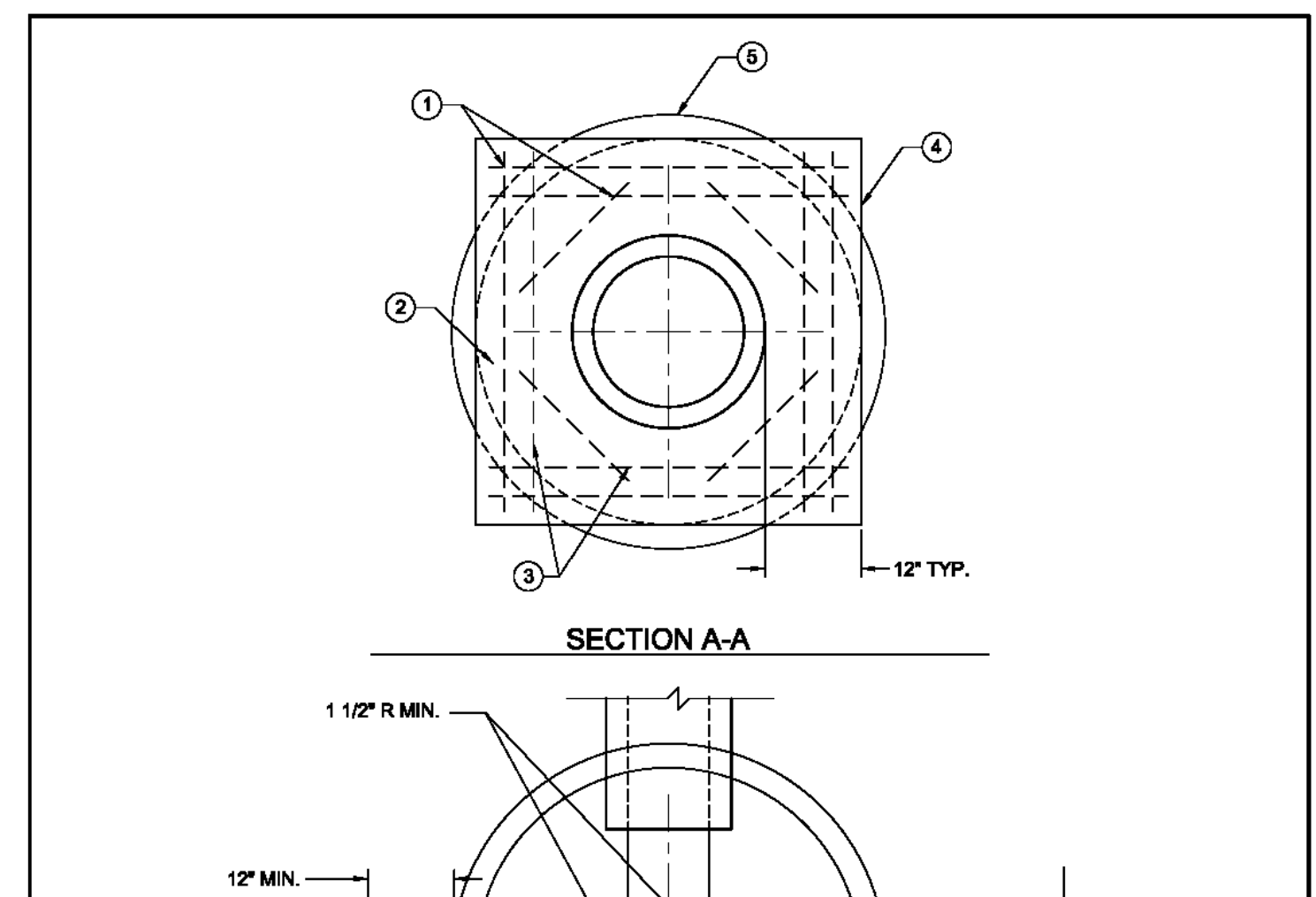
ALTERNATE PRECAST TYPE "C" MANHOLE	DESIGN STD. NO.: 211.00	SCALE: NTS	DATE: 12/20/11	REVISIONS	30" FRAME AND COVER
CITY OF HOBBS ENGINEERING DEPARTMENT	DRAWN BY: ZS	APPROVED BY: TTR			
CONSTRUCTION DETAILS & SPECIFICATIONS					



- KEYED NOTES:**
- 1 30" FRAME & COVER, REFER TO DESIGN STANDARD NO. 209.00
  - 2 4000 PSI CONCRETE COLLAR, REFER TO DESIGN STANDARD NO. 205.00 FOR PAVED AREAS (NON PAVED AREAS SHOWN THIS DETAIL)
  - 3 ADJUSTMENT RINGS (MAX. HEIGHT OF 16")
  - 4 MANHOLE SHALL CONFORM TO ASTM D-3753 (LATEST EDITION) AND CERTIFIED TO BE H-20 LOAD RATED
  - 5 PIPE CUTOUT IN MANHOLE BARREL, MAX. OF 1" CLEARANCE BETWEEN MANHOLE AND O.D. OF PIPE

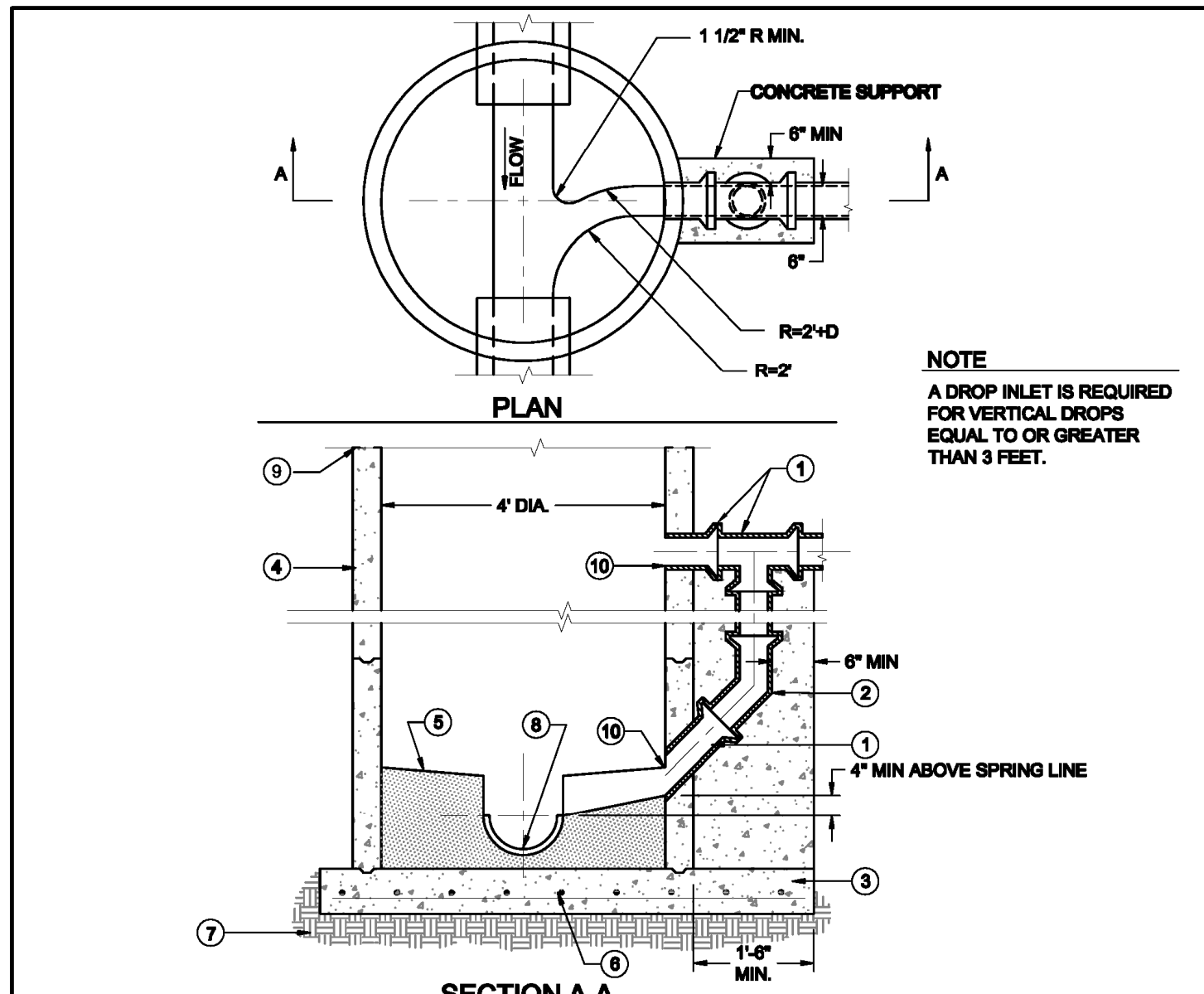
- INSTALLATION NOTES:**
- 1 LEVEL SUB GRADE MATERIAL, ENSURE FOUNDATION MEETS COMPACTION REQUIREMENTS, AND PLACE 4EA 6"x8"x16" HOLLOW CINDER BLOCKS AS SHOWN.
  - 2 MAKE CUTOUT FOR PIPE PENETRATION TO FOLLOW CURVATURE OF THE PIPE AND WITH A MAXIMUM OF 1" CLEARANCE. SEAL CUT EDGES WITH RESIN. PIPE PENETRATION CUTOUT MAY EXTEND TO THE BARREL BOTTOM (AS SHOWN IN SECTION B), PLACE MANHOLE LEVEL, ON BLOCKS.
  - 3 FORM FLOW SURFACE AND MOUND CONCRETE AROUND PIPE PENETRATIONS, TO FORM A SEAL, IN ONE CONTINUOUS PLACEMENT OPERATION.
  - 4 CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE FIBERGLASS MANHOLE AND CONE SECTION DURING ALL CONSTRUCTION OPERATIONS INCLUDING PAVING AND MANHOLE ADJUSTMENT. THE CONTRACTOR SHALL SCHEDULE FOR INSPECTION PRIOR TO PLACING CONCRETE BASE, BACKFILL, AND MANHOLE ADJUSTMENT.
  - 5 REBAR IN BASE SHALL EXTEND 10" MINIMUM BEYOND MANHOLE WALL.

TYPE "C" FIBERGLASS MANHOLE	DESIGN STD. NO.: 211.50	SCALE: NTS	DATE: 3/22/12	REVISIONS	30" FRAME & COVER
CITY OF HOBBS ENGINEERING DEPARTMENT	DRAWN BY: ZS	APPROVED BY: TTR			
CONSTRUCTION DETAILS & SPECIFICATIONS					



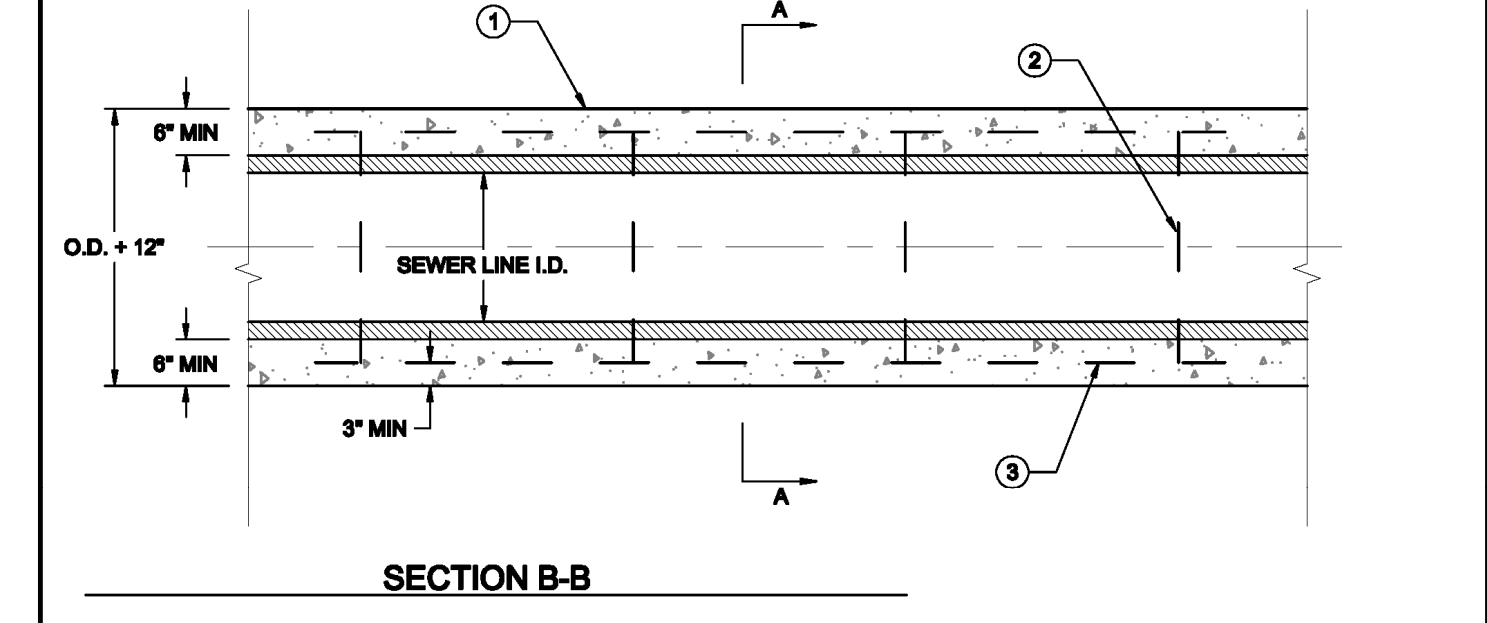
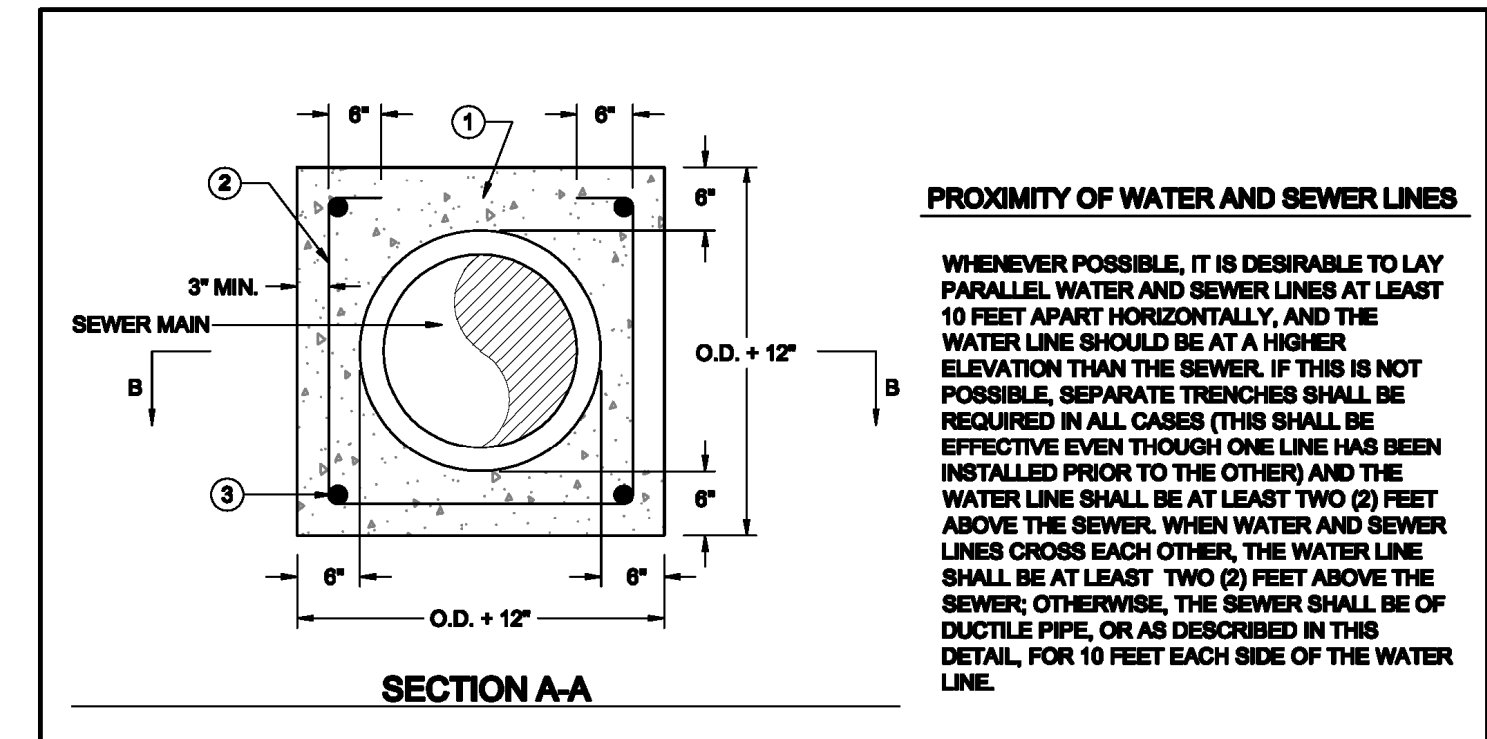
- 1 TIE ALL STEEL WITH WIRE. PLACE ON 3" CHAIRS
- 2 CLASS A CONCRETE 4000 PSI
- 3 #4 REBAR AT 4" O.C. EACH WAY AS SHOWN. 2" MIN. CLEAR COVER TYP.
- 4 CONCRETE EDGES SHALL BE PARALLEL TO CURB LINE OF ROADWAY.
- 5 PRECAST CONCRETE RINGS

STANDARD PRECAST MANHOLE PLAN	DESIGN STD. NO.: 212.00	SCALE: NTS	DATE: 6/20/08	REVISIONS	APWA UPDATE
CITY OF HOBBS ENGINEERING DEPARTMENT	DRAWN BY: ZS	APPROVED BY: TTR			
CONSTRUCTION DETAILS & SPECIFICATIONS					



- NOTE:**  
A DROP INLET IS REQUIRED FOR VERTICAL DROPS EQUAL TO OR GREATER THAN 3 FEET.
- 1 USE D.I. OR P.V.C. (SDR 21) PIPE THROUGHOUT DROP.
  - 2 USE BELL AND SPIGOT 48" SHORT OR LONG RADIUS BEND.
  - 3 FOR NEW DROP ON EXISTING MANHOLE CONSTRUCT A 3' X 3' CONCRETE BASE BEFORE CONSTRUCTING DROP SUPPORT.
  - 4 6" MIN. PRE CAST REINFORCED CONCRETE RINGS, MASTIC SEAL AT ALL JOINTS.
  - 5 ALL GROUT IN ALL MANHOLES SHALL START AT A LINE EQUAL TO THE TOP OF SEWER PIPE THEN SLOPE AT 1" PER FOOT UP TO WALLS.
  - 6 4000 PSI CONCRETE BASE TO BE POURED IN PLACE USING #6 REBAR AT 6" O.C. EACH WAY, FOR MANHOLE DEPTH OF UP TO 16" AND MAX. PIPE DIAMETER OF 30".
  - 7 COMPACT BACKFILL UNDER ALL MANHOLES TO 96% MODIFIED PROCTOR DENSITY.
  - 8 INVERT ELEVATION OF STUB OR LATERAL AS SHOWN ON PLANS.
  - 9 MANHOLE TYPE FOR UPPER PORTION WILL BE SPECIFIED ON DESIGN PROFILE
  - 10 CORE DRILL FOR ALL WALL PENETRATIONS ON EXISTING MANHOLES.

VERTICAL DROP AT MANHOLE	DESIGN STD. NO.: 220.00	SCALE: NTS	DATE: 5/20/08	REVISIONS	APWA UPDATE
CITY OF HOBBS ENGINEERING DEPARTMENT	DRAWN BY: ZS	APPROVED BY: TTR			
CONSTRUCTION DETAILS & SPECIFICATIONS					



- 1 CONCRETE ENCASEMENT
- 2 NO. 4 REBAR STIRRUPS AT 36" O.C. TYP.
- 3 4-NO. 4 CONTINUOUS REBAR WITH 3" MINIMUM CLEAR COVER TYP.

SEWER LINE ENCASEMENT DETAIL	DESIGN STD. NO.: 281.00	SCALE: NTS	DATE: 5/20/08	REVISIONS	APWA UPDATE
CITY OF HOBBS ENGINEERING DEPARTMENT	DRAWN BY: ZS	APPROVED BY: TTR			
CONSTRUCTION DETAILS & SPECIFICATIONS					

SEE SHEET 11 (WATER DETAILS) FOR TYPICAL TRENCH DETAILS, MECHANICAL COMPACTION AND OPTIONAL FLOWABLE FILL.

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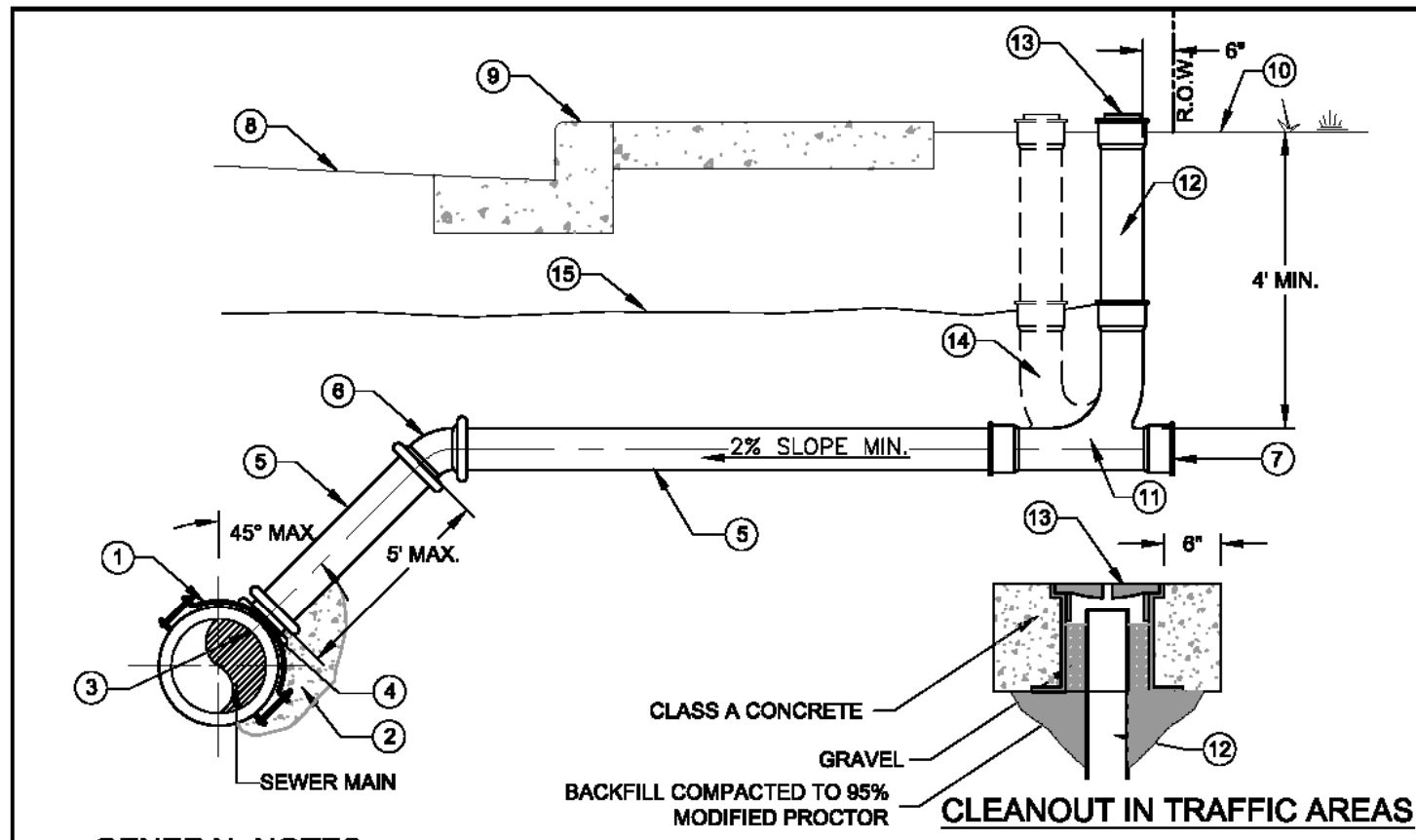
WESTERN STATES DEVELOPMENT GROUP, LLC  
TANGLEWOOD UNIT II AT RANCHVIEW ESTATES  
SEWER DETAILS

**the ROSS GROUP**  
CONSULTING ENGINEERS  
410 N. DAL PASO  
HOBBS, NEW MEXICO 88240  
(575) 392-7918 TELE.  
(575) 392-9114 FAX

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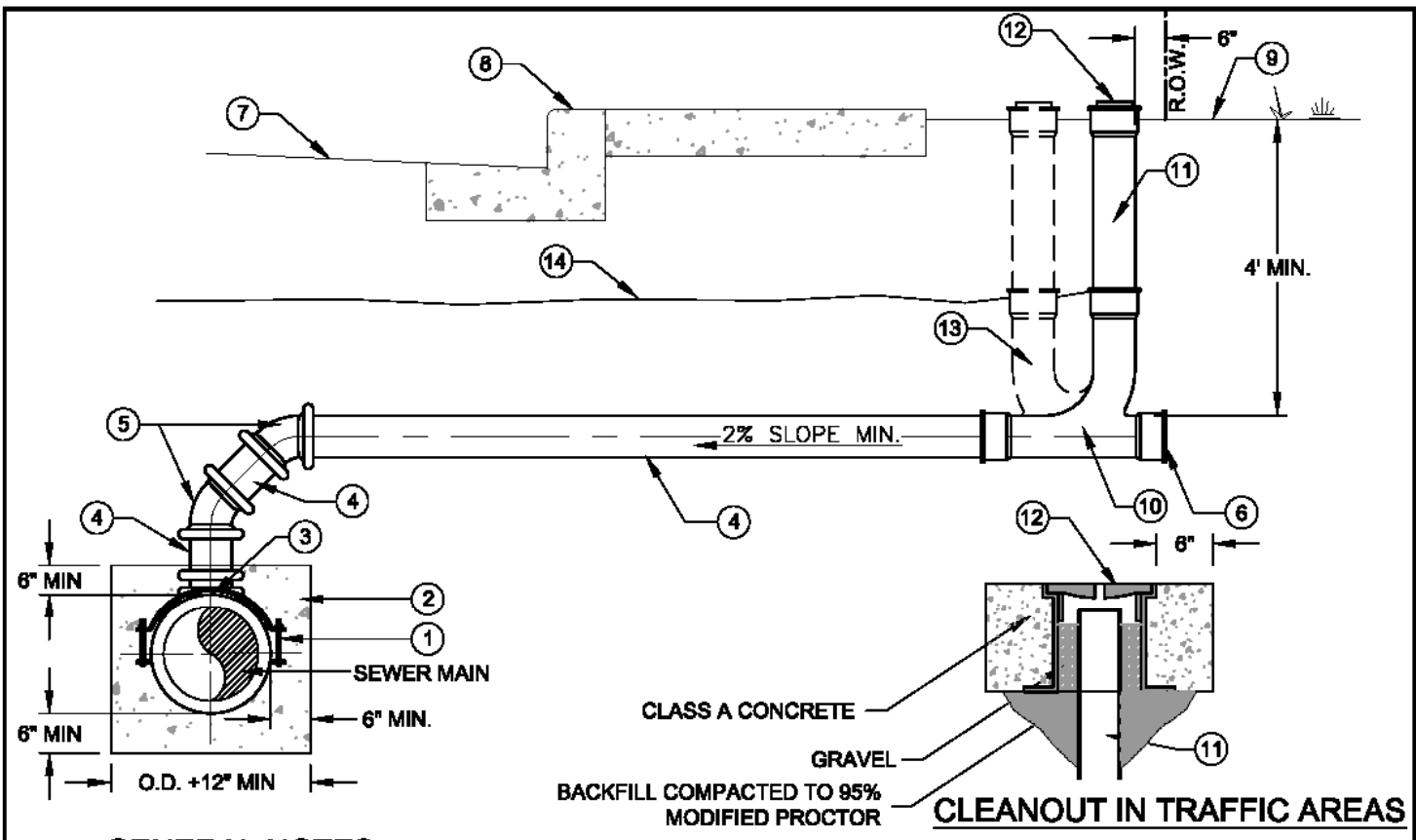
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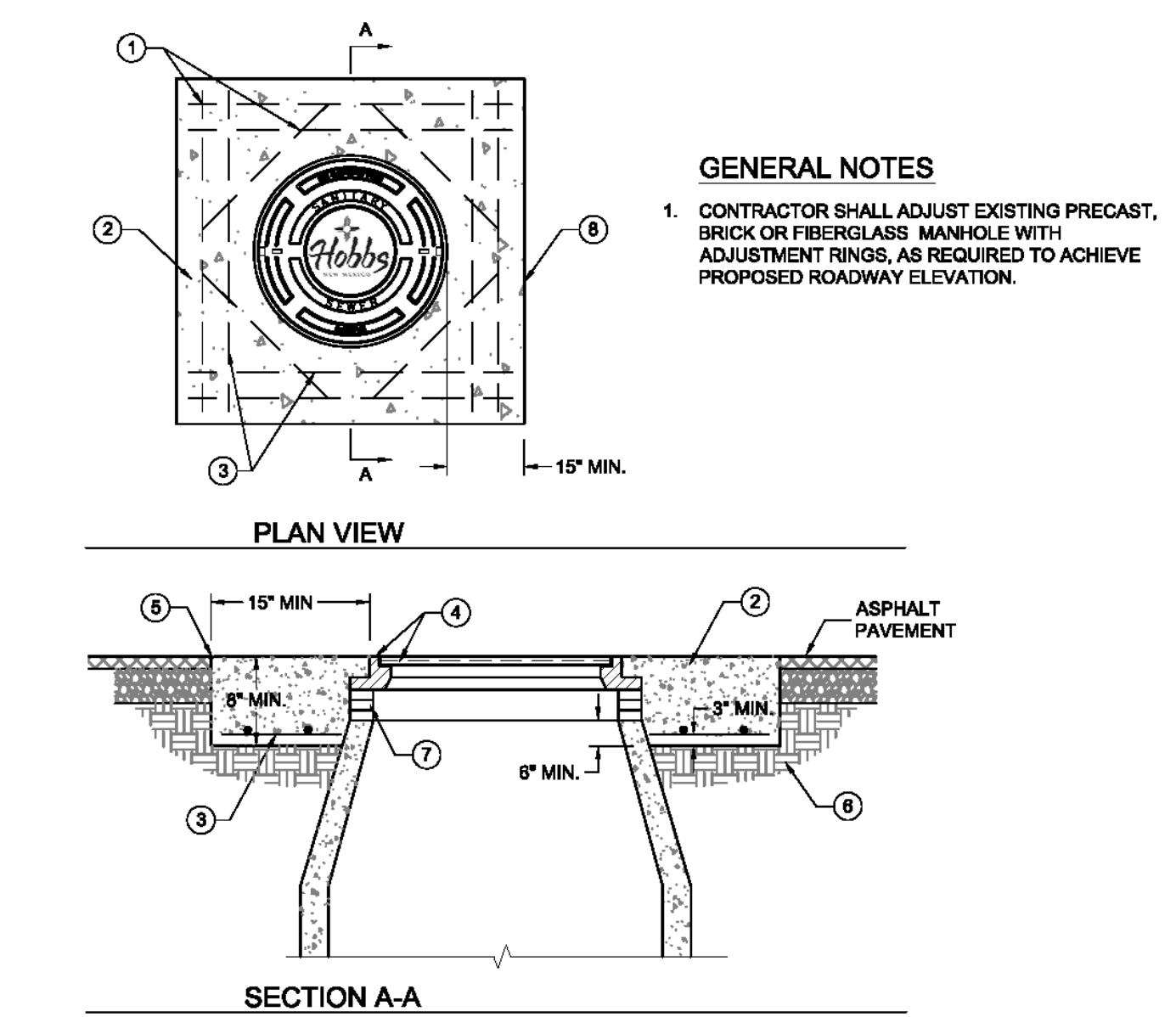
- GENERAL NOTES**
1. ALL SERVICE LINES AND INSTALLATION SHALL CONFORM TO THE LATEST EDITION OF THE NEW MEXICO CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION.
  - 1 SANITARY SEWER TAPPING TEE, USING PIONEER OR GENERAL ENGINEERING CO. SADDLES OR APPROVED EQUAL DO NOT OVER TIGHTEN SADDLE BOLTS WHICH WOULD PREVENT FREE PASSAGE OF REQUIRED MANDREL.
  - 2 BACKFILL UNDER SERVICE WITH MIN. 1 CUBIC FOOT OF P.C. CONCRETE (SACKCRETE OR EQUAL ALLOWABLE)
  - 3 SERVICE LINE SHALL NOT PROTRUDE INTO SEWER MAIN.
  - 4 CORE DRILLED USING FOWLER QUICK-WAY DRILL SYSTEM, OR PILOT HOLE CUTTER SYSTEM, OR APPROVED EQUAL
  - 5 4" SERVICE LINE, CAST IRON SOIL PIPE (SERVICE WEIGHT), PVC SCHEDULE 40, OR ABS SCHEDULE 40
  - 6 22.5" OR 45" BEND
  - 7 PLUG OR CAP
  - 8 STREET SURFACE
  - 9 STAMP OR CHISEL A "S" (3 INCHES HIGH AND 1/4 INCH DEPTH) INTO TOP OF CURB SURFACE AT EACH SERVICE LATERAL
  - 10 FINISHED GRADE
  - 11 WYE
  - 12 4" PVC RISER
  - 13 CONCRETE ENCASED TRAFFIC RATED SEWER CLEANOUT FRAME AND COVER ASSEMBLY (LBIW LB 1240X-610A OR APPROVED EQUAL), PVC CAP IN NON TRAFFIC AREAS
  - 14 OPTIONAL DOUBLE WYE ASSEMBLY (4" PVC RISER & PVC CLEAN OUT)
  - 15 WARNING TAPE

SEWER LATERAL DETAIL	DESIGN STD. NO.: 200.00
	SCALE: NTS
	DATE: 12/20/11
	REVISIONS: TRAFFIC RATED CLEANOUT
CITY OF HOBBS ENGINEERING DEPARTMENT	
CONSTRUCTION DETAILS & SPECIFICATIONS	
DRAWN BY: ZS	APPROVED BY: TTR



- GENERAL NOTES**
1. ALL SERVICE LINES AND INSTALLATION SHALL CONFORM TO THE LATEST EDITION OF THE NEW MEXICO CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION.
  - 1 SANITARY SEWER TAPPING TEE, USING PIONEER OR GENERAL ENGINEERING CO. SADDLES OR APPROVED EQUAL DO NOT OVER TIGHTEN SADDLE BOLTS WHICH WOULD PREVENT FREE PASSAGE OF REQUIRED MANDREL.
  - 2 INSTALL CONCRETE CRADLE ON TEE, 1-8" CENTERED HORIZONTALLY ALONG SEWER MAIN, VERTICAL AS SHOWN. (RIGID PIPE ONLY)
  - 3 CORE DRILLED USING FOWLER QUICK-WAY DRILL SYSTEM, OR PILOT HOLE CUTTER SYSTEM, OR APPROVED EQUAL SERVICE LINE SHALL NOT PROTRUDE INTO SEWER MAIN.
  - 4 4" SERVICE LINE, CAST IRON SOIL PIPE (SERVICE WEIGHT), PVC SCHEDULE 40, OR ABS SCHEDULE 40
  - 5 45" BEND
  - 6 PLUG OR CAP
  - 7 STREET SURFACE
  - 8 STAMP OR CHISEL A "S" (3 INCHES HIGH AND 1/4 INCH DEPTH) INTO TOP OF CURB SURFACE AT EACH SERVICE LATERAL
  - 9 FINISHED GRADE
  - 10 WYE
  - 11 4" PVC RISER
  - 12 CONCRETE ENCASED TRAFFIC RATED SEWER CLEANOUT FRAME AND COVER ASSEMBLY (LBIW LB 1240X-610A OR APPROVED EQUAL), PVC CAP IN NON TRAFFIC AREAS
  - 13 OPTIONAL DOUBLE WYE ASSEMBLY (4" PVC RISER & PVC CLEAN OUT)
  - 14 WARNING TAPE

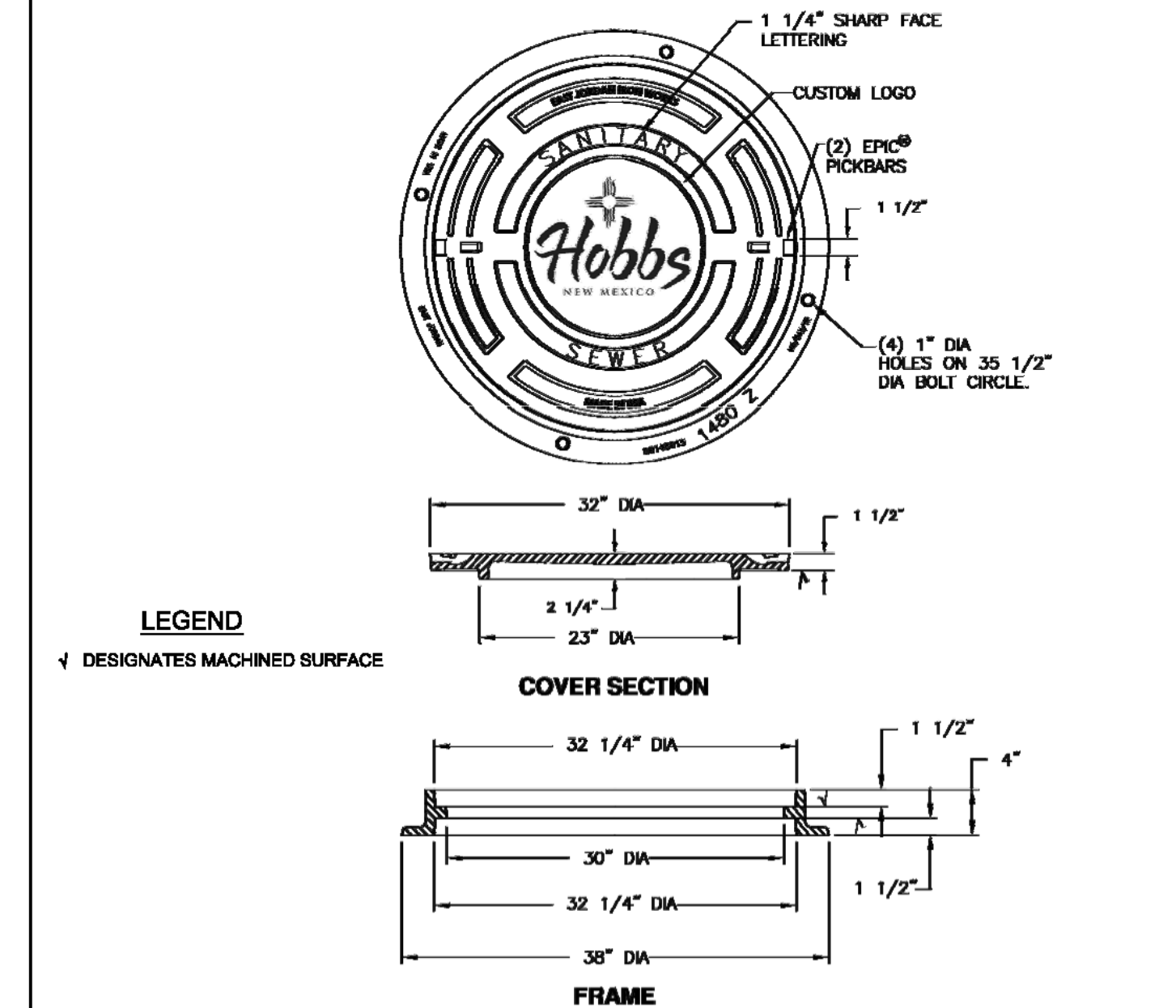
ALTERNATE SEWER LATERAL DETAIL	DESIGN STD. NO.: 201.00
	SCALE: NTS
	DATE: 12/20/11
	REVISIONS: TRAFFIC RATED CLEANOUT
CITY OF HOBBS ENGINEERING DEPARTMENT	
CONSTRUCTION DETAILS & SPECIFICATIONS	
DRAWN BY: ZS	APPROVED BY: TTR



- GENERAL NOTES**
1. CONTRACTOR SHALL ADJUST EXISTING PRECAST, BRICK OR FIBERGLASS MANHOLE WITH ADJUSTMENT RINGS, AS REQUIRED TO ACHIEVE PROPOSED ROADWAY ELEVATION.

- KEYED NOTES:**
- 1 TIE ALL STEEL WITH WIRE. PLACE ON 3" CHAIRS
  - 2 CLASS AA CONCRETE 4000 PSI
  - 3 #4 REBAR AT 8" O.C. EACH WAY AS SHOWN, 3" MIN. CLEAR COVER TYP.
  - 4 24" OR 30" FRAME & COVER, REFER TO DESIGN STANDARD 209.00 FOR 30" FRAME & COVER. ALL NEW MANHOLES SHALL HAVE 30" FRAME & COVER
  - 5 1/2" TOOLED RADIUS. TACK COAT ON ALL EDGES TYP.
  - 6 COMPACT ALL BACKFILL TO 95% MODIFIED PROCTOR DENSITY
  - 7 USE ADJUSTMENT RINGS OR MAX. 2 COURSES GR MS BRICK FOR ADJUSTMENT OF MANHOLE FRAME TO PAVEMENT GRADE. 18" MAX HEIGHT ADJUSTMENT.
  - 8 CONCRETE EDGES SHALL BE PARALLEL TO CURB LINE OF ROADWAY.

TYPICAL MANHOLE ADJUSTMENT DETAIL	DESIGN STD. NO.: 206.00
	SCALE: NTS
	DATE: 03/22/12
	REVISIONS: 30" FRAME & COVER
CITY OF HOBBS ENGINEERING DEPARTMENT	
CONSTRUCTION DETAILS & SPECIFICATIONS	
DRAWN BY: ZS	APPROVED BY: TTR



- LEGEND**
- 1 DESIGNATES MACHINED SURFACE

- GENERAL NOTES:**
1. CAST IRON MANHOLE RING & DUCTILE IRON COVER SET SHALL BE EJ PRODUCT NUMBER 41430120A01, AS SHOWN, OR APPROVED EQUIVALENT
  2. MANHOLE FRAME & COVER ASSEMBLY SHALL BE AASHTO H-20 LOAD RATED
  3. DUCTILE IRON CASTINGS SHALL BE GRADE 70-60-06 AND CONFORM TO ASTM A536 (LATEST EDITION)
  4. GREY IRON CASTINGS SHALL BE CL35 CONFORM TO ASTM A48 (LATEST EDITION)
  5. THE MANHOLE FRAME & COVER ARE TO BE UNCOATED.

STANDARD MANHOLE RING & COVER	DESIGN STANDARD NO.: 209.00
	SCALE: NTS
	DATE: 3/22/12
	REVISIONS: FRAME & COVER W/LOGO
CITY OF HOBBS ENGINEERING DEPARTMENT	
CONSTRUCTION DETAILS & SPECIFICATIONS	
DRAWN BY: ZS	APPROVED BY: TTR



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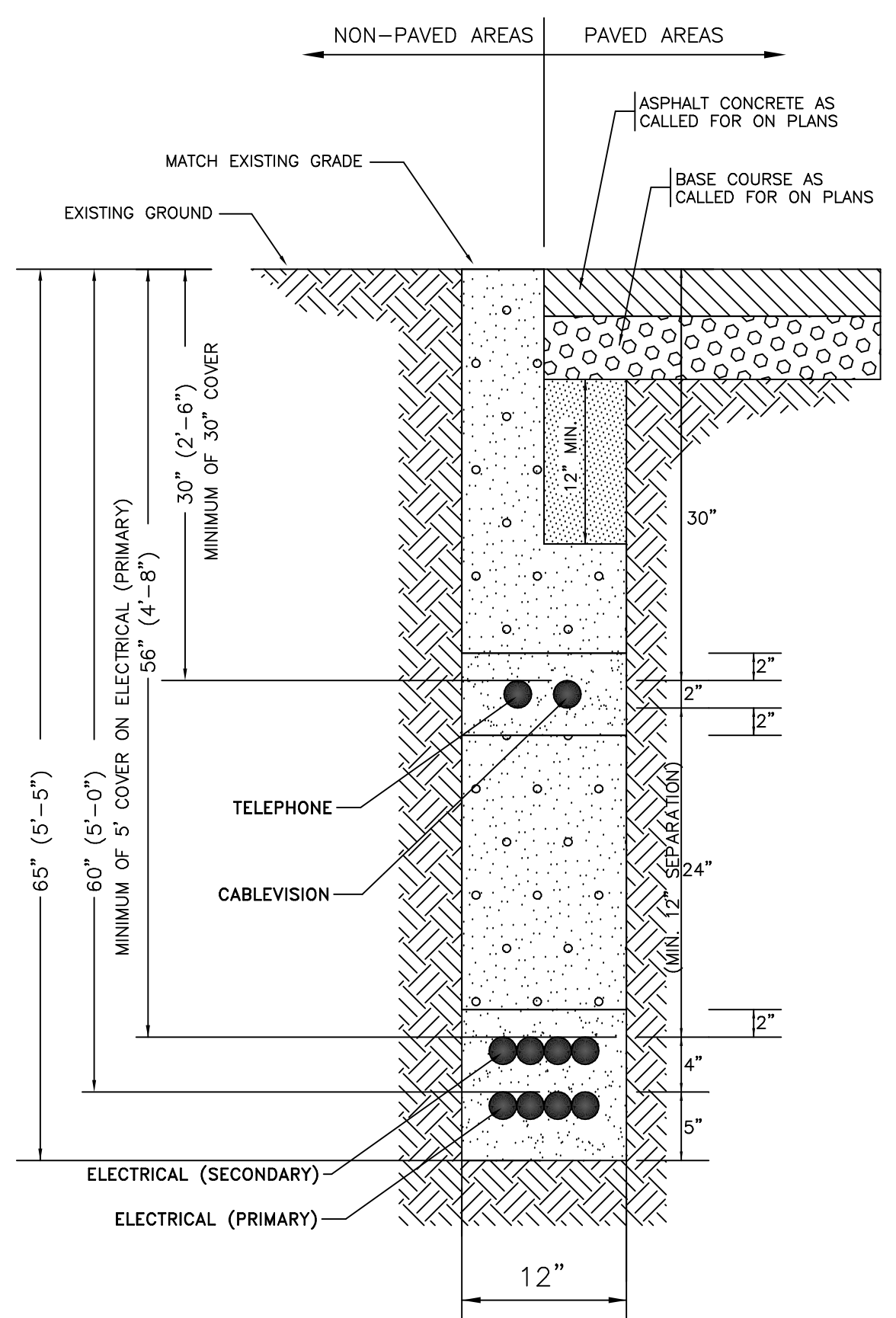
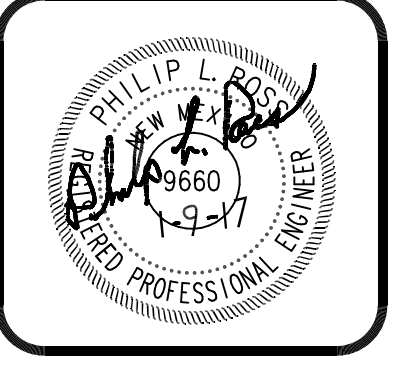
WESTERN STATES DEVELOPMENT GROUP, LLC  
 TANGLEWOOD UNIT II AT RANCHVIEW ESTATES  
 SEWER DETAILS CONTINUED



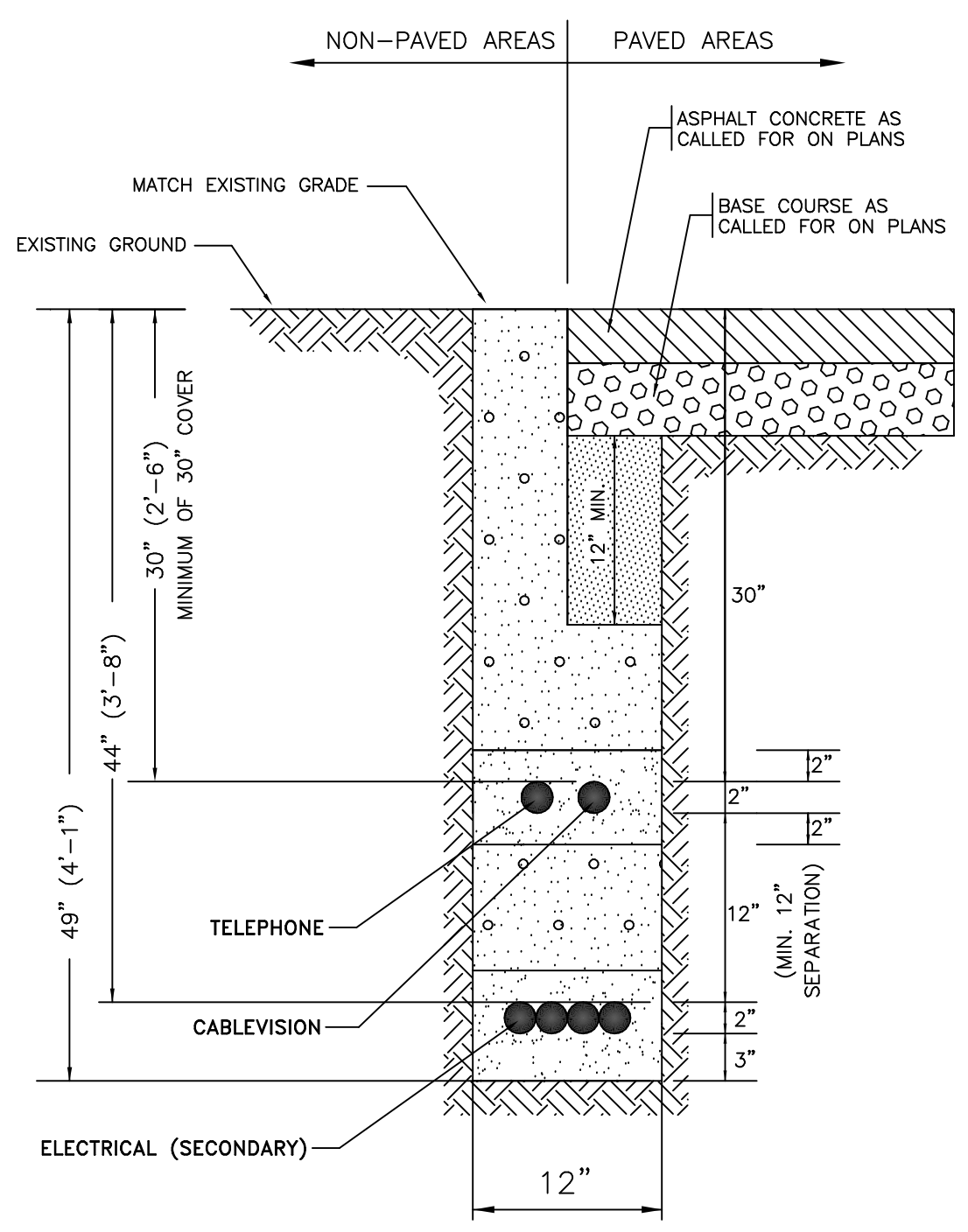
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File Name: SEWER	Job No.:

ORIGINAL DRAWING SIZE 24" X 36"

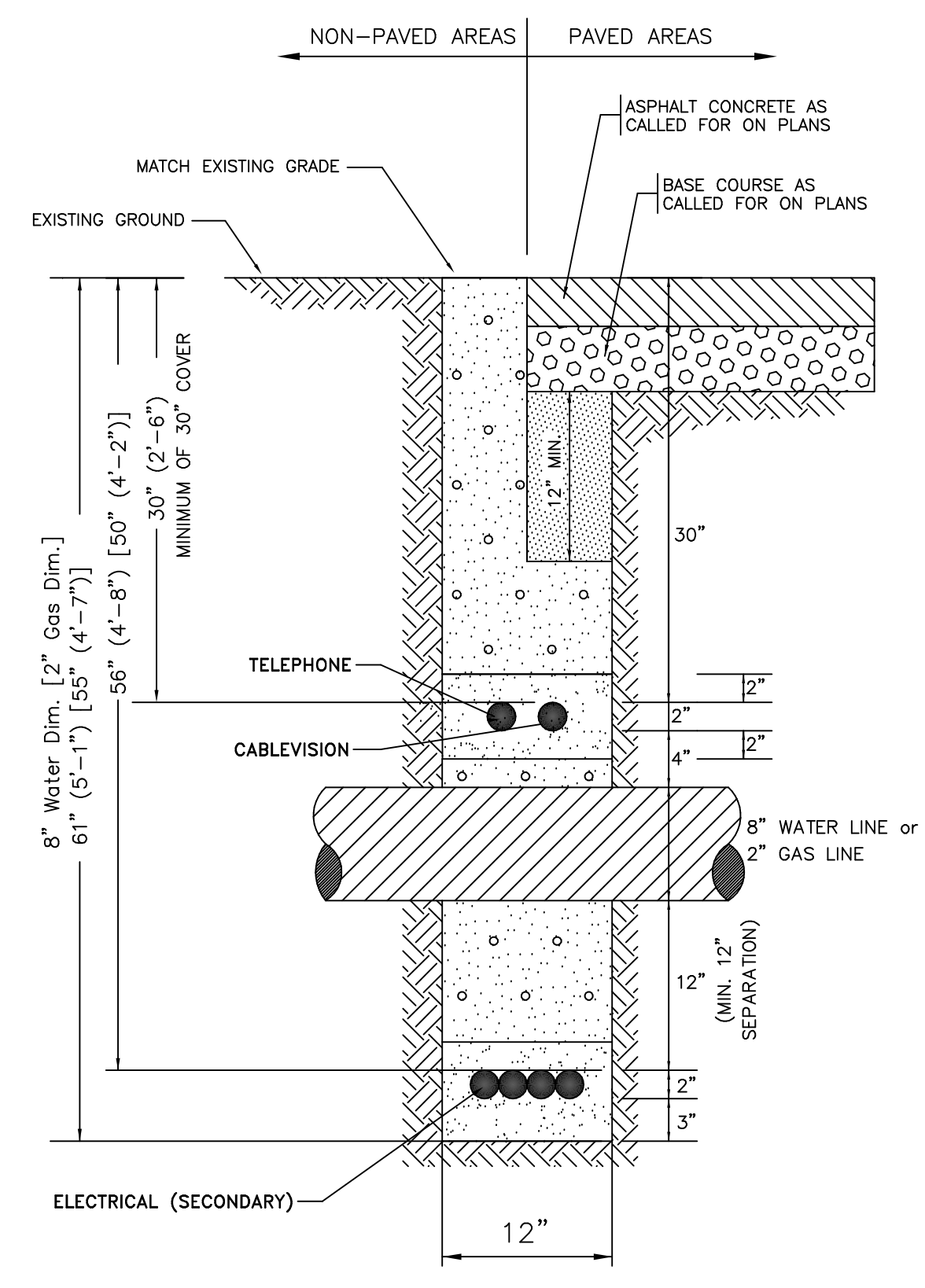




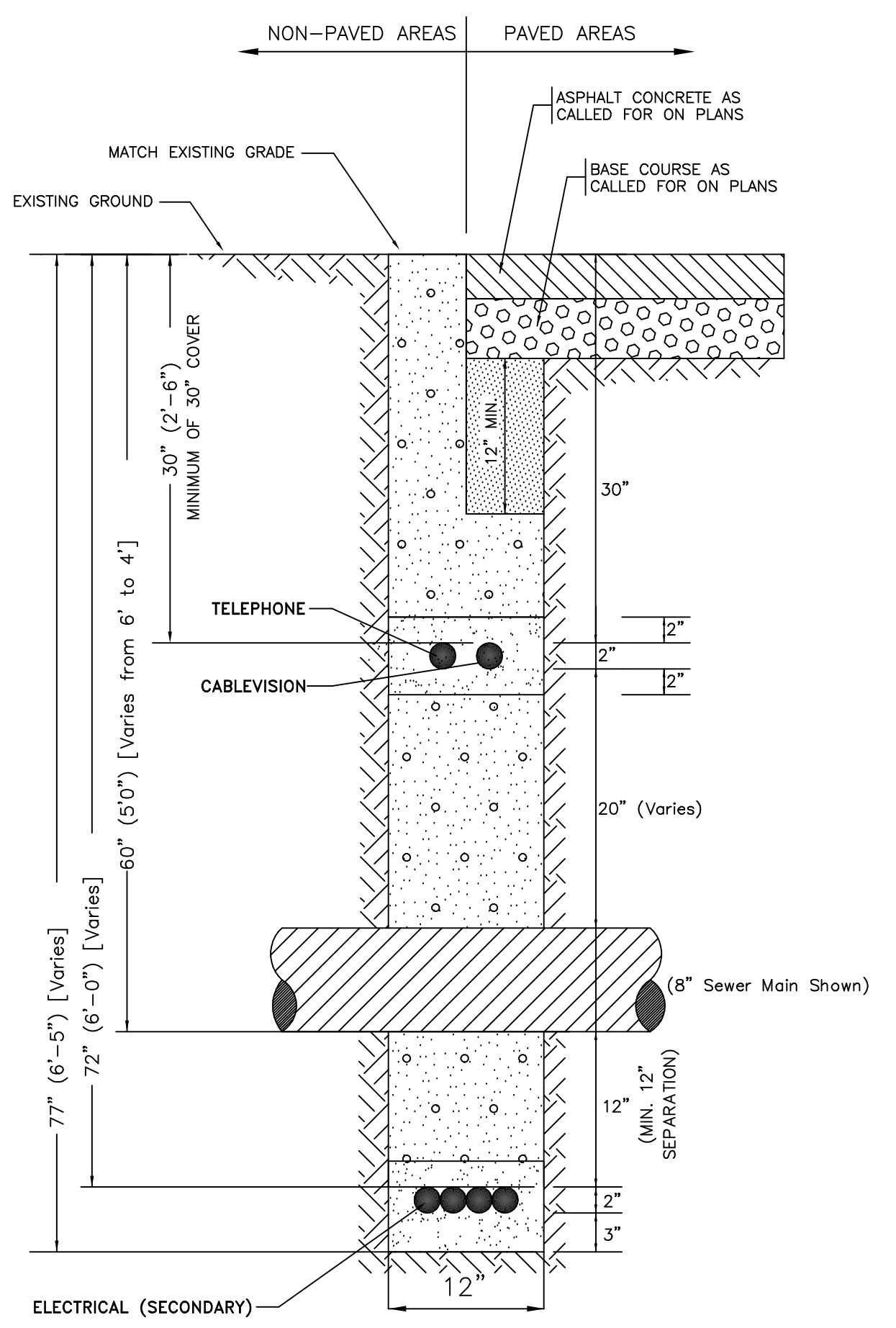
TYPICAL UTILITY DITCH  
ELECTRICAL / TELEPHONE / CABLEVISION  
(ELECTRICAL PRIMARY)  
NTS



TYPICAL UTILITY DITCH  
ELECTRICAL / TELEPHONE / CABLEVISION  
(ELECTRICAL SECONDARY)  
NTS



TYPICAL UTILITY DITCH AT WATER/GAS CROSSING  
ELECTRICAL / TELEPHONE / CABLEVISION  
(ELECTRICAL SECONDARY)  
NTS



TYPICAL UTILITY DITCH AT SEWER CROSSING  
ELECTRICAL / TELEPHONE / CABLEVISION  
(ELECTRICAL SECONDARY)  
NTS

LEGEND  
UTILITY DITCH COMPACTION AND MATERIAL REQUIREMENTS


CONSTRUCTION NOTES: DITCHING (UTILITY) CONTRACTOR

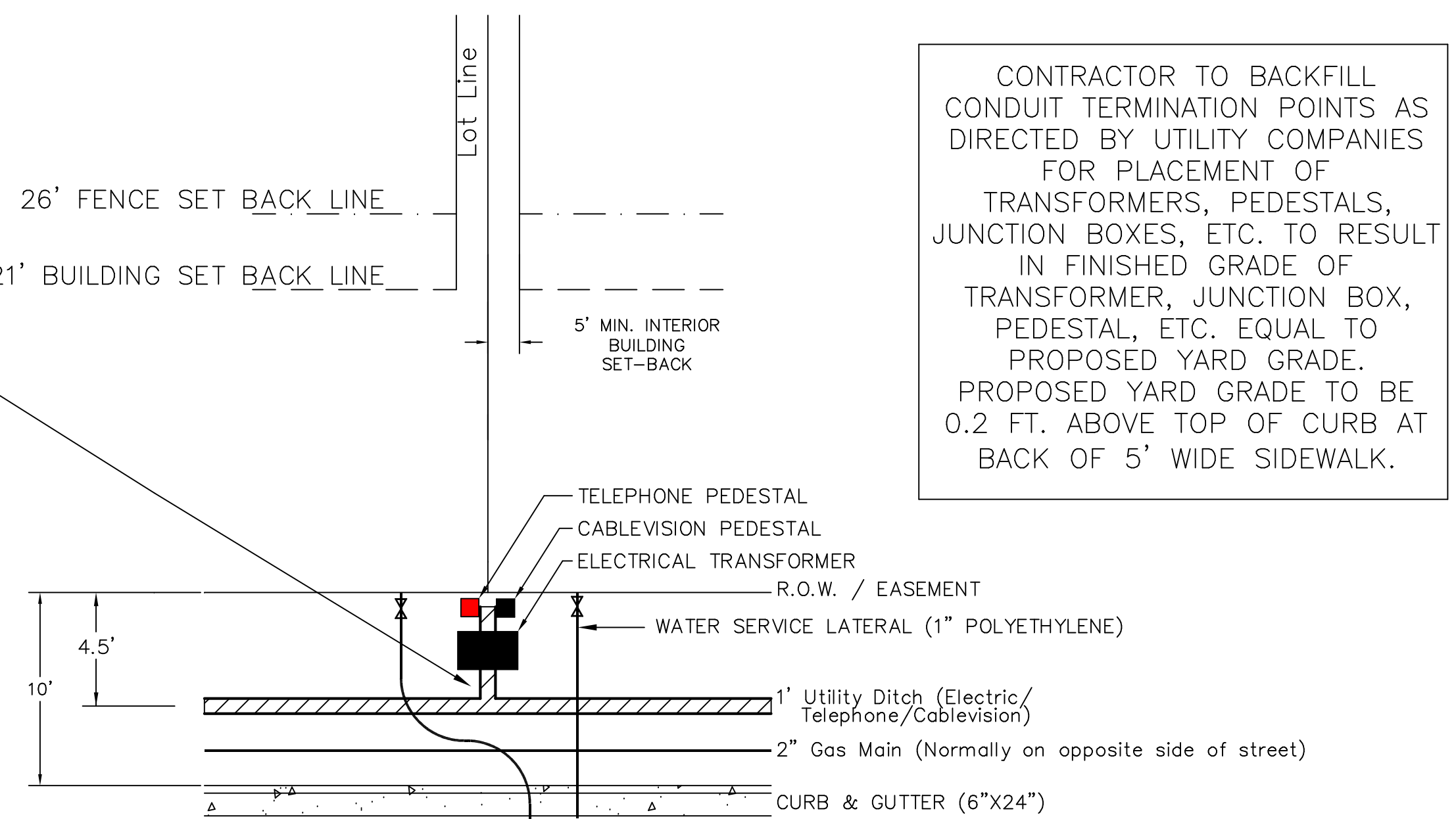
- DITCHES, BACKFILL MATERIALS, BACKFILL & COMPACTION PROVIDED BY DITCHING CONTRACTOR.
- DITCHING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY OWNERS AND FOR THE PROTECTION OF ALL FACILITIES AFTER THEIR INSTALLATION. IF APPLICABLE, GAS COMPANY SHALL DITCH, INSTALL, BACKFILL AND COMPACT THEIR OWN UTILITIES.
- ANY UTILITIES DAMAGED BY THE DITCHING CONTRACTOR DURING TRENCHING, COMPACTION, OR INSTALLING SERVICE LATERALS SHALL BE REPAIRED AND/OR REPLACED AT THE EXPENSE OF THE DITCHING CONTRACTOR.
- EXTRA DEPTH NECESSARY FOR THE ELECTRICAL PRIMARY AND SECONDARY TO CROSS UNDER WATER or SEWER LINES AS SHOWN IN THE TYPICAL DETAILS IS CONSIDERED INCIDENTAL AND NO EXTRA PAYMENT WILL BE MADE.
- ELECTRICAL CONDUIT REQUIRES A MINIMUM RADIUS OF 48 inches FOR ANY BRANCHES / BENDS. CONTRACTOR SHALL PROVIDE ADEQUATE DITCH WIDTH TO ACCOMMODATE THE NECESSARY MINIMUM RADIUS OF 48 inches REQUIRED AT ALL BRANCHES / BENDS FOR ELECTRICAL CONDUIT. THIS WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL PAYMENT WILL BE MADE.

NOTE:

SEWER LATERALS TO BE INSTALLED IN THE CENTER OF THE LOT, WATER SERVICES TO BE INSTALLED WITHIN 5' OF LOT LINES.

OWNER'S REPRESENTATIVE WILL INSTRUCT CONTRACTOR IF CHANGES IN THESE GUIDELINES OCCUR DUE TO HOUSING CONTRACTOR'S NEEDS.

ELECTRICAL CONDUIT REQUIRES A MIN. RADIUS OF 48 INCHES FOR ANY BRANCHES OR BENDS. CONTRACTOR SHALL PROVIDE ADEQUATE DITCH WIDTH TO ACCOMMODATE THE NECESSARY MIN. RADIUS OF 48 INCHES REQUIRED AT ALL BRANCHES OR BENDS FOR THE ELECTRICAL CONDUIT. THIS WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL PAYMENT WILL BE MADE.

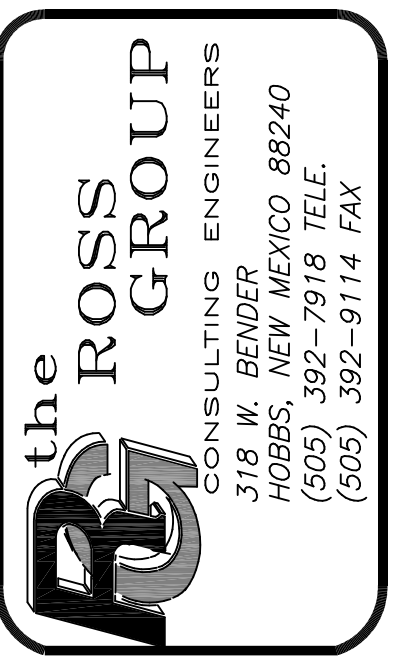


TYPICAL PEDESTAL AND ELECTRICAL  
TRANSFORMER WITH SERVICE STUB OUTS  
NTS

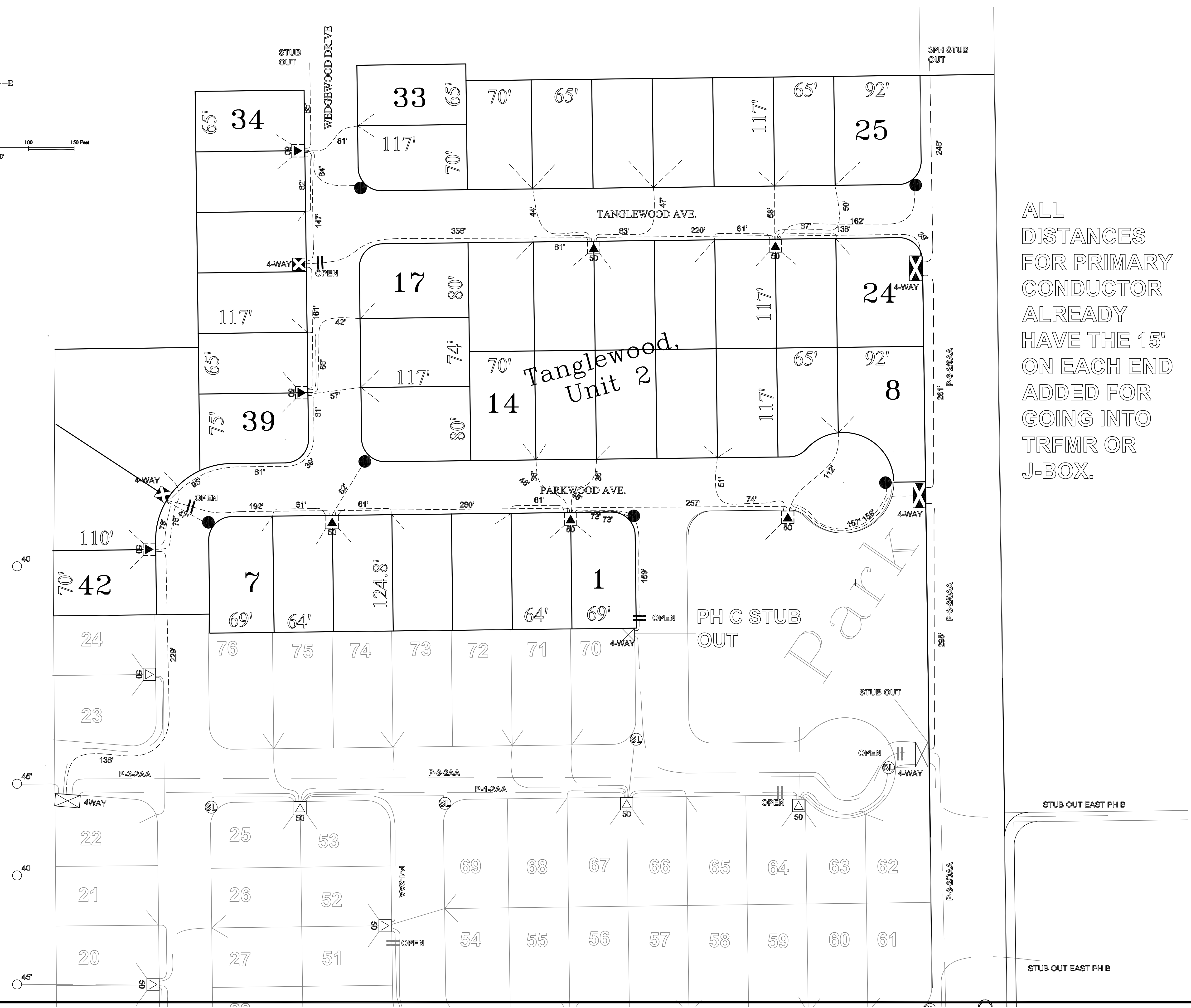
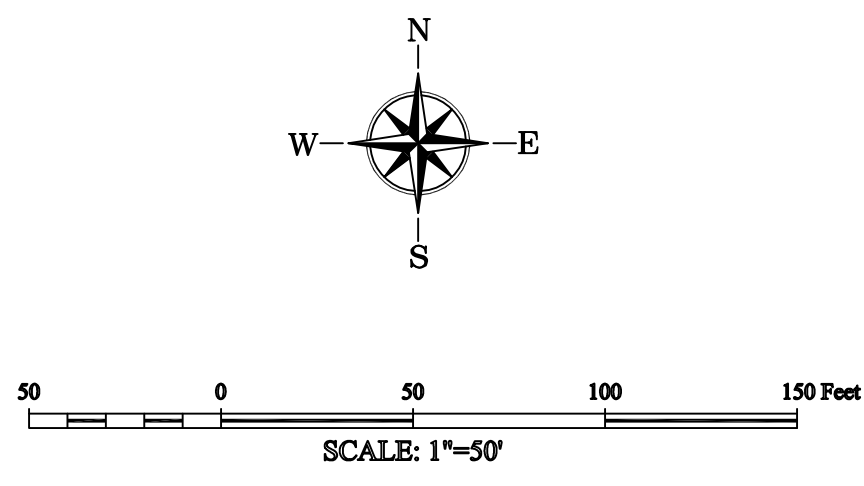
CONTRACTOR TO BACKFILL CONDUIT TERMINATION POINTS AS DIRECTED BY UTILITY COMPANIES FOR PLACEMENT OF TRANSFORMERS, PEDESTALS, JUNCTION BOXES, ETC. TO RESULT IN FINISHED GRADE OF TRANSFORMER, JUNCTION BOX, PEDESTAL, ETC. EQUAL TO PROPOSED YARD GRADE. PROPOSED YARD GRADE TO BE 0.2 FT. ABOVE TOP OF CURB AT BACK OF 5' WIDE SIDEWALK.

NO.	DATE	REVISIONS:	BY	CHK	ENGR	APP.
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WESTERN STATES DEVELOPMENT GROUP LLC  
TANGLEWOOD UNIT II AT RANCH VIEW ESTATES  
MISC. DETAILS AND  
UNDERGROUND UTILITY DETAILS



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ALL DISTANCES FOR PRIMARY CONDUCTOR ALREADY HAVE THE 15' ON EACH END ADDED FOR GOING INTO TRFMR OR J-BOX.

3PH DIP INTO SUBDIVISION

PH A DIP INTO SUBDIVISION

STUB OUT EAST PH B

STUB OUT EAST PH B

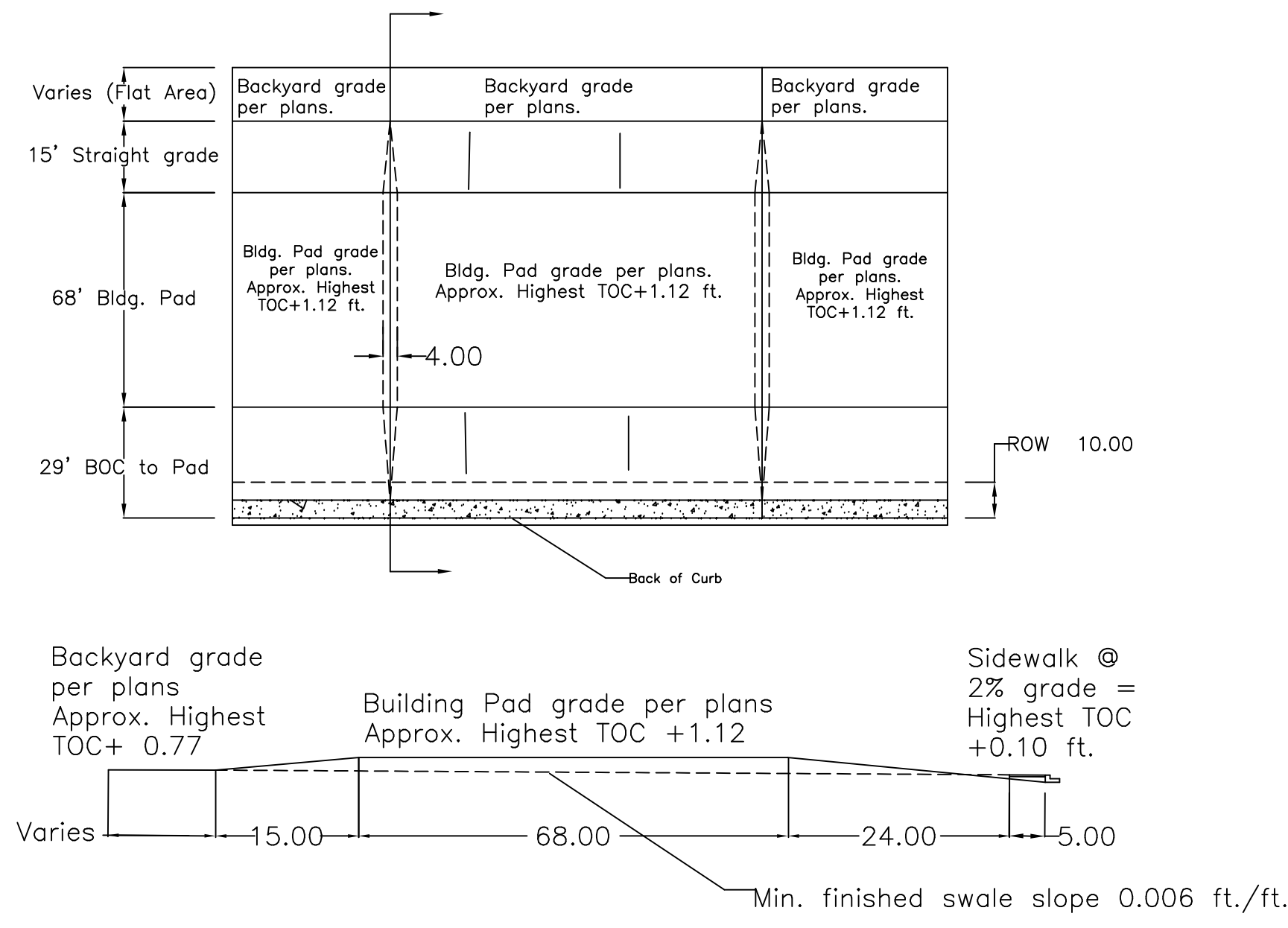
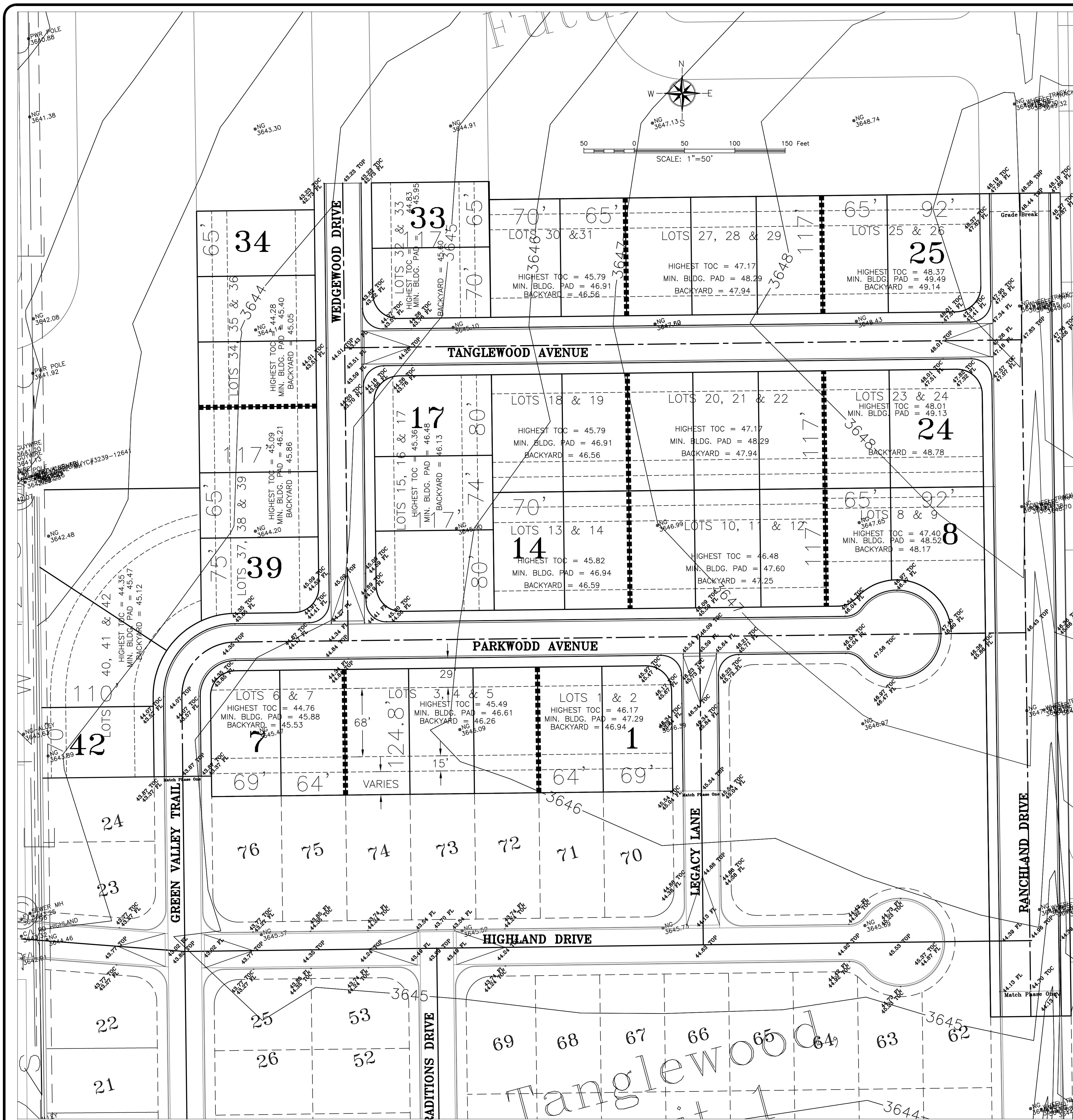
NO.	DATE	REVISIONS:				
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WESTERN STATES DEVELOPMENT GROUP, LLC  
 TANGLEWOOD UNIT II AT RANCH VIEW ESTATES  
 ELECTRICAL TRENCH LAYOUT  
 BY XCEL ENERGY

**the ROSS GROUP**  
 CONSULTING ENGINEERS  
 718 W. BEMIS  
 HOBBY, NEW MEXICO 88240  
 (505) 392-7918 TELE.  
 (505) 392-9114 FAX

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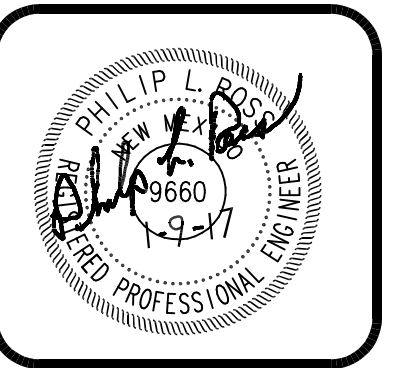


Typical Lot Grading Detail  
Not to Scale

Notes:

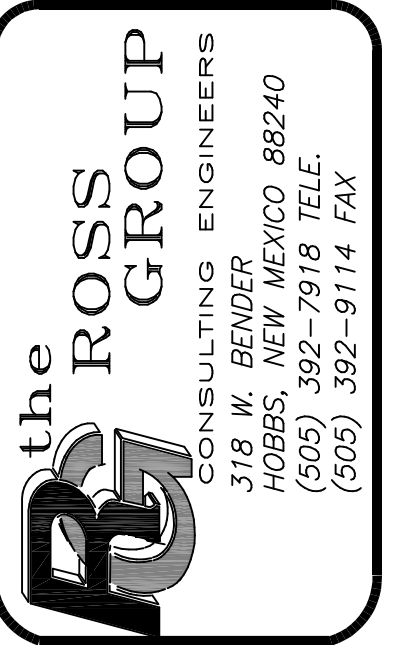
1. Minimum top of building pad determined by minimum set back on building to be 31' from back of curb. Minimum building pad height is 2% from top of curb plus 0.50 ft.
2. Back yard grade shown on plans allows approx. 2% slope from back of building pad to back yard flat area for Lots 1-7, and Lots 10-42 and approx. 3.5% slope for Lots 8 and 9.
3. 68' Building pad depth, and 15' straight graded to flat backyard applies to Lots 1-7, and Lots 10-42.
4. Building pad depth shall be reduced to 53' and backyard depth to flat area shall be reduced to 10' for Lots 8 & 9, due to the cul-de-sac.
5. Slope from back yard along swale to top of future sidewalk to be 0.006 ft./ft. (Lots 1-7, and Lots 10-42) and 0.0077 ft./ft. for Lots 8 & 9.

LOTS	HIGHEST TOP OF CURB	MINIMUM BLDG. PAD	BACKYARD
1 & 2	46.17	47.29	46.94
3, 4 & 5	45.49	46.61	46.26
6 & 7	44.76	45.88	45.53
8 & 9	47.40	48.52	48.17
10, 11 & 12	46.48	47.60	47.25
13 & 14	45.82	46.94	46.59
15, 16, & 17	45.36	46.48	46.13
18 & 19	45.79	46.91	46.56
20, 21 & 22	47.17	48.29	47.94
23 & 24	48.01	49.13	48.78
25 & 26	48.37	49.49	49.14
27, 28, & 29	47.17	48.29	47.94
30 & 31	45.79	46.91	46.56
32 & 33	44.83	45.95	45.60
34, 35, & 36	44.28	45.40	45.05
37, 38 & 39	45.09	46.21	45.86
40, 41 & 42	44.35	45.47	45.12



NO.	DATE	REVISIONS:	BY	CHK	ENGR	APP.
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WESTERN STATES DEVELOPMENT GROUP LLC  
TANGLEWOOD, UNIT 2  
AND TYPICAL DETAIL  
LOT GRADING LAYOUT



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- 7) **Review and Consider various variance requests for proposed development to be located adjacent to the Lovington Highway north of the Holiday Inn Express as submitted by Hawkins Companies, property owner. Variance Request #1 is a setback variance; Lovington Highway is classified as a Major Arterial with a required setback of 40' from the property line; the proposed structures are requested to be located 20' from the property line requiring a 20' variance. Variance #2 is a parking variance; total buildout will produce +/- 188,863 sq. ft. of retail space requiring 944 parking spaces per MC 15.20, the developer is proposing 850 parking spaces requiring a variance of 94 spaces. Variance #3 is a sign variance; MC 15.32.030 C-3 allows one multi-business shopping center sign comprised of 288 sq. ft. sign face total, the developer is proposing two multi-business shopping center sign comprised of 288 sq. ft. sign face total.**

**Staff Note:**

**Staff has discussed the proposed project and the variance requests at length with the Administration. The Administration fully supports the Planning Boards previous decision denying a setback variance request from the same developer within the same area but for the development of a single parcel. However, the Administration does view a variance request for the totality of the proposed project more favorable providing the Municipality receives some assurances as to the overall site development that have been discussed previously with the developer. With the understanding that the total development requires the development of Magnolia and Staff has, over the course of several meetings, negotiated the framework of a fair share Development Agreement with the Developer. The Administration would strongly suggest if the Planning Board sees fit to grant the various variance requests they be granted contingent to and conditional with the execution by Developer and acceptance by the Commission of the DA. Additionally, the DA would need to reflect that fair share funds from the developer be non-refundable if the project is not fully developed.**

January 10, 2017

City of Hobbs Planning Department  
ATTN: Mr. Kevin Robinson  
200 East Broadway  
Hobbs, NM 88240

RE: Variance Requests from Hobbs Development Regulations

Dear Mr. Robinson,

Hawkins Companies would like to respectfully three (3) variance requests from the Hobbs Development Code. These variance requests include: a Minor Setback Variance from the building setback standards established for Major Arterial Roadways, as established by the Major Thoroughfare Plan, adopted in November of 2005; Hawkins Companies would also respectfully request that the off-street parking standard be reduced from five (5) parks per one-thousand (1,000) square feet of retail/commercial space to four (4) parks per one-thousand (1,000) square feet of retail/commercial development; and Hawkins Companies would finally request two (2) free-standing pylon signs with an aggregate square footage of 288 square feet, split between the two signs.

#### **Minor Setback Variance Request**

The Major Thoroughfare Plan plan establishes two (2) standards for setbacks.

**Standard 1:** For lots that have been through a subdivision process:  
A forty (40') setback from the front property line.

**Standard 2:** For lots/property that has not been through a subdivision process:  
A ninety (90') foot front building setback to Center of Street.

Hawkins Companies respectfully asks that a twenty (20') foot setback be applied to our entire property. We feel that our property presents some unique circumstances, and allowing said setback variance does not convey extra privileges to our property, nor will it hinder traffic, nor interfere with future roadway improvements.

In review of the Major Thoroughfare Plan (Adopted November 2005), the "Purpose" of the plan is clearly identified:

- Establish a general plan for the city and its streets;
- Establish a general plan for the extension of the city and its roads;
- Promoting the Health, Safety, Morals and the General Welfare of the general public;
- To lessen the congestion on the streets;
- To provide safety from Fire, Panic, and other dangers;
- To provide adequate light and air;
- To prevent overcrowding of land;
- To avoid undue concentration of populations;
- To facilitate adequate provisions for transportation, water, sewage and other public requirements and thereby promote the general good and welfare of the public.

I also reached out to the New Mexico Department of Transportation to get their input on the size and purpose of setbacks from the DOT's perspective (See Attached Letter). Francisco Sanchez, P.E., NMDOT District #2 Traffic Engineer provided me with the following items of concern for the DOT with regards to setbacks:

- Commercial developments typically happen within municipalities jurisdiction, and most jurisdictions requirements are usually more stringent than the DOT, so the DOT will defer to the municipality;
- In instances where the municipality does not have a setback standard, the NMDOT State Access Management Manual can provide guidance;
  - The section of the manual has minimal guidance for setbacks:
    - Improvements on public or private property adjacent to the right-of-way should be located so that parking, stopping, and maneuvering of vehicles within the highway ROW shall not occur;
    - The minimum setback from the right of way line for all structures and site obstructions should be the clear zone, but in no case less than twelve (12) feet;
    - At all driveways and intersections, an adequate sight triangle shall be provided;
    - The minimum setback point for the sight triangle should be twenty (20) feet from the near-side extended highway edge line or curb line;
    - Mr. Sanchez states that "In my perspective, the site triangle is the most critical requirement;
    - To satisfy the NMDOT, departure (trips leaving the property) sight triangles must meet AASHTO green book distances;
    - In his review of the proposed site plan, Mr. Sanchez states "Reviewing the conceptual drawing, the NMDOT setback requirement seems to be met".

Hawkins Companies feels that allowing our property to develop with the building being placed twenty (20) feet from the front property line will not prevent the "Purposes" identified in the Hobbs Major Thoroughfare Plan from being achieved. As this area transitions to a more "urban" setting, new commercial development will want to be located closer to the front property line (for viewing exposure from vehicular travelers on Joe Harvey/Lovington Highway), and we also feel that bringing the buildings closer to the front of the property is more aesthetically pleasing than the parking field may be.

Our proposed building locations exceeds the minimum setback established for unplatted property (Buildings shall be setback a minimum of ninety (90) from the Centerline of the road that it fronts (our building will be approximately one hundred (100) feet from the centerline of Joe Harvey/Lovington Highway); we exceed the minimum standards established by the New Mexico Department of Transportation State Access Management Manual's setback criteria; and our development will not have adverse impacts upon our neighbors, nor other properties located within the vicinity.

Hawkins Companies respectfully requests to apply a Minor Variance to the Major Thoroughfare Plan, and allow our property to develop with a twenty (20') foot setback from the front property line.

#### **Off-Street Parking Variance Request**

Our most current site plan (SP-37) shows that we are proposing approximately 148,863 square feet of commercial development. Current off-street parking standards would require 744 off-street parks, and our site currently shows 740, four (4) parks less than the city requirement.

For our site to have successful tenants, we look for a mix that will reduce competition and cannibalization of each other. To accomplish this, we look for retailers that will offer differing goods, and we will seek restaurant users who vary in the foods that they will deliver. If successful, we will have some restaurants who specialize in breakfast and lunch, but not emphasize dinner. Other restaurant users may provide lunch and dinner, but not offer breakfast. Some of the restaurants may open before the in-line retailers open their doors, and other restaurants may stay open later than the in-line stores. It is this mixing of uses that helps create a successful shopping center, but it will also help alleviate demands upon the parking field. Not all of the business will have their "busiest time of the day" at the same time, so providing four (4) less parking spaces than the current code requires should be easily accommodated on our property.

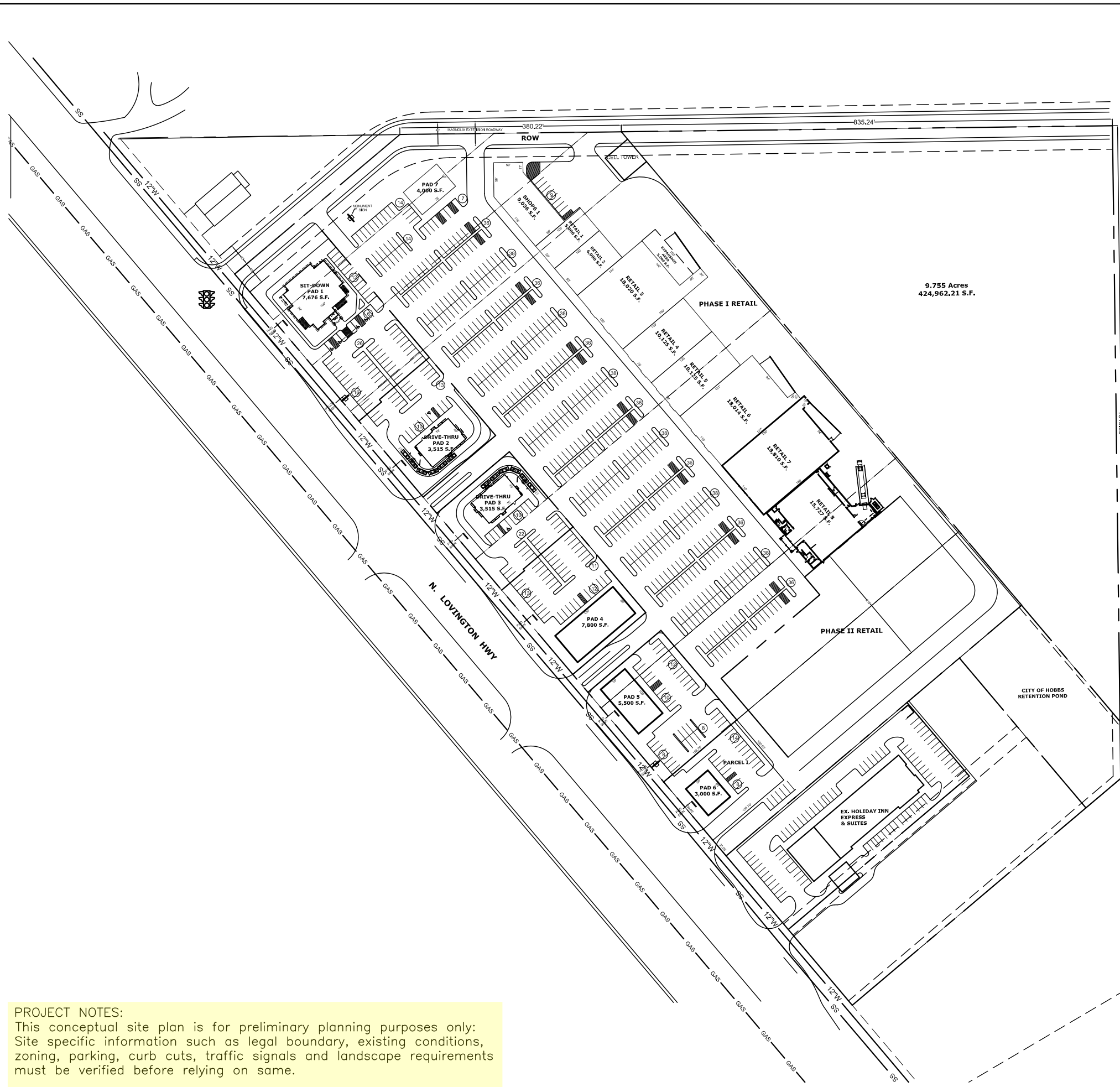
The issue becomes more prominent when Phase II of the project is built. Hawkins Companies is confident that we will be able to land a 40,000 square foot "Big Box" retailer for that location, with the ability to provide an additional 110 parks. At that point, we will have a total of 188,863 square feet of commercial development, with a total of 850 parking spaces provided, which is 94 parking spaces less than what the current off-street parking requirement of 5/1,000.

Hawkins Companies respectfully requests a Variance from the current off-street parking requirements of 5 parks per 1,000 square feet of commercial development to 4 parks per 1,000 square feet of commercial development.

#### **Free-Standing Signage Variance**

Hobbs Townplace Center will be a substantial development that will ultimately provide over 188,000 square feet of retail space. Current site planning shows that as many as seventeen (17) different tenants to be located within the center, and we also have over thirteen hundred feet of frontage along Lovington Highway, with two separate entrances to the shopping center. While we respect the city's desire to limit the number of free-standing signage, we feel that this center will be used by people throughout the entire region, not only the residents of Hobbs. Making people aware of the various shopping opportunities is largely conveyed through free-standing signage. A shopping center of this size, with this many different tenants, with two separate entrances provides a unique set of circumstances with regards to free-standing signage.

Hawkins Companies respectfully requests a Variance from the signage standards contained within the Hobbs Development Regulations, and asks that we be allowed two (2) free-standing signs. Each sign will be 144 square feet in size, thereby not exceeding the amount of square feet of signage that would typically be afforded to a shopping center within the city of Hobbs.



**PROJECT NOTES:**  
 This conceptual site plan is for preliminary planning purposes only:  
 Site specific information such as legal boundary, existing conditions,  
 zoning, parking, curb cuts, traffic signals and landscape requirements  
 must be verified before relying on same.

**SITE DATA**

PHASE I RETAIL AREA:	11.953 Acres 520,698.85 S.F.
PHASE II RETAIL AREA:	1.944 Acres 84,695.84 S.F.
ROW SITE AREA:	0.699 Acres 30,482.24 S.F.
PAD 1 SITE AREA:	1.055 Acres 45,982.03 S.F.
PAD 2 SITE AREA:	0.644 Acres 28,068.96 S.F.
PAD 3 SITE AREA:	0.630 Acres 27,450.18 S.F.
PAD 4 SITE AREA:	0.711 Acres 30,976.82 S.F.
PAD 5 SITE AREA:	0.749 Acres 32,647.96 S.F.
PAD 6 SITE AREA:	0.474 Acres 20,652.60 S.F.
TOTAL SITE AREA:	18.858 Acres 821,655.48 S.F.

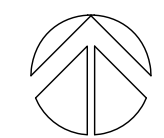
ZONING:

<b>BUILDING:</b>	<b>AREA:</b>
RETAIL 1	5,000 S.F.
RETAIL 2	6,000 S.F.
RETAIL 3	18,020 S.F.
EXPANSION AREA	3,000 S.F.
RETAIL 4	10,125 S.F.
RETAIL 5	10,125 S.F.
RETAIL 6	18,014 S.F.
RETAIL 7	18,810 S.F.
RETAIL 8	15,727 S.F.
SHOPS 1	9,036 S.F.
S.D. PAD 1	7,676 S.F.
D.T. PAD 2	3,515 S.F.
D.T. PAD 3	3,515 S.F.
PAD 4	7,800 S.F.
PAD 5	5,500 S.F.
PAD 6	3,000 S.F.
PAD 7	4,000 S.F.

TOTAL: 148,863 S.F.

**PARKING:**

BUILDING	RATIO	REQUIRED	SHOWN
RETAIL 1	4.0/1000 S.F.	20	
RETAIL 2	4.0/1000 S.F.	24	
RETAIL 3	4.0/1000 S.F.	72	
EXPANSION AREA	4.0/1000 S.F.	12	
RETAIL 4	4.0/1000 S.F.	41	
RETAIL 5	4.0/1000 S.F.	41	
RETAIL 6	4.0/1000 S.F.	72	
RETAIL 7	4.0/1000 S.F.	75	
RETAIL 8	4.0/1000 S.F.	63	
SHOPS 1	4.0/1000 S.F.	36	
S.D. PAD 1	4.0/1000 S.F.	31	
D.T. PAD 2	4.0/1000 S.F.	14	
D.T. PAD 3	4.0/1000 S.F.	14	
PAD 4	4.0/1000 S.F.	31	
PAD 5	4.0/1000 S.F.	22	
PAD 6	4.0/1000 S.F.	12	
PAD 7	4.0/1000 S.F.	16	
TOTAL:		596	740



1 inch = NTS ft.

- 8) Review and Consider proposed subdivision located southwest of the intersection of Jones Road and Bensing within the extra territorial jurisdiction of the Municipality, as submitted by property owners.**

**ESCARCEGA DIVISION #1**  
**CLAIM OF EXEMPTION - LEA COUNTY**  
**SUMMARY REVIEW - CITY OF HOBBS**  
**SECTION 19, TOWNSHIP 18 SOUTH, RANGE 38 EAST,**  
**N.M.P.M., LEA COUNTY, NEW MEXICO**

**LEGAL DESCRIPTION - TRACT "1"**

A TRACT OF LAND LOCATED IN SECTION 19, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., LEA COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH LIES N.00°41'15"W, 988.64 FEET AND S.89°24'08"W, 1059.98 FEET FROM THE SOUTHEAST CORNER OF SAID SECTION 19; THENCE S.89°24'08"W, 130.09 FEET; THENCE N.00°40'34"W, 329.47 FEET; THENCE N.89°17'30"E, 129.93 FEET; THENCE S.00°42'12"E, 329.72 FEET TO THE POINT OF BEGINNING. SAID TRACT OF LAND CONTAINING 0.984 ACRES, MORE OR LESS.

**LEGAL DESCRIPTION - TRACT "2"**

A TRACT OF LAND LOCATED IN SECTION 19, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., LEA COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH LIES N.00°41'15"W, 988.64 FEET AND S.89°24'08"W, 1190.07 FEET FROM THE SOUTHEAST CORNER OF SAID SECTION 19; THENCE S.89°24'08"W, 130.09 FEET; THENCE N.00°39'00"W, 329.22 FEET; THENCE N.89°17'30"E, 129.94 FEET; THENCE S.00°40'34"E, 329.47 FEET TO THE POINT OF BEGINNING. SAID TRACT OF LAND CONTAINING 0.983 ACRES, MORE OR LESS.

SAID TRACT BEING DIVIDED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS THEREOF AND HAVE SET THEIR HAND THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

EDGAR E. ESCARCEGA

STATE OF NEW MEXICO }  
 COUNTY OF LEA } ss

ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_, BEFORE ME PERSONALLY APPEARED EDGAR ESCARCEGA, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THE SAME AS THEIR FREE ACT AND DEED.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR LAST ABOVE WRITTEN.

My Commission Expires \_\_\_\_\_ Notary Public

JUAN GARCIA  
 BK. 1696, PG. 397

**CERTIFICATE OF APPROVAL - CITY OF HOBBS**

I, Kevin Robinson, the duly appointed City Planner for the City of Hobbs, Lea County, New Mexico, do hereby certify that the foregoing plat in the Extra Territorial Jurisdiction to the City of Hobbs, Lea County, New Mexico, was reviewed and deemed compliant on this \_\_\_\_ day of \_\_\_\_\_, 2016.

Kevin Robinson - Development Director

Attest - Jan Fletcher, City Clerk

STATE OF NEW MEXICO }  
 COUNTY OF LEA } ss

The Foregoing Instrument was Acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2016 by Kevin Robinson and Jan Fletcher.

My commission expires \_\_\_\_\_ Notary Public

**CERTIFICATE OF APPROVAL OF EXEMPTION TO SUBDIVISION REGULATIONS BY LEA COUNTY**

PURSUANT TO LEA COUNTY REGULATIONS, SECTION 7.5 (1997) THE PLAT AND CLAIM OF EXEMPTION MEET THE CRITERIA FOR THE SALE, LEASE OR OTHER CONVEYANCE OF A SINGLE PARCEL FROM A TRACT OF LAND, EXCEPT FROM A TRACT WITHIN A PREVIOUSLY APPROVED SUBDIVISION, WITHIN ANY FIVE (5) YEAR PERIOD; PROVIDED THAT A SECOND OR SUBSEQUENT SALE, LEASE OR OTHER CONVEYANCE FROM THE SAME TRACT OF LAND WITHIN (5) YEARS OF THE FIRST SALE, LEASE OR OTHER CONVEYANCE SHALL BE SUBJECT TO THE PROVISIONS OF THE NEW MEXICO SUBDIVISION ACT AND THESE REGULATIONS; PROVIDED FURTHER THAT A SURVEY SHALL BE FILED WITH THE COUNTY CLERK INDICATING THE FIVE (5) YEAR HOLDING PERIOD FOR BOTH THE ORIGINAL TRACT AND THE NEWLY CREATED TRACT. AND IS APPROVED FOR A CLAIM OF EXEMPTION ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ AD.

LEA COUNTY, NEW MEXICO

BY: \_\_\_\_\_  
 COREY NEEDHAM, COUNTY MANAGER DESIGNEE

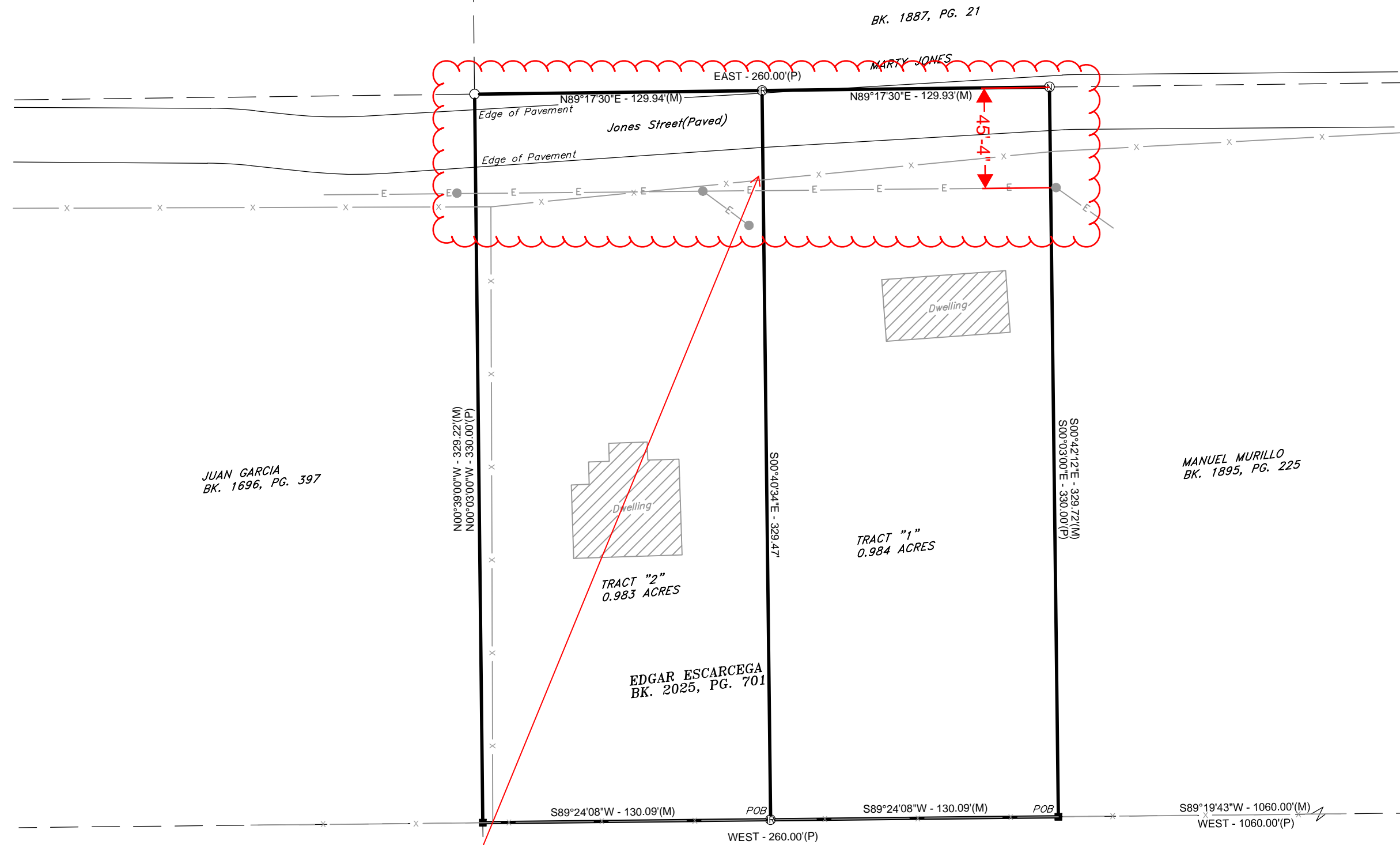
STATE OF NEW MEXICO }  
 COUNTY OF LEA } ss

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2016 BY COREY NEEDHAM.

MY COMMISSION EXPIRES \_\_\_\_\_

I HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY AND MEETS OR EXCEEDS ALL REQUIREMENTS FOR LAND SURVEYS AS SPECIFIED BY THIS STATE. THIS SURVEY IS A SUBDIVISION OF LAND AND IS BEING PROCESSED USING COUNTY OF LEA'S "CLAIM OF EXEMPTION" PROCESS.

GARY L. JONES DATE  
 NM PS No. 7977



**Dedicate and Improve (currently County Maintained) as per MC Chapter 16.12.010-B and MC Chapter 16.12.040-A**

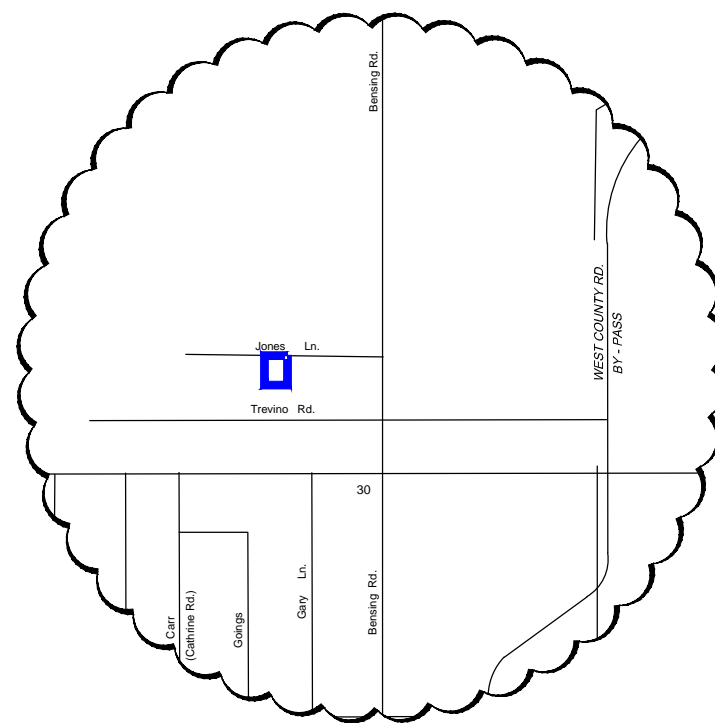
**Also as per LC Code 6.1.6, 6.2.6, 8.1.1 and 6.2.1-C.**

NOTE:  
 COORDINATES AND BEARINGS ARE BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, NAD 83 AND DISTANCES ARE OF SURFACE VALUE.

ACREAGE SHOWN FROM MEASURED DISTANCES AND BEARINGS.

**LEGEND**

- - SET CORNER
- ⊗ - SET 1/2" REBAR
- ⊙ - SET NAIL
- - PIPE FENCE POST



50 0 50 100 FEET  
 SCALE 1" = 100'

19 20  
 30 29

Prepared by:  
**BASIN SURVEYS**

1120 N. West County Rd.  
 Hobbs, New Mexico 88240  
 Ph: (575)393-7316 Fax: (575)392-2206

File: KJC - ESCARCEGA 32545 Date: 12-08-2016

STATE OF NEW MEXICO  
 COUNTY OF LEA  
 FILED

\_\_\_\_\_, 20\_\_

AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M

AND RECORDED IN BOOK \_\_\_\_\_

PAGE \_\_\_\_\_

PAT CHAPPELLE, LEA COUNTY CLERK

BY \_\_\_\_\_ DEPUTY

- 9) **Review and Consider proposed subdivision located northeast of the terminus of West Bender, as submitted by property owners.**



**RAMIREZ SUBDIVISION #1**

A TYPE 3A SUBDIVISION - LEA COUNTY  
SUMMARY REVIEW - CITY OF HOBBS  
SECTION 19, TOWNSHIP 18 SOUTH, RANGE 38 EAST,  
N.M.P.M., LEA COUNTY, NEW MEXICO

**LEGAL DESCRIPTION - TRACT "1"**

A TRACT OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., LEA COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT BEING THE SOUTHWEST CORNER OF SAID SECTION 19; THENCE N.00°39'09"W, 50.00 FEET ALONG THE WEST LINE OF SAID SECTION 19; THENCE N.89°22'33"E, 350.00 FEET; THENCE N.00°39'09"W, 99.00 FEET; THENCE S.89°22'33"W, 350.00 FEET TO A POINT ON THE WEST LINE OF SAID SECTION 19; THENCE N.00°39'09"W, 493.13 FEET ALONG THE WEST LINE OF SAID SECTION 19; THENCE N.89°23'16"E, 398.98 FEET; THENCE S.00°37'12"E, 244.14 FEET; THENCE S.04°37'52"E, 398.88 FEET TO A POINT ON THE SOUTH LINE OF SAID SECTION 19; THENCE S.89°22'33"W, 426.52 FEET ALONG THE SOUTH LINE OF SAID SECTION 19 TO THE POINT OF BEGINNING. SAID TRACT OF LAND CONTAINING 5.211 ACRES, MORE OR LESS.

**LEGAL DESCRIPTION - TRACT "2"**

A TRACT OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., LEA COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTH SECTION LINE WHICH LIES N.89°22'33"E, 426.52 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 19; THENCE N.04°37'52"W, 398.88 FEET; THENCE N.00°37'12"W, 244.14 FEET; THENCE N.89°23'16"E, 328.18 FEET; THENCE S.00°37'10"E, 253.67 FEET; THENCE S.89°15'41"W, 100.00 FEET; THENCE S.00°37'11"E, 388.15 FEET TO A POINT ON THE SOUTH LINE OF SAID SECTION 19; THENCE S.89°22'33"W, 200.31 FEET ALONG THE SOUTH LINE OF SAID SECTION 19 TO THE POINT OF BEGINNING. SAID TRACT OF LAND CONTAINING 3.818 ACRES, MORE OR LESS.

**LEGAL DESCRIPTION - TRACT "3"**

A TRACT OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., LEA COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH LIES N.89°22'33"E, 966.96 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 19; THENCE N.00°38'47"W, 388.83 FEET; THENCE S.89°15'41"W, 240.00 FEET; THENCE N.00°37'10"W, 253.67 FEET; THENCE N.89°23'16"E, 306.14 FEET; THENCE S.00°05'47"E, 642.00 FEET TO A POINT ON THE SOUTH LINE OF SAID SECTION 19; THENCE S.89°22'33"W, 60.10 FEET ALONG THE SOUTH LINE OF SAID SECTION 19 TO THE POINT OF BEGINNING. SAID TRACT OF LAND CONTAINING 3.327 ACRES, MORE OR LESS.

SAID TRACT BEING DIVIDED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS THEREOF AND HAVE SET THEIR HAND THIS \_\_\_\_ DAY OF JANUARY, 2017.

ALONZO RAMIREZ, JR. ALONZO RAMIREZ, III

STATE OF NEW MEXICO }  
COUNTY OF LEA } ss

ON THIS \_\_\_\_ DAY OF JANUARY, 2017, BEFORE ME PERSONALLY APPEARED ALONZO RAMIREZ, JR AND ALONZO RAMIREZ, III, KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THE SAME AS THEIR FREE ACT AND DEED.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR LAST ABOVE WRITTEN.

My Commission Expires \_\_\_\_\_ Notary Public

**CERTIFICATE OF APPROVAL  
CITY PLANNING BOARD**

The Plat, Restrictions, and Dedication approved and accepted the \_\_\_\_ day of \_\_\_\_\_, 2017 A.D. by the City of Hobbs Planning Board.

Chairman

STATE OF NEW MEXICO }  
COUNTY OF LEA } ss

The Foregoing Instrument was Acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2017 by \_\_\_\_\_.

My commission expires \_\_\_\_\_ Notary Public

**CERTIFICATE OF APPROVAL  
LEA COUNTY PLANNING AND ZONING BOARD**

Be it known that the plat of Cimarron Estates, a Subdivision consisting of land situated as a proposed subdivision, Lea County, New Mexico was submitted to the Lea County Planning and Zoning Board, New Mexico assembled at a meeting on the \_\_\_\_ day of \_\_\_\_\_, 2017 A.D., and the subdivision as shown on this plat was thereupon approved and accepted by a majority of the members of the said board.

In witness whereof the Planning and Zoning Board of Lea County, New Mexico has caused this instrument to be signed on its behalf by its Chairman and attested by the County Clerk of Lea County, New Mexico on this \_\_\_\_ day of \_\_\_\_\_, 2017 A.D.

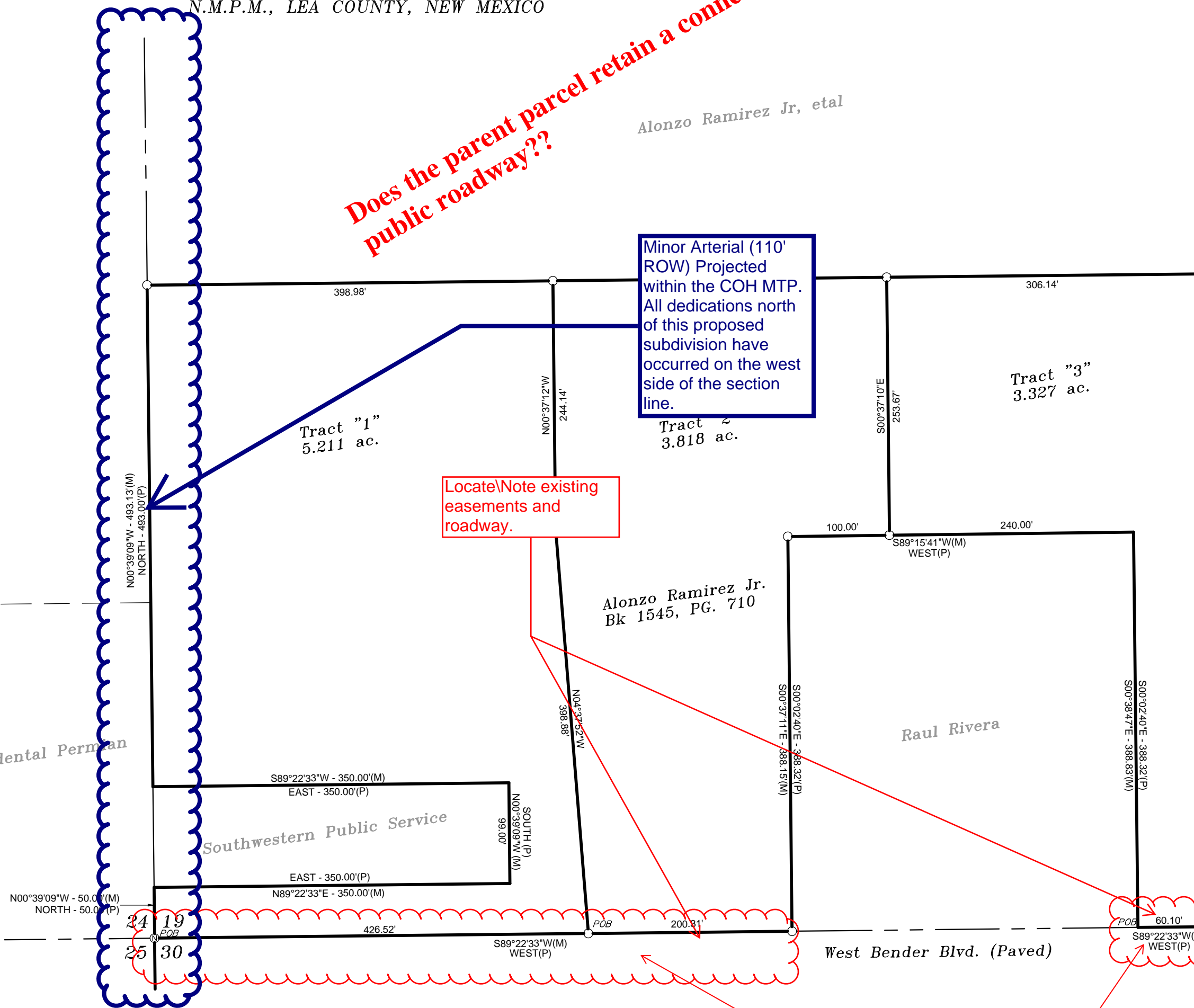
Attest: Planning and Zoning Board  
Lea County, New Mexico

County Clerk Chairman

STATE OF NEW MEXICO }  
COUNTY OF LEA } ss

The Foregoing Instrument was Acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2017 by the above County Clerk and Chairman of the Lea County Planning and Zoning Board.

My commission expires \_\_\_\_\_ Notary Public

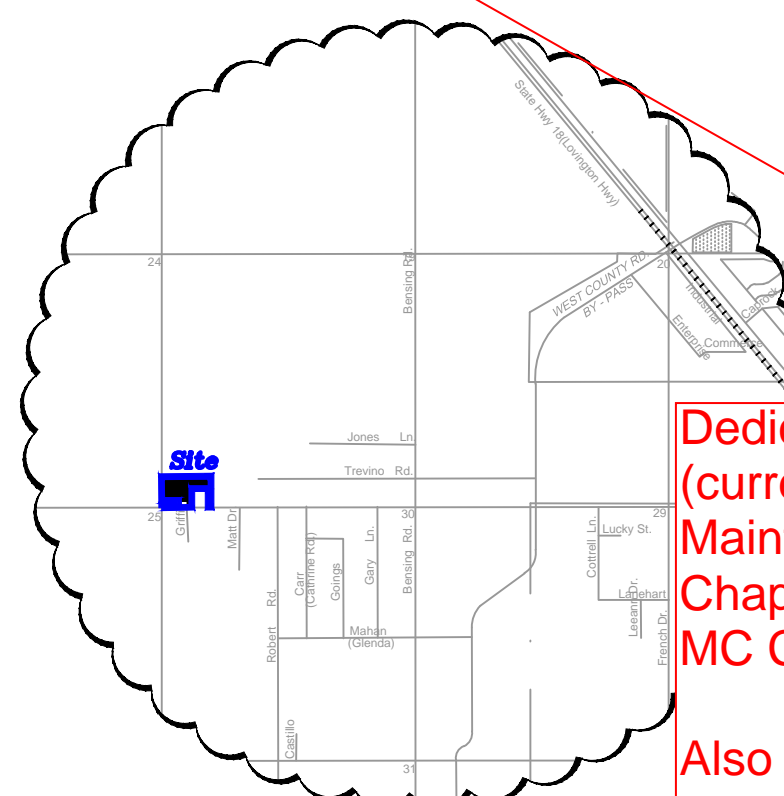


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ACREAGE SHOWN FROM MEASURED DISTANCES AND BEARINGS.

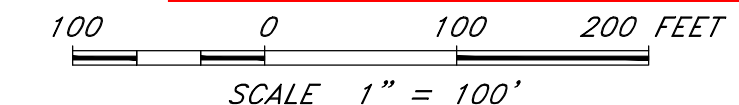
UTILITIES, BURIED AND ABOVE GROUND, EXIST ON THESE TRACTS AND ARE NOT SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE OWNER TO ASCERTAIN THEIR LOCATION. PRIOR TO ANY CONSTRUCTION, "ONE-CALL" MUST BE NOTIFIED. DRAIN PATHS ARE NOT SHOWN ON THIS DRAWING.

I HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY AND MEETS OR EXCEEDS ALL REQUIREMENTS FOR LAND SURVEYS AS SPECIFIED BY THIS STATE. THIS SURVEY IS A SUBDIVISION OF LAND AND IS BEING PROCESSED USING COUNTY OF LEA'S "SUMMARY REVIEW" PROCESS.

GARY L. JONES DATE  
NM PS No. 7977



**Dedicate and Improve (currently County Maintained) as per MC Chapter 16.12.010-B and MC Chapter 16.12.040-A**  
**Also as per LC Code 6.1.6, 6.2.6, 8.1.1 and 6.2.1-C.**



- LEGEND**
- - SET CORNER
  - ⊗ - FND 1/2" REBAR
  - ⊙ - FND NAIL

Prepared by:  
**BASIN SURVEYS**  
1120 N. West County Rd.  
Hobbs, New Mexico 88240  
Ph: (575)393-7316 Fax: (575)392-2206  
File: KJC - LOPEZ 2016 Date: 12-08-2016

STATE OF NEW MEXICO  
COUNTY OF LEA  
FILED

\_\_\_\_\_, 2017

AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M

AND RECORDED IN BOOK \_\_\_\_\_

PAGE \_\_\_\_\_

KEITH MANES, LEA COUNTY CLERK

BY \_\_\_\_\_ DEPUTY