

AGENDA
City of Hobbs Planning Board – Regular Meeting
December 18, 2018 at 10:00 AM

W. M. “Tres” Hicks, Chairman
Bill Ramirez
Brett Drennan
Larry Sanderson

Guy Kesner, Vice Chairman
Philip Ingram
Ben Donahue

Tentative Agenda for the Planning Board Regular Session Meeting to be held on Tuesday, December 18, 2018 at 10:00 AM at the City of Hobbs Annex Building, First Floor Commission Chambers located at 200 E. Broadway, Hobbs, NM 88240.

AGENDA

- 1) Call To Order.**
- 2) Review and Consider Approval of Agenda.**
- 3) Review and Consider Approval of Minutes.**

October 16, 2018 – Regular Meeting

- 4) Communications from Citizens.**
- 5) Review and Consider a variance request from MC 15.32.030(D)(1) requiring an 800’ linear separation between all proposed and existing billboards for a billboard proposed to be located northeast of the intersection of Millen Drive and Lovington Highway.**
- 6) Public Hearing to Review and Consider a Special Use Map Amendment to create a Rural and Open Space Planning District per MC 18.08, located south of the intersection of Carlsbad Highway and Carlton.**
- 7) Public Hearing to Review and Consider a Special Use Map Amendment to create a Recreational Vehicle Park (RVP) Planning District per MC 18.04, located northeast of the intersection of Glorietta and N. Dal Paso.**
- 8) Review and Consider Preliminary Plat Approval for Zia Crossing Unit 6, as submitted by property owner, Black Gold Estates, LLC., and as previously approved by the Planning Board on February, 20 2018.**
- 9) Review and Consider a Summary Subdivision, as submitted by property owner Kress Jones, located northeast of the intersection of Carlsbad Highway and the terminus of Goings Road.**
- 10) Review and Consider a front yard setback variance for 900 E. Bell. Bell at this location is classified as a minor residential and does not have a setback violation within the block length. The COHMTP requires a 21’ setback (31’ BOC) for structures accessed from a minor residential, the proposed structure will be located 5’ from the property line (15’ BOC).**
- 11) Review and Consider a front yard fence height variance for 2101 N. Fowler. Fowler at this location is classified as a minor collector and does not have a fence height violation within the block length. The COHMTP requires a 25’ setback (35’ BOC) for**

December 18, 2018
Planning Board Regular Meeting

fences\structures accessed from a minor collector, the proposed structure will be located 18'9" from the property line (28'9" BOC) and have a height of 6' requiring a 1' variance at the proposed location.

12) Discussion Items:

A) 2018 Aerial Photo and LIDAR Project Update.

B) MC 2.01 and the City of Hobbs Governmental Conduct Act/Financial Disclosure Act Forms.

13) Adjournment.

The City will make every effort to provide reasonable accommodations for people with disabilities who wish to attend a public meeting. Please notify the City at least 24 hours before the meeting. Telephone 397-9351.

"Notice is hereby given that a quorum of the Hobbs City Commission may be in attendance at this meeting."

**PLANNING BOARD MEETING
MINUTES
October 16, 2018**

The Hobbs Planning Board met on October 16, 2018 at 10:00 a.m. at City of Hobbs Annex Building, First Floor Commission Chambers, located at 200 E. Broadway, Hobbs, NM 88240 with Mr. W.M. “Tres” Hicks Chairman presiding.

Members Present:

Tres Hicks, Chairman
Guy Kesner, Vice Chairman
Bill Ramirez
Ben Donahue

Members Absent:

Phillip Ingram
Larry Sanderson
Brett Drennan

Also present were members of the public and City staff as follows:

Kevin Robinson, Development Director
Julie Nymeyer, Staff Secretary
Bruce Reid, County Planner
Alberto Caballero

Todd Randall, City Engineer
Eric Scramlin, Deputy City Attorney
Richard Carrillo

1) Call To Order.

Chairman, Tres Hicks called the meeting to order at 10:02 am.

2) Review and Consider Approval of Agenda.

The first item of business was to review and approve the Agenda for the October 16, 2018 meeting. Mr. Hicks asked if there were any changes or additions to the Agenda? Mr. Robinson said there were no changes. Mr. Hicks said that Mr. Carrillo was here for item #7 so they should move that item up to #5. Mr. Ramirez made a motion, seconded by Mr. Kesner to approve the agenda as amended. The vote on the motion was 4-0 and the motion carried.

3) Review and Consider Approval of Minutes.

September 18, 2018 – Regular Meeting

Mr. Hicks asked if everyone has had a chance to read the Regular Meeting Minutes from September 18, 2018. Mr. Kesner made a motion, seconded by Mr. Ramirez approve the Regular Meeting Minutes as presented. The vote on the motion was 4-0 and the motion carried as presented.

4) Communications from Citizens.

Mr. Alberto Caballero discussed his development at Ranchland. His development is Ranchview 1 and he will be bringing this to the Planning Board soon. He said it is the same plan that has always existed. He said he has eight 1 acre lots and there are approximately 90 units in other areas. Mr. Robinson said by the next meeting there should be a preliminary sketch plan.

5) Review and Final Plat Approval for Libba Land Subdivision, as submitted by property owner, Daniel Johncox.

Mr. Robinson said this is the preliminary and final plat for the entirety of Libba Land Subdivision. He said the public drainage area in the southeast corner is part of lot 19 and it is a restricted easement. He said the encumbrance will be a part lot 19. He said the north-south Fowler roadway is a public surface and subsurface easement with is an encumbrance to lot 11 and 1 of block 1. He said the wing on the southeast corner of block 2 is so that Fowler can enter into the corridor on the west side of the property line. He said neither of the north-south projections is being developed. Mr. Hicks how far out of city limits is Fowler? Mr. Randall said 1.1 miles.

Mr. Reid said the county only has to approve minor changes for this final plat. Mr. Hicks asked Mr. Reid what the county thinks about the developer providing an easement to the two north-south streets. Mr. Reid said they think the streets will never go anywhere or be connected except maybe on the south side at Fowler. He said they may want some kind of agreement with Mr. Johncox on south Fowler with the angle because there is a possibility that the Carrillo land will have to be subdivided and they will put a road in for the southern portion of Fowler. Mr. Hicks asked if in all other aspects except the development of the streets this is in compliance correct? Mr. Robinson said yes.

Mr. Ramirez made a motion, seconded by Mr. Kesner to approve the Final Plat for Libba Land Subdivision. The vote on the motion was 4-0 and the motion carried.

After a brief discussion it was noted the County Commissions next meeting was at a later date than the City's so this item could not go to City Commission until after the County Commission so an amendment would be needed to the motion.

Mr. Ramirez made an amended motion, seconded by Mr. Kesner to approve the Final Plat contingent on Final approval by the County Commission. The vote on the amended motion was 4-0 and the motion carried.

6) Public Hearing to Review and Consider a Request to Grant a Special Use Permit and Amend the Planning District Map to Allow a Recreational Vehicle Park (RVP), on a +/-4.32 acre parent parcel located northwest of the intersection of Lovington Highway and World Drive.

Mr. Robinson said this is a Special Use Map amendment and property owners adjacent to the subject property were notified. He said this public meeting is just to decide if this is a good place for a RV Park. He said he has received only one phone call from an adjacent property owner and he was neither for nor against.

Mr. Hicks opened the public hearing at 10:50 am and asked if there were any public comments about the RV Park. Mr. Carl Baxley said he lives out on San Juan and he takes the road North on World Drive every day. He said there is heavy traffic and it will increase with this park. He said there is no turning lane to get off of Lovington Highway and get onto World Drive. He said he does not mind an RV Park being there but the traffic is bad. Mr. Robinson said the municipality said if this was a subdivision the city would require the projection of Jack Gomez Roadway. He said it would tie back into World Drive. He said the problem is those rules and regulations do not kick in until it is subdivided. Mr. Kesner asked if it was inside the city limits. Mr. Robinson said yes.

Mr. Randall said the MTP shows the projection of Jack Gomez. Mr. Hicks said the addition of an RV Park anywhere in that area is going to add to the traffic issue Mr. Baxley brought up. Mr. Robinson said the Board could approve a Special Use Map amendment contingent upon the extension of Jack Gomez.

There was a lengthy discussion about how to line up the streets and the traffic. Mr. Baxley said he did not want to hold up their development. Mr. Robinson said he would limit their access from Lovington Highway. Mr. Ramirez said they need to talk to the developer about this issue. Mr. Donahue said he did not think they could approve this and kill the option of extending Jack Gomez and squaring up World Drive without doing something restrictive about it. Mr. Kesner agreed. Mr. Hicks said as the Planning Board they should ask the city to make an allocation to fix World Drive and make this application contingent upon that outcome.

Mr. Hicks closed the public hearing at 11:18 am.

Mr. Kesner made a motion, seconded by Mr. Ramirez to table this item until staff and the developer work out a resolution for World Drive. The vote on the motion was 1-3 with Mr. Donahue, Mr. Hicks and Mr. Kesner opposing and the motion failed to pass.

Mr. Kesner made a motion, seconded by Mr. Ramirez to approve the Special Use Permit with the stipulation that the developer will meet with staff and come up with a reasonable plan to redevelop the intersection of World Drive and Lovington Highway and that the site plan comes through the Planning Board prior to site plan approval. The vote on the motion was 4-0 and the motion passed.

7) Review and Consider variance from MC 18.04 (Manufactured Homes) as submitted by property owner Ricardo Carrillo.

Mr. Robinson said on October 17, 2017 Mr. Carrillo came before the Board requesting a variance. He said the Board allowed him a variance to move in one manufactured unit providing he was proceeding with the necessary steps to become a compliant mobile home park. He said since then Mr. Carrillo has submitted a site plan and is working on becoming compliant with City Ordinances. He said Mr. Carrillo would now like to put in additional units. He said Mr. Carrillo is in the process of putting in the roadway but is being held up because of the weather.

Mr. Hicks said he has made some progress on the road and some of the units have been moved out. Mr. Robinson said correct. He said he is requesting 4 more units be allowed. Mr. Kesner asked about the gate that was going to be installed and if it has that been done? Mr. Carrillo said they have put in a 6ft foot gate on the north side but they are waiting to finish the driveway then finish the gates. Mr. Hicks said they are waiting on the paving of the road and installation of the gate on the southeast corner. Mr. Kesner asked what was the timeline of the road being paved? Mr. Hicks said it would be at least March or April. Mr. Kesner said he would not be in favor of allowing him to put all four mobile homes in at this time until the road was developed. He said that was the contingency of the variance given in 2017.

Mr. Kesner made a motion, seconded by Mr. Ramirez to allow two additional units and when the mobile home park comes in to compliance staff can allow the other mobile homes to be moved in. The vote on the motion was 4-0 and the motion carried.

8) Discussion Item.

(A) On-street Parking of Commercial Vehicles Sub-committee Report.

Mr. Robinson discussed commercial vehicles in residential areas. He said the majority of municipalities restrict these issues through there zoning. Mr. Scramlin said the issue is it is a lot more difficult to regulate private property. He said if they focus on public property it becomes a lot easier to uphold the ordinance if it is challenged and it is likely to be challenged. Mr. Robinson said they do not want the police officers ticketing or towing any of these vehicles on private property. He said the issue will be is that Code Enforcement may or may not know where the public property ends and where the setbacks are. Mr. Kesner said if it is on the roadway or the sidewalk then it becomes an access issue. He said beyond the sidewalk it becomes a setback issue and that will be a challenge.

Mr. Robinson he thinks the Board needs to have this conversation concurrently and all together. Mr. Scramlin said he thinks after another subcommittee meeting this ordinance should be ready to vote on at the November meeting.

9) Adjournment.

With nothing further to discuss the meeting adjourned at 11:47 am.

Tres Hicks, Chairman

December 18, 2018
Planning Board Regular Meeting

- 5) **Review and Consider a variance request from MC 15.32.030(D)(1) requiring an 800' linear separation between all proposed and existing billboards for a billboard proposed to be located northeast of the intersection of Millen Drive and Lovington Highway.**

Kevin,

Please place (2) separate variance requests on the planning & zoning board meeting for Nov 13th.

1. Hobbs Market Place 3601 N. Grimes

Roger Grey

Bright Ad Signs

Variance to place tenant /monument sign at 17' from back of curb to sign column. Sign will be on owner property.

2. Bender Billboards

Bobby Pennell

Bright Ad Signs



Variance to place digital billboard on property less than 800 linear feet apart from existing billboard ,there is approximately 425 linear feet between signs.

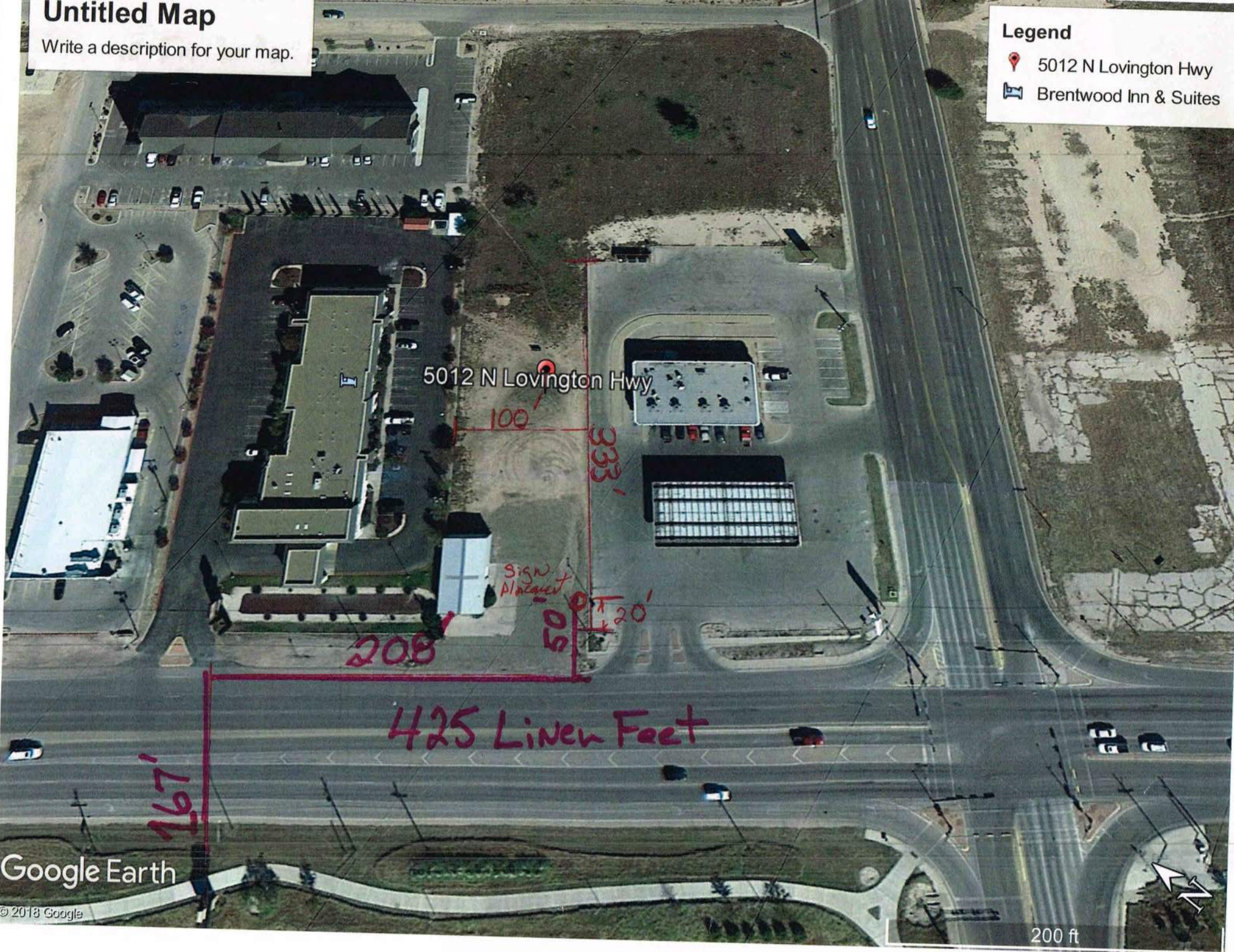
Carl Baxley

Untitled Map

Write a description for your map.

Legend

-  5012 N Lovington Hwy
-  Brentwood Inn & Suites



Google Earth

© 2018 Google

200 ft

December 18, 2018
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- 6) **Public Hearing to Review and Consider a Special Use Map Amendment to create a Rural and Open Space Planning District per MC 18.08, located south of the intersection of Carlsbad Highway and Carlton.**

9-25-18

This Petition letter is in regard to my request to the City of Hobbs, that I Cayetano Hernandez at 716 S. Carlton be allowed to keep the chickens, roosters, and horses here on my property and that I nor my animals, that I have kept on my property for the last 30 years, are not and or have ever created a problem or have been a nuisance or inconvenience to anyone.

Thank you for your support!! Cayetano-Hernandez
716 S Carlton-Hobbs NM. 88240
tel 575.3902497

Print

Sign

Date

Print	Sign	Date
David Jett	David Jett	10-24-18
SAM Acosta	SAM Acosta	10/26/18
Cruz Garcia	Cruz Garcia	10/28/18
Teddy & Everidge	Teddy & Everidge	10/29/18
Hector Ramirez	Hector Ramirez	11/2/18



PLANNING DIVISION

200 E. Broadway St.
Hobbs, NM 88240
575- 397-9227 fax

City of Hobbs, New Mexico

«Name»
«ADD1»
«CITY», «STATE» «ZIP» «ZIP2»
Property #«Number» on the attached map

December 3, 2018

RE: REQUEST TO AMEND THE PLANNING DISTRICT MAP -- SPECIAL USE PERMIT PROPOSED FOR A RURAL AND OPEN SPACE PLANNING DISTRICT.

Dear Property Owner:

The City of Hobbs has received a request to amend the Planning District Map and issue a special use permit to allow a proposed Rural and Open Space Planning District on the 7.61 +/- acre area as shown (see attached map). As a property owner you are being notified of the requestor's intent to obtain Rural and Open Space designations on the area as shown. The City Planning Board will be reviewing this issue on December 18, 2018, on the first floor of the City Annex Building at 200 E. Broadway, at 10:00 a.m., in the City of Hobbs Commission Chambers. This notice is being sent to you as a property owner within the notification boundaries per Municipal Code 18.08, requiring notification of district map amendments and special use permits.

If you have questions, or written comments, please notify the City Planning Division at the above address, or call the office at (575)397-9232.

Sincerely,

THE CITY OF HOBBS, NEW MEXICO


Kevin Robinson – Planning Department



CARLSBAD

MARLAND

1

3

4

7

11

9

2

10

5

6

8

12

18

CARLTON

17

13




14

16

15

WEST COUNTY

Legend

-  Petitioning Property
-  Notification Boundary
-  Notified Property Owners

Number	NAME	ADD1	CITY	STATE	ZIP	ZIP2
1	New Mexico State Land Office	PO Box 1148	Sante Fe	NM	87504	
2	STRIPES LLC	1900 DALROCK RD	ROWLETT	TX	75088	
3	ROTARY WIRELINE SERVICE INC	PO BOX 2735	HOBBS	NM	88241	
4	COPE PROPERTIES LLC ET AL	PO BOX 905	HOBBS	NM	88241	
5	OCCIDENTAL PERMIAN LTD	PO BOX 27570	HOUSTON	TX	77227	7570
6	RAMIREZ BUS CO, H M	9191 SILVER LEAF COURT	LITTLE ELM	TX	75068	
7	COPE PROPERTIES LLC	PO BOX 905	HOBBS	NM	88241	
8	RAMIREZ, H M BUS CO	9191 SILVER LEAF COURT	LITTLE ELM	TX	75068	
9	CLINE, PATSY LEE LIVING TRUST	PO BOX 1842	HOBBS	NM	88241	1842
10	OCCIDENTAL PERMIAN LTD	PO BOX 27570	HOUSTON	TX	77227	7570
11	FOWLER TRUST	353 BROOKSIDE DR	ALGOOD	TN	38506	
12	OCCIDENTAL PERMIAN LTD	PO BOX 27570	HOUSTON	TX	77227	7570
13	MAYFIELD, DENNIS	818 CARLTON	HOBBS	NM	88240	
14	MOSLEY, FAVIOLA	333 W ELLSWORTH AVE	DENVER	CO	80223	
15	RAMIREZ, CESAR R	1004 N SANDIA DR	HOBBS	NM	88240	
16	CURTIS MACHINE SHOP INC	PO BOX 1374	HOBBS	NM	88241	
17	CURTIS MACHINE INC	PO BOX 1374	HOBBS	NM	88241	1374
18	CURTIS MACHINE SHOP INC	PO BOX 1374	HOBBS	NM	88241	

December 18, 2018
Planning Board Regular Meeting

- 7) **Public Hearing to Review and Consider a Special Use Map Amendment to create a Recreational Vehicle Park (RVP) Planning District per MC 18.04, located northeast of the intersection of Glorietta and N. Dal Paso.**

To whom it may concern,

I would like to request permission by the city of Hobbs N.M. To establish an R.V. Parking lot on the property of 100 E. Glorietta. This will consist of 30 spots with the required regulations required by the city. This will also include a property shop with restrooms and a partial kitchen which tenants may use.

Sincerely,

Authentisign
Rhonda Thomas
11/8/2018 6:07:14 PM MST
11/08/2018



Lea County

GIS INTERNET REPORT



Page 1 of 3

Assessment Information

OWNER NUMBER: 77525

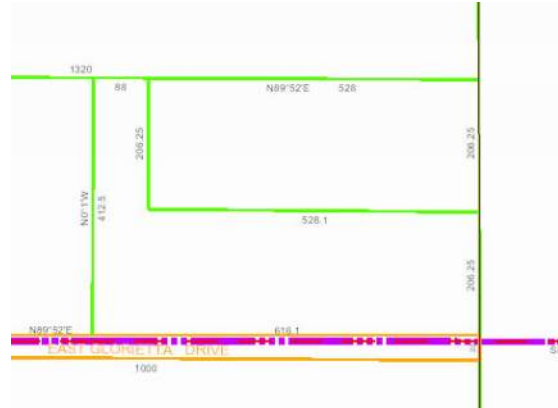
UPC CODE: 4000775250001

PARCEL NUMBER: 4000775250001

Owner Information	
Owner:	THOMAS RHONDA SUE
Mailing Address:	6720 28TH ST APT 1401 LUBBOCK TX 79407
Property Address:	

Subdivision Information	
Name:	
Unit:	
Block	
Lot:	

Legal Information
3.19 AC NW4



Lea County, New Mexico Disclaimer

Information deeded reliable but not guaranteed. Copyright ©2012.
MAP TO BE USED FOR TAX PURPOSES ONLY. NOT TO BE USED FOR CONVEYANCE.



Lea County

GIS INTERNET REPORT



Page 2 of 3

Other Information			
Taxable Value:	\$5,309.00	Deed Book:	1324
Exempt Value:	\$0.00	Deed Page:	377
Net Value	\$5,309.00	District:	161
Livestock Value:	\$0.00	Section:	23
Manufactured Home Value:	\$0.00	Township:	18
Personal Property:	\$0.00	Range:	38
Land Value:	\$9,369.00	Date Filed:	
Improvement Value:	\$6,558.00	Most Current Tax:	\$138.67
Full Value:	\$15,927.00	Year Recorded:	

Square Foot and Year Built listed only to be used for comparative purposes, NOT to be used for commerce.

Lea County, New Mexico Disclaimer

Information deemed reliable but not guaranteed. Copyright ©2012.
MAP TO BE USED FOR TAX PURPOSES ONLY. NOT TO BE USED FOR CONVEYANCE.



PLANNING DIVISION

200 E. Broadway St.
Hobbs, NM 88240

575-397-9351 bus
575- 397-9227 fax

City of Hobbs, New Mexico

«Name»

«Address»

«City_», «State_» «Zip»

November 28, 2018

RE: REQUEST TO AMEND THE PLANNING DISTRICT MAP -- SPECIAL USE PERMIT PROPOSED ALLOWING AN RV PARK TO BE LOCATED NOTHEAST OF THE INTERSECTION OF GLORIETTA AND NORTH DAL PASO.

Dear Property Owner:

The City of Hobbs has received a request to amend the Planning District Map and issue a special use permit to allow a proposed RV Park on the +/- 3.19 acre parcel located northeast of the intersection of Glorietta and North Dal Paso (see attached map). As a property owner you are being notified of the developer's intent to construct a RV Park on the aforementioned parcel. The City Planning Board will be reviewing this issue on December 18, 2018, on the first floor of the City Annex Building at 200 E. Broadway, at 10:00 a.m., in the City of Hobbs Commission Chambers. This notice is being sent to you as a property owner within the notification boundaries per Municipal Code 18.04, requiring notification of district map amendments and special use permits.

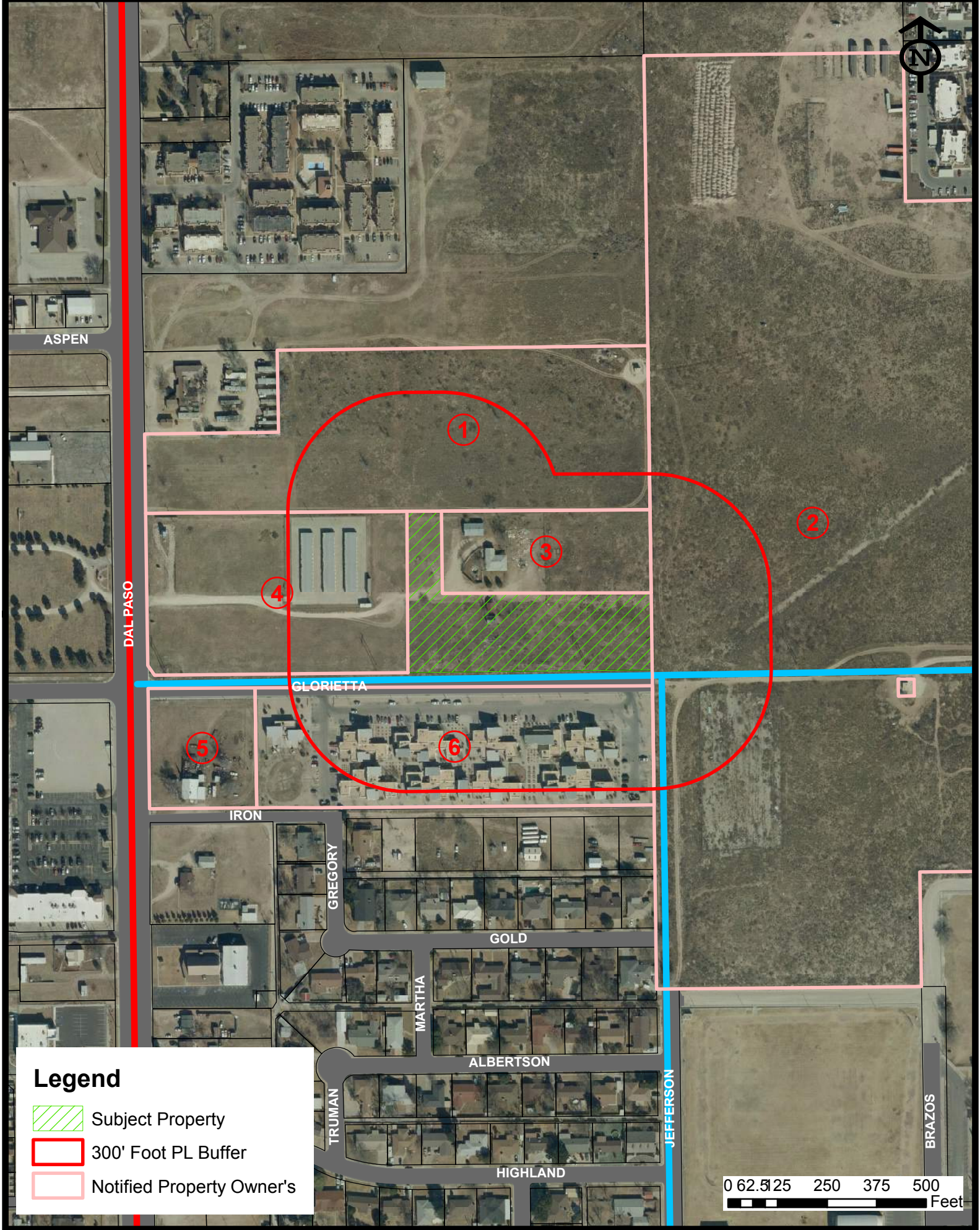
If you have questions, or written comments, please notify the City Planning Division at the above address, or call the office at (575)397-9232.

Sincerely,

THE CITY OF HOBBS, NEW MEXICO

A handwritten signature in blue ink that reads "Kevin Robinson".

Kevin Robinson – Planning Department



ASPEN

DAL PASO

GLORIETTA

IRON

GREGORY

GOLD

MARTHA

ALBERTSON




TRUMAN

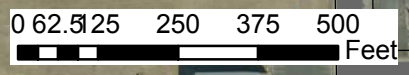
HIGHLAND

JEFFERSON

BRAZOS

Legend

-  Subject Property
-  300' Foot PL Buffer
-  Notified Property Owner's



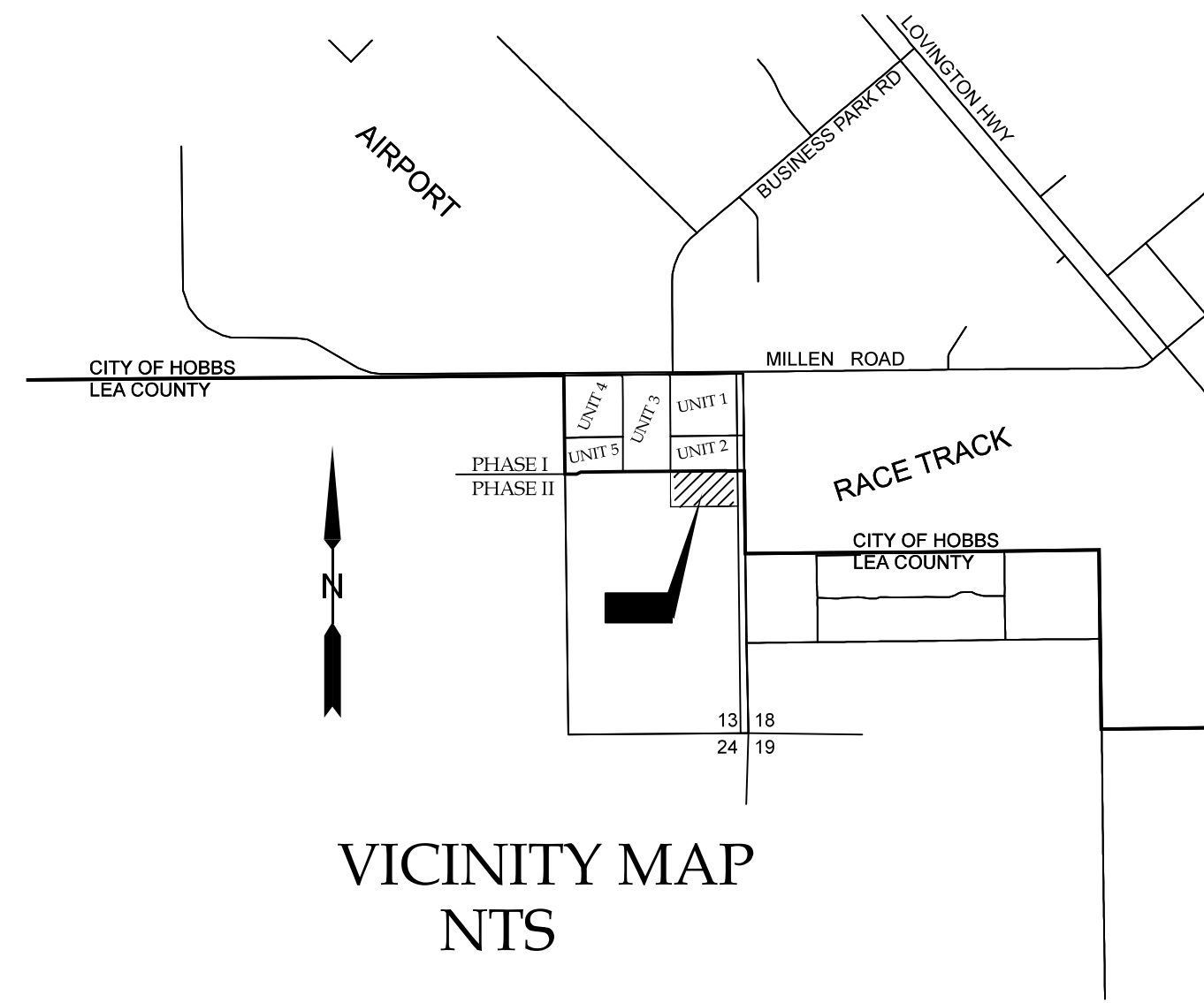
Property #	Name	Address	City	State	Zip
1	RV HOBBS LLC	1801 CENTURY PARK EAST, SUITE	LOS ANGELES	CA	90067
2	WESTERN STATES DEV GROUP LI	340 TORO CANYON RD	CARPINTERIA	CA	93013
3	STUDDARD EDWARD W	6720 28TH ST APT 1401	LUBBOCK	TX	79407
4	SELF STORAGE SOLUTIONS	PO BOX 929	WOLFFORTH	TX	79382
5	WALKER JAMES LYNN TRUST	3602 E LAKE RD	ABILENE	TX	79601
6	LA PRADERA HOUSING LIMITED	PO BOX 1263	ALTO	NM	88312

December 18, 2018
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- 8) Review and Consider Preliminary Plat Approval for Zia Crossing Unit 6, as submitted by property owner, Black Gold Estates, LLC., and as previously approved by the Planning Board on February, 20 2018.**

ZIA CROSSING SUBDIVISION PHASE II, UNIT 6

CITY OF HOBBS, LEA COUNTY, NEW MEXICO



PHASE II, UNIT 6 DESCRIPTION and DEDICATION

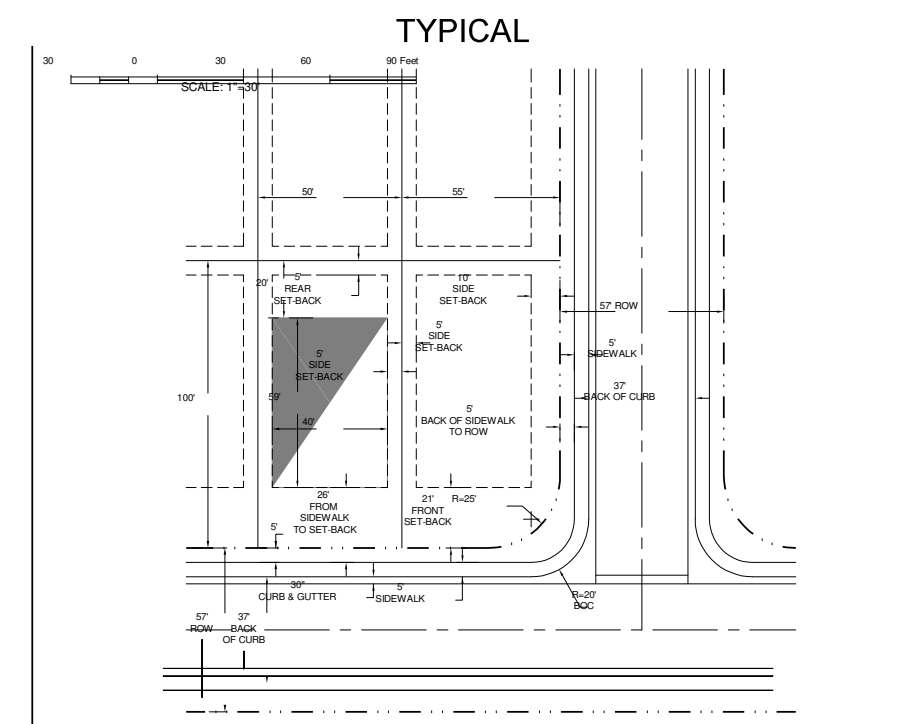
ALL THAT PORTION OF THE NORTHEAST ¼ OF SECTION 13, TOWNSHIP 18 SOUTH, RANGE 37 EAST, N.M.P.M., LEA COUNTY, NEW MEXICO, DESCRIBED AS FOLLOWS;

BEGINNING AT A POINT FROM WHICH THE NORTHEAST CORNER OF SAID SECTION 13 BEARS N 03°20'20" E A DISTANCE OF 1432.02 FEET AND ALSO FROM WHICH THE NORTH 1/4 CORNER OF SAID SECTION BEARS N 61°14'312" W A DISTANCE OF 2918.52 FEET;
 THENCE S 00°39'55" W A DISTANCE OF 522.20 FEET ;
 THENCE S 89°20'07" W A DISTANCE OF 110.00 FEET ;
 THENCE S 88°41'22" W A DISTANCE OF 57.00 FEET ;
 THENCE S 89°28'22" W A DISTANCE OF 745.35 FEET ;
 THENCE S 89°28'22" W A DISTANCE OF 80.00 FEET;
 THENCE N 00°10'43" W A DISTANCE OF 524.25 FEET ;
 THENCE N 89°28'22" E A DISTANCE OF 80.00 FEET ;
 THENCE N 89°28'05" E A DISTANCE OF 750.90 FEET ;
 THENCE N 89°27'34" W A DISTANCE OF 57.01 FEET;
 THENCE N 89°20'05" E A DISTANCE OF 100.00 FEET TO THE POINT OF BEGINNING, AND HAVING AN AREA OF 11.91 ACRES, MORE OR LESS.

SUBDIVIDED AS THE SAME APPEARS HEREON, WITH ALL RIGHTS-OF-WAY AS SHOWN HEREON DEDICATED TO THE PUBLIC, COMPRISING ZIA CROSSING SUBDIVISION, PHASE II, UNIT 6, TO THE CITY OF HOBBS, WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND PROPRIETORS THEREOF, NOTICE IS HEREBY GIVEN THAT THERE HAS BEEN FILED IN THE OFFICE OF THE COUNTY CLERK OF LEA COUNTY, NEW MEXICO, CERTAIN RESTRICTIVE COVENANTS APPLICABLE TO THE ABOVE DESCRIBED PROPERTY, WHICH SAID COVENANTS ARE RECORDED ON PAGE _____ OF BOOK _____, MISCELLANEOUS RECORDS OF SAID COUNTY.

NOTES:

1. SET 1/2" REBAR WITH PLASTIC CAP MARKED LS 8685 AT ALL CORNERS AND BEGINNING AND END OF CURVES.
2. SEE PLAT # 15243 RECORDED IN LEA COUNTY
3. LOT SIDE SET BACK LINES ARE 5.0 FEET EXCEPT ALONG RIGHTS- OF-WAY, WHERE 10.00 FOOT SIDE SETBACK LINES APPLY. LOT FRONT SETBACK LINES ARE 21.00 FEET.



Need Owners
Signature.

ACKNOWLEDGMENT :

STATE OF NEW MEXICO))
) SS
 COUNTY OF LEA)

ON THIS _____ DAY OF _____, 2018, BEFORE ME PERSONALLY APPEARED DANIEL W. DATTOLA, AGENT FOR BLACK GOLD ESTATES, LLC, TO ME KNOWN TO BE THE PERSON(S) DESCRIBED IN AND WHO EXECUTED THE SAME AS THEIR FREE ACT AND DEED.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR LAST ABOVE WRITTEN.

MY COMMISSION EXPIRES:

NOTARY PUBLIC

SURVEYORS CERTIFICATE:

I, RANDY A. BOUET, A NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR, CERTIFY THAT I CONDUCTED AND AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THIS SURVEY AND THE PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO.

RANDY A. BOUET, N.M.P.L.S. 8685

DATE

CERTIFICATE OF MUNICIPAL APPROVAL:

STATE OF NEW MEXICO))
) SS
 COUNTY OF LEA)

I, JAN FLETCHER, THE DULY APPOINTED AND ACTING CITY CLERK OF THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING PLAT OF THE ZIA CROSSING SUBDIVISION, PHASE II, UNIT 6, WAS APPROVED BY THE COMMISSION OF THE CITY OF HOBBS BY RESOLUTION No. _____ ON THE ____ OF _____, 2018 A.D.

JAN FLETCHER, CITY CLERK

CERTIFICATE OF APPROVAL BY THE CITY PLANNING BOARD:

THE PLAT, RESTRICTIONS AND DEDICATION APPROVED AND ACCEPTED THE _____ DAY OF _____, 2018, A.D. BY THE CITY PLANNING BOARD OF HOBBS, NEW MEXICO.

CHAIRMAN: WILLIAM M. HICKS III

FOUR CORNERS SURVEYING, INC.		
21150 COUNTY ROAD U, CORTEZ, CO 81321		
970-682-4241		
DRAWN	DATE	ZIA CROSSING SUBDIVISION
RAB	2/07/2018	PHASE II, UNIT 6
APPROVED	DATE	CITY OF HOBBS, NEW MEXICO
SCALE	SHEET	PROJECT NO.
NOT TO SCALE	1 OF 2	925UNIT6TITLESHEET

LEA COUNTY SEAL

STATE OF NEW MEXICO
COUNTY OF LEA

FILED: _____, 2018
 AT _____ O'CLOCK _____ M
 AND RECORDED IN:
 BOOK _____ PAGE _____
 PAT CHAPPELLE
 LEA COUNTY CLERK
 BY: _____ DEPUTY

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS PLAT IS THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 13, T.18 S., R.37 E., N.M.P.M., BETWEEN THE FOUND MONUMENTS AS DESCRIBED IN THE CITY OF HOBBS GPS SURVEY REPORT AS #143 AT THE N1/4 CORNER AND #144 AT THE NE CORNER OF SAID SECTION 13.

i.e. N 89°26'36" E - 2642.09'

ALL DISTANCE SHOWN HEREON ARE GROUND VALUES

ZIA CROSSING SUBDIVISION PHASE II, UNIT 6 = 52 LOTS

TOTAL ACREAGE = 11.91 AC.

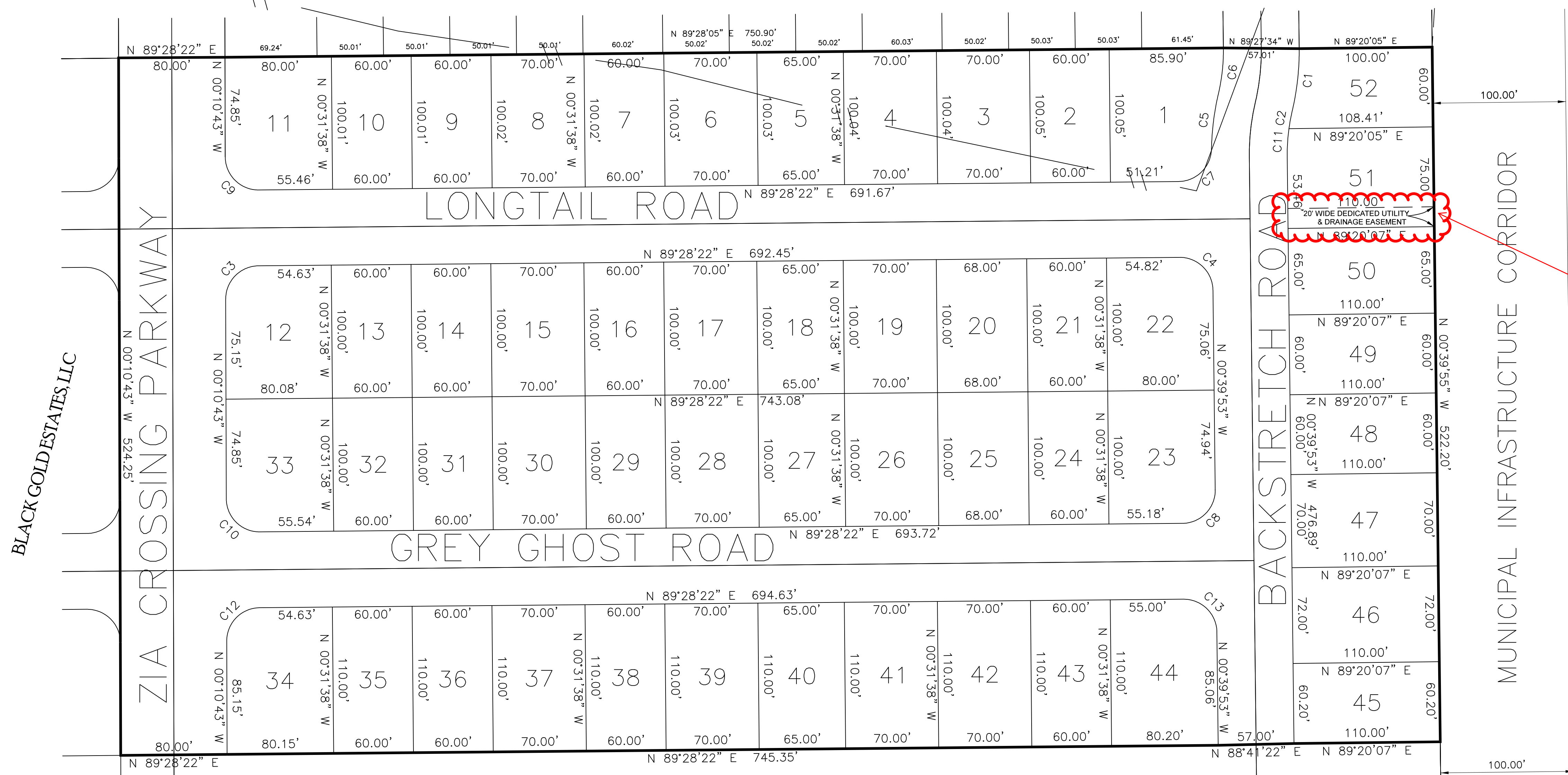
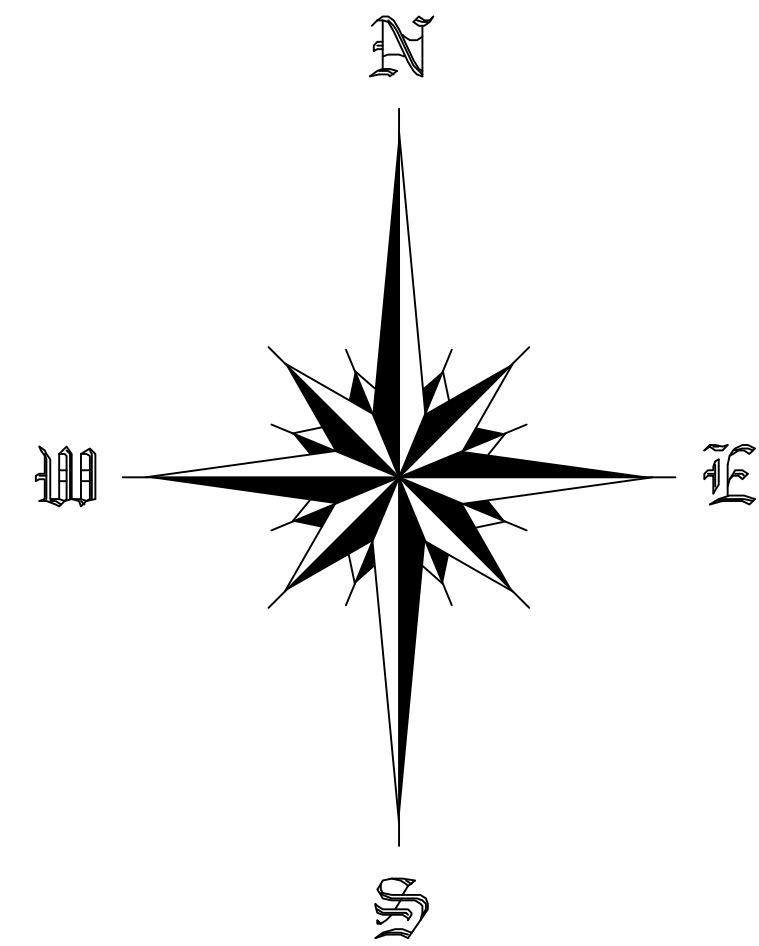
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	47.23'	203.50'	13°17'51"	S 06°25'02" W	47.12'
C2	13.49'	146.50'	5°16'37"	S 10°25'39" W	13.49'
C3	39.12'	25.00'	89°39'05"	S 44°38'49" W	35.25'
C4	39.21'	25.00'	89°51'45"	N 45°35'46" W	35.31'
C5	41.86'	203.50'	11°47'05"	N 07°10'25" E	41.78'
C6	34.77'	146.50'	13°35'53"	N 06°16'02" E	34.69'
C7	38.48'	25.00'	88°11'29"	N 45°22'37" E	34.79'
C8	39.33'	25.00'	90°08'15"	N 44°24'14" E	35.40'
C9	39.42'	25.00'	90°20'55"	S 45°21'11" E	35.46'
C10	39.42'	25.00'	90°20'55"	S 45°21'11" E	35.46'
C11	21.62'	146.50'	8°27'14"	S 03°33'44" W	21.60'
C12	39.12'	25.00'	89°39'05"	S 44°38'49" W	35.25'
C13	39.21'	25.00'	89°51'45"	N 45°35'46" W	35.31'

UNIT 2, PH I

EXTENTS OF FLOOD ZONE PER CITY OF HOBBS GIS MAP

TIE TO NE CORNER SECTION 13 FOUND CONCRETE MONUMENT WITH BRASS DISK

Area	Sq. Feet	Acres
1	7863.80	0.18
2	6003.05	0.14
3	7003.20	0.16
4	7002.80	0.16
5	6502.25	0.15
6	7002.05	0.16
7	6001.44	0.14
8	7001.32	0.16
9	6000.82	0.14
10	6000.53	0.14
11	7894.87	0.18
12	7845.71	0.18
13	6000.00	0.14
14	6000.00	0.14
15	7000.00	0.16
16	6000.00	0.14
17	7000.00	0.16
18	6500.00	0.15
19	7000.00	0.16
20	6800.00	0.16
21	6000.00	0.14
22	7854.64	0.18
23	7877.14	0.18
24	6000.00	0.14
25	6800.00	0.16
26	7000.00	0.16
27	6500.00	0.15
28	7000.00	0.16
29	6000.00	0.14
30	7000.00	0.16
31	6000.00	0.14
32	6000.00	0.14
33	7902.76	0.18
34	8647.37	0.20
35	6600.00	0.15
36	6600.00	0.15
37	7700.00	0.18
38	6600.00	0.15
39	7700.00	0.18
40	7150.00	0.16
41	7700.00	0.18
42	7700.00	0.18
43	6600.00	0.15
44	8674.12	0.20
45	6621.93	0.15
46	7920.22	0.18
47	7700.22	0.18
48	6600.15	0.15
49	6600.12	0.15
50	7150.10	0.16
51	8238.66	0.19
52	6188.51	0.14



EAST LINE OF SECTION 13

Fee Simple Dedication to the Public.

ZIA CROSSING PARKWAY = 80' ROW
 LONGTAIL ROAD = 57' ROW
 GREY GHOST ROAD = 57' ROW
 BACKSTRETCH ROAD = 57' ROW

FOUR CORNERS SURVEYING, INC.
 21150 COUNTY ROAD U, CORTEZ, CO 81321
 970-882-4241

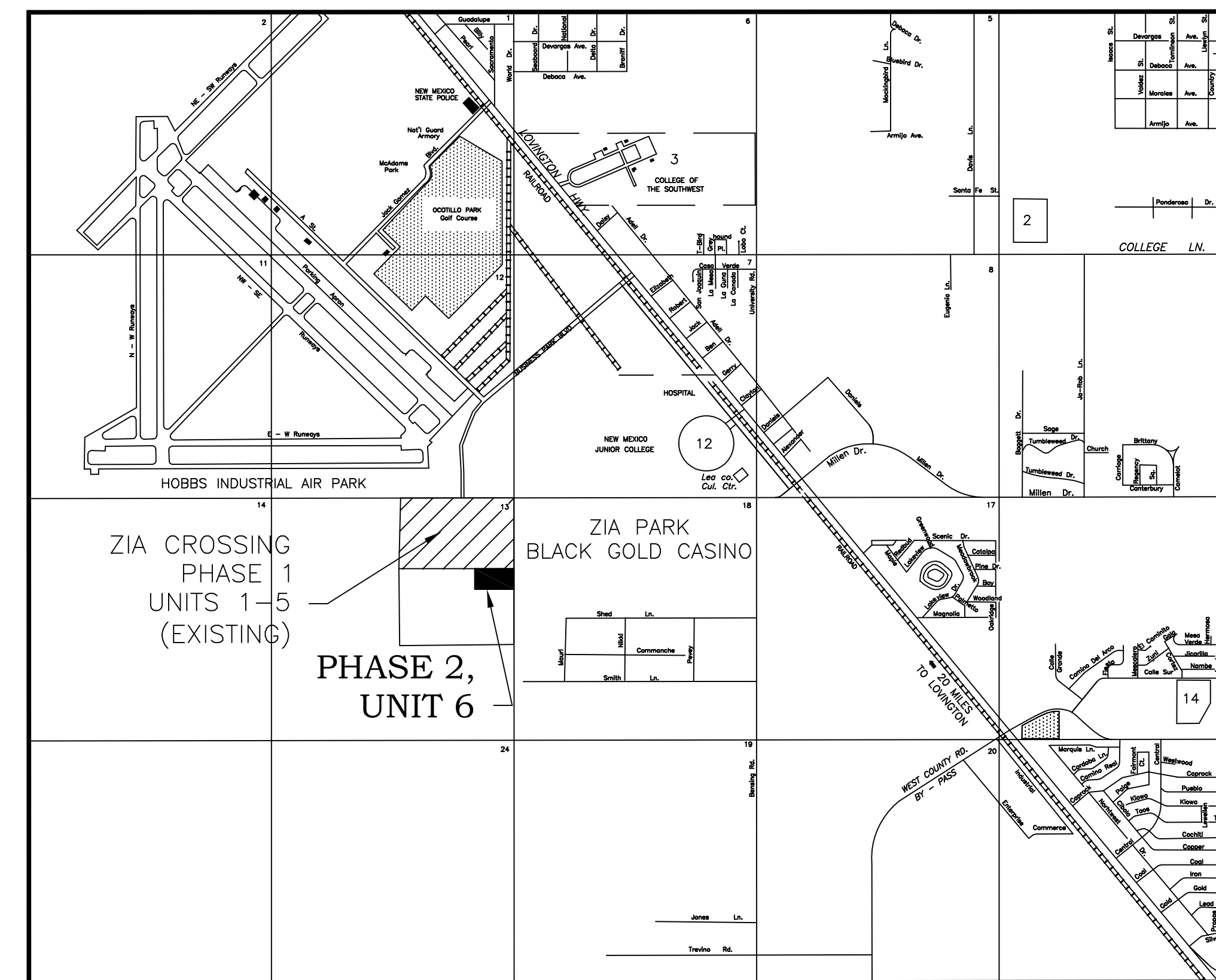
DRAWN RAB	DATE 2/07/2018	ZIA CROSSING SUBDIVISION PHASE II, UNIT 6
APPROVED	DATE	CITY OF HOBBS, NEW MEXICO
SCALE 1" = 100'	SHEET 2 OF 2	PROJECT NO. 925UNIT6SHT2

SUBDIVISION PLANS ZIA CROSSING, UNIT 6

CITY OF HOBBS
LEA COUNTY, NEW MEXICO
NE/4 OF SECTION 13, TOWNSHIP 18 SOUTH RANGE 37 EAST

INDEX OF SHEETS

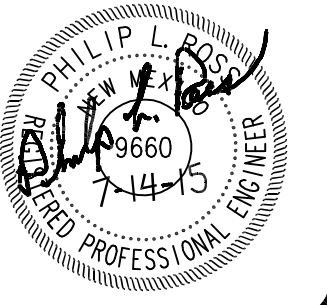
SHEET	DESCRIPTION
A1	COVER SHEET, INDEX OF DRAWINGS & LOCATION MAP
A2	GENERAL NOTES & MATERIALS SPECIFICATIONS
A3	MASTER LAYOUT
A4	UTILITY LAYOUT PLAN
B1	ZIA CROSSING PARKWAY ROAD PLAN & PROFILE
B2	LONGTAIL ROAD PLAN & PROFILE
B3	GREY GHOST ROAD PLAN & PROFILE
B4	BACKSTRETCH ROAD PLAN & PROFILE
D1	EAST DITCH PLAN AND PROFILE, PART 1 (STA 0+00 TO STA 31+00)
D2	EAST DITCH PLAN AND PROFILE, PART 2 (STA 31+00 TO STA 36+00)
I1	INTERSECTION DETAILS
I2	INTERSECTION DETAILS CONT. & UNIT 6 DRAINAGE DITCH DETAILS
W1	WATER DETAILS
R1	ROADWAY DETAILS
S1	SEWER DETAILS
U1	UNDERGROUND ELECTRIC/TELEPHONE/CABLE TRENCH LAYOUT <small>(Provided by Xcel Energy)</small>
U2	ELEC/TELE/CABLE TRENCH DETAILS & USPS CLUSTER BOX DETAILS
L1	LOT FILL LAYOUT
SW1	SIDEWALK LAYOUT



LOCATION MAP

Not to Scale

410 n. dal paso
hobbs, new mexico 88240
(575) 392-7918 bus
(575) 392-9114 fax



NO.	DATE	BY	CHK	ENGR	APP.
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ZIA CROSSING, UNIT 6

GENERAL NOTES & MATLS. SPECS.



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SMM	PLR
Date:	Disk:
7/06/15	GENERAL
File Name:	Job No.:
GENNOTES	

SHEET
A2
A2 of A4 sheets

ORIGINAL DRAWING SIZE 24" X 36"

GENERAL NOTES:

- ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, AND THE CITY OF HOBBS STANDARDS.
- TRENCHES WILL CROSS PAVEMENT, NATIVE SOIL, AND COMPACTED CALICHE PADS. CONTRACTOR TO SAW-CUT EDGES AND CONSTRUCT PAVEMENT PATCH ACCORDING TO DETAILS.
- CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES FOR SIZE, TYPE, DEPTH AND LOCATION. EXISTING UTILITIES SHOWN ARE TAKEN FROM RECORD DRAWINGS AND FIELD OBSERVATIONS, CONTRACTOR SHALL FOLLOW NEW MEXICO ONE-CALL PROCEDURES.
- TRAFFIC CONTROL DEVICES SHALL BE INSTALLED, INSPECTED AND MAINTAINED BY CERTIFIED PERSONNEL. ENGINEER AND OWNER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY CHANGES IN TRAFFIC CONTROL PHASES, SO THAT THE OWNER CAN NOTIFY THE PUBLIC.
- CONTRACTOR SHALL MAINTAIN GOOD HOUSEKEEPING THROUGHOUT THE PROJECT AND UPON PROJECT COMPLETION THE RIGHT-OF-WAY SHALL BE FREE OF ROCKS GREATER THAN 2" DIAMETER. ROCKS GREATER THAN 2" IN DIAMETER SHALL BE CRUSHED OR REMOVED.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL BUSINESSES AND ADJACENT LANDOWNERS DURING THE ENTIRE PROJECT.
- CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY UPON FINDING DIFFERING FIELD CONDITIONS.
- CONTRACTOR SHALL NOT DAMAGE EXISTING SURVEY MONUMENTS. ANY MONUMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY A LICENSED SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- PAY ITEMS SHALL BE AS LISTED ON THE BID FORM. ITEMS SHALL BE MEASURED AND PAID FOR BY THE UNITS LISTED ON THE BID FORM. ITEMS NECESSARY FOR CONSTRUCTION AND NOT LISTED SHALL BE CONSIDERED INCIDENTAL TO THE ITEM BEING INSTALLED.
- MAXIMUM 300 LINEAR FEET OF WATERLINE TRENCH OR 350 LINEAR FEET OF SEWERLINE TRENCH (MANHOLE TO MANHOLE) OPEN AT A TIME UNLESS APPROVED BY OWNER IN ADVANCE.
- DITCH SPOIL TO BE PLACED BETWEEN DITCH AND ROADWAY WHERE FIELD CONDITIONS ALLOW.
- EXCAVATION AREAS TO BE PROPERLY FENCED WHEN CONSTRUCTION ACTIVITIES ALLOW, ESPECIALLY WHEN CONTRACTOR IS NOT WORKING IN THE AREA.
- OSHA EXCAVATION REGULATIONS TO BE OBSERVED AT ALL TIMES.
- WARNING LIGHTS ON TRAFFIC CONTROL DEVICES ARE NOT OPTIONAL ON THIS PROJECT.
- PROJECT SHALL NOT BE DEEMED COMPLETE UNTIL ALL ROADS, CURBS AND DRAINAGE STRUCTURES HAVE BEEN TESTED SHOWN TO PROPERLY DRAIN.
- SIGNS FOR PERMANENT TRAFFIC CONTROL (SPEED LIMITS, DIRECTIONS, ETC.) EXIST IN THE RIGHT-OF-WAY; THESE SIGNS WILL BE CAREFULLY AVOIDED OR REMOVED AND RE-INSTALLED AS PER NMDOT STANDARD DRAWINGS, SEE DETAILS.
- WHERE GRADES ARE SHOWN WITH TWO DIGITS PRECEDING THE DECIMAL POINT, IT SHALL BE ASSUMED THAT 3600 FEET IS ADDED.
- ALL CONCRETE USED IN THIS PROJECT SHALL INCLUDE FIBER REINFORCEMENT. FIBERS SHALL BE VIRGIN POLYPROPYLENE STRANDS (APPROX. 3/4 INCHES IN LENGTH). ALL CONCRETE SHALL CONTAIN APPROXIMATELY 1.5 LBS. OF FIBER PER CUBIC YARD OF CONCRETE. NO SEPARATE MEASUREMENT OF PAYMENT WILL BE MADE FOR SUCH WORK AND IT SHALL BE CONSIDERED INCIDENTAL TO THE CONSTRUCTION. FIBER REINFORCEMENT DOES NOT DELETE REQUIREMENTS FOR STEEL REINFORCEMENT WHEN REQUIRED ON DETAILS.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES.
- CONTRACTOR SHALL MINIMIZE DISTURBED VEGETATION AND IMPLEMENT NECESSARY BMP'S (BEST MANAGEMENT PRACTICES) IN COMPLIANCE WITH THEIR STORM WATER POLLUTION PREVENTION PLAN.

INSTALLATION OF WATER AND SEWER IMPROVEMENTS

Materials and equipment used in the installation of water and sewer improvements shall be new and unused, manufactured in compliance with standards published by the American Society for Testing and Materials (ASTM), the American Water Works Association (AWWA) or other published applicable standards.

Where specific items are called for by name, make or catalog number such reference shall be interpreted as establishing a standard quality and not construed as limiting competition. The use of substitutes is permissible in most cases, provided written request and proper certification are submitted to the ENGINEER for THE CITY'S review and approval prior to bidding. Installation, construction specifications, and testing requirements shall be governed by the 2006 New Mexico Standard Public Works Specifications and City of Hobbs Supplemental Specifications.

SANITARY SEWER SYSTEM

Collector: PVC, SDR 26, push on, gasketed sewer pipe
 Service: PVC, SCH 40 or SDR 21 push on, gasketed (or glued) sewer pipe
 Fittings: PVC, SCH 40, push on, gasketed (or glued) sewer pipe
 Manholes: Pre-cast reinforced concrete, 4 ft. inside diameter, type C Concentric manholes OR Pre-cast fiberglass manholes, 4 ft. inside diameter, type C OR Cast-in-place manholes may be permitted with prior approval from City. (Manhole opening to be 30 inches diameter, typical all manholes)
 Manhole ring and cover: Heavy Duty East Jordan Iron Works product #41430120A01 standard cast iron, bottom flange, 270 lb. manhole rim and lid, concealed pick slot.

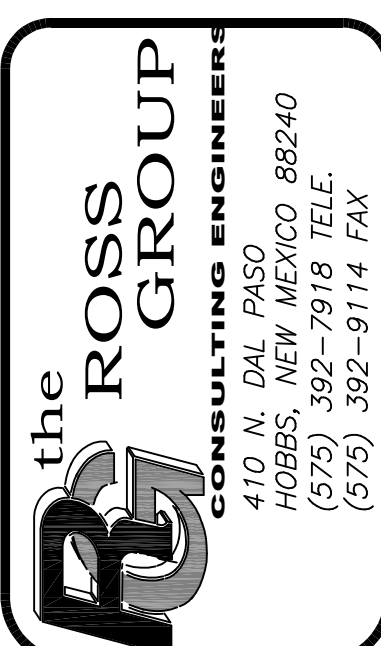
WATER SYSTEM

Distribution Lines (12 inch and Smaller): PVC, DR 18, Class 150, C 900 push on, gasketed water pipe OR HDPE, DR 17, C 906 blue or blue stripe.
 Fittings: Mechanical joint (MJ), class 250 Or 350 S.S.B. type, ductile iron pipe fittings for PVC. Polyethylene fittings may be MJ or fused fittings, ductile iron pipe sizes. All HDPE pipe shall utilize MJ adapters when connection to Ductile Iron Fittings. Mega Lug restrained fittings shall be used along with concrete thrust blocking. Valves may be FL x MJ when connected at fittings.
 Gate Valves: Mueller bonded resilient seat, non raising stem type, mechanical joint, fuse bonded epoxy coated inside and out, 2 inch operating nut, opens counter clockwise.
 Fire Hydrants: Kennedy Guardian K81D, 5 1/4 Main Valve Fire hydrant (Painted Chrome Yellow)
 Valve Box: Tyler 461S, or approved equal
 Water Meter Box: Regular Meter Box - East Jordan product number 32234002A04, round 18 in. x 18 in. and DFW Plastics Inc. plastic blue cover product number (18AMR-49). Commercial Meter Box - See Details if required.
 Water Service Laterals: 1 inch poly line shall be CT size and 2 inch poly lines shall be IP size. Service lateral saddles shall be shown on the City of Hobbs Standard Details. Commercial Services: See Meter Box Details if required.



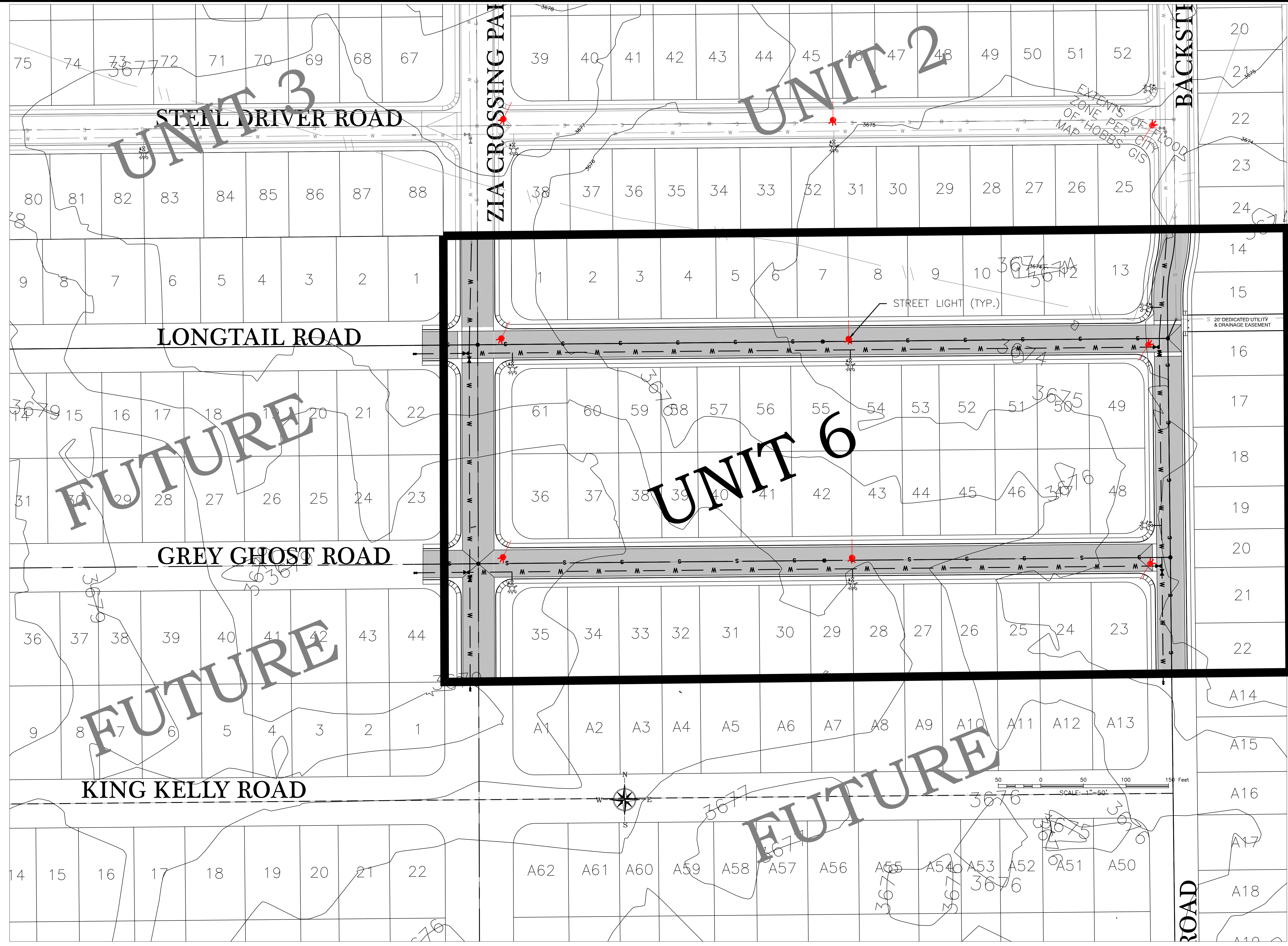
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ZIA CROSSING UNIT 6
MASTER LAYOUT

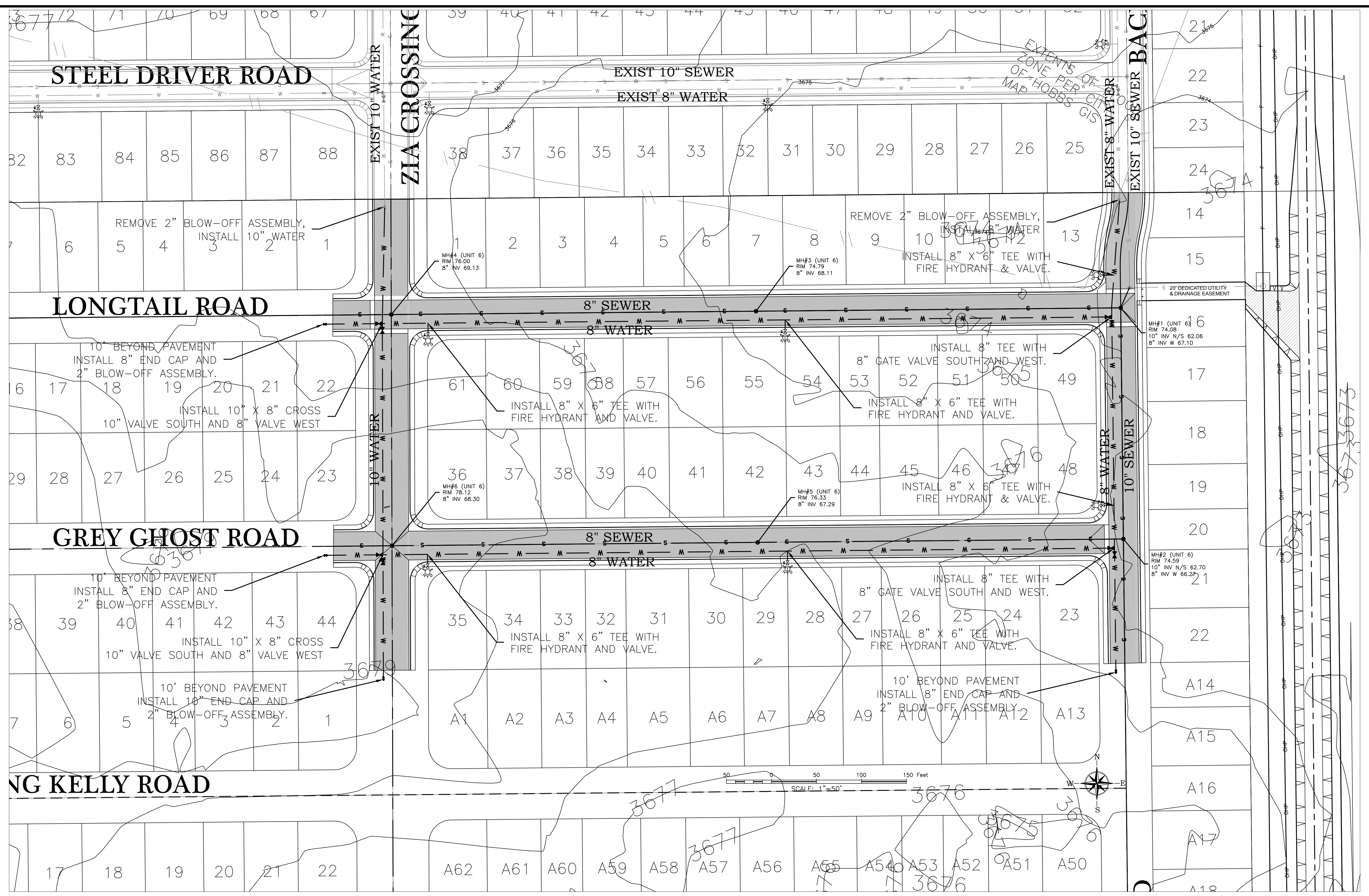


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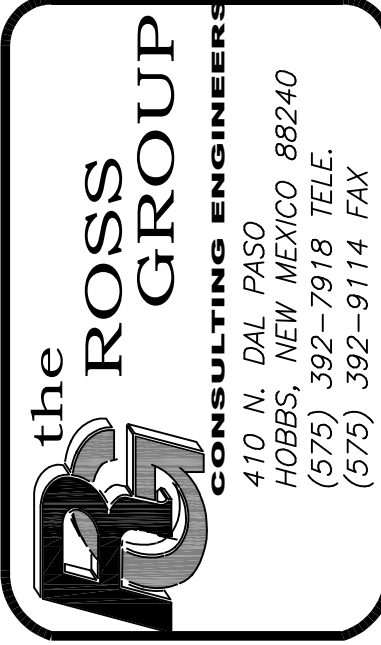
ORIGINAL DRAWING SIZE 24" X 36"



NOTE:
 1. MANHOLE ADJUSTMENTS ARE NECESSARY FOR MANHOLE INSTALLED WITH PREVIOUS UNITS IN AREAS THAT DO NOT HAVE ROADWAY CONSTRUCTION UNTIL UNIT 6. MANHOLES LOCATED 10 FT. BEYOND UNIT 6 PAVEMENT DO NOT REQUIRE CONCRETE MH ADJUSTMENTS.
 2. ALL MANHOLE RIM ELEVATIONS SHOWN ARE APPROXIMATE, MATCH FINISHED GRADE.
 3. WATER SERVICES TO BE LOCATED WITHIN 5 FT. OF PROPERTY LINE AND SEWER SERVICE TO BE LOCATED MID-LOT UNLESS OTHERWISE DETERMINED.

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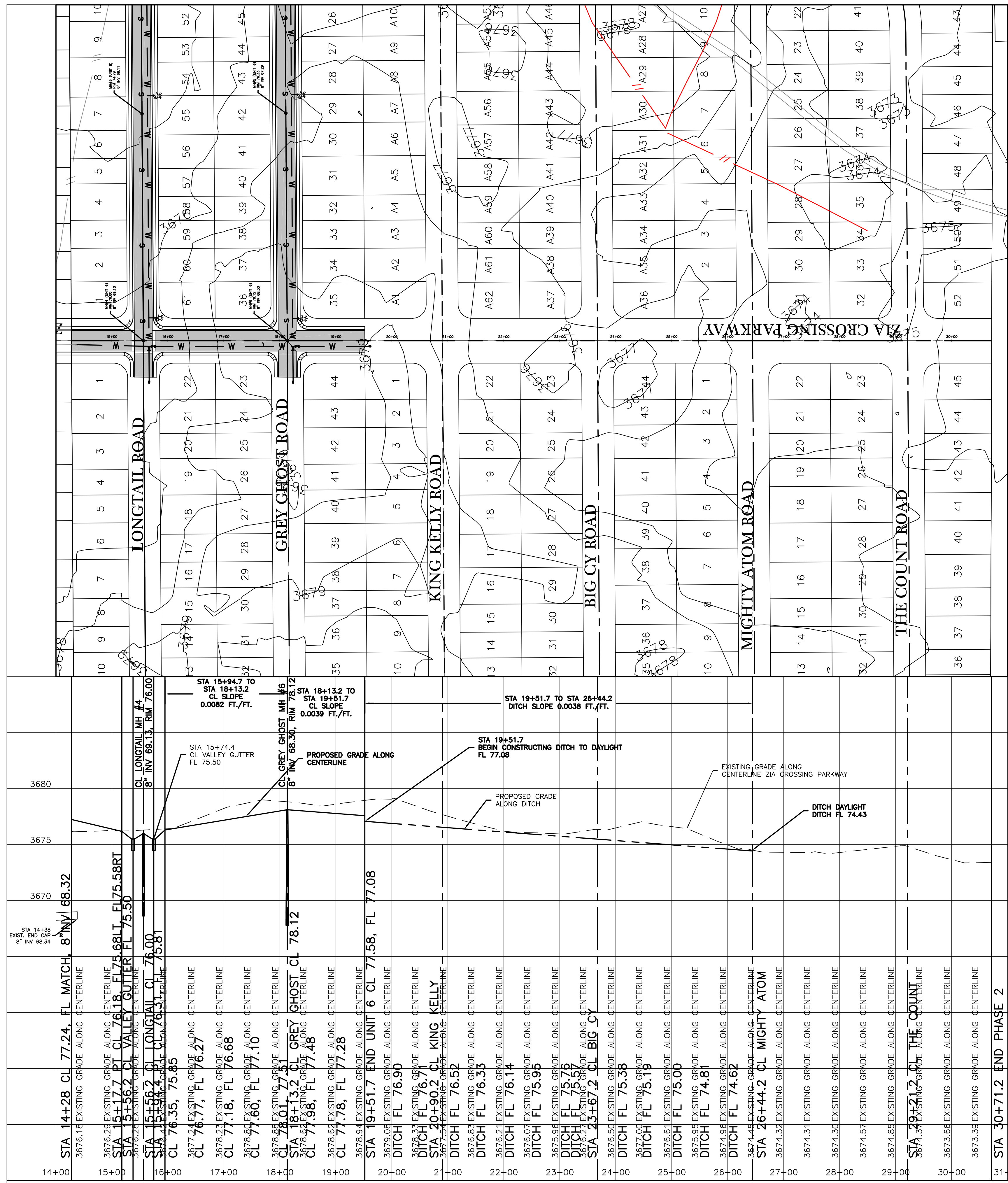
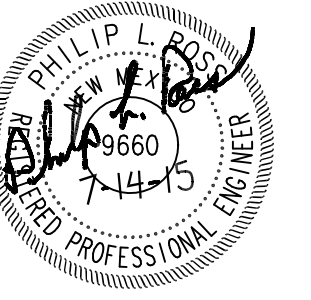
ZIA CROSSING UNIT 6
 UTILITY LAYOUT



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SHEET
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 A4 of A4 sheets

ORIGINAL DRAWING SIZE 24" X 36"

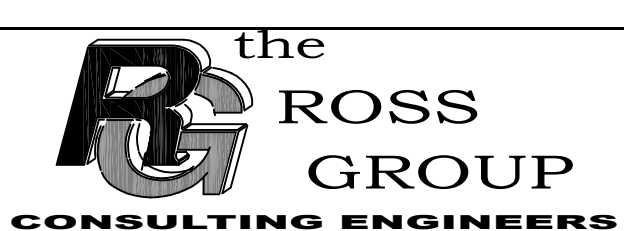


NOTE:
 1. ALL MANHOLE RIM ELEVATIONS SHOWN ARE APPROXIMATE, MATCH FINISHED GRADE.
 2. CONTOURS SHOWN ARE ONE FOOT CONTOURS BASED UPON EXISTING SURVEY PERFORMED BY FOUR CORNERS SURVEYING, INC. PRIOR TO UNIT 1 CONSTRUCTION.

NO.	REVISIONS	BY	DATE	DES

DATE
6/29/15

SCALE
H: 1" = 100'
V: 1" = 5'



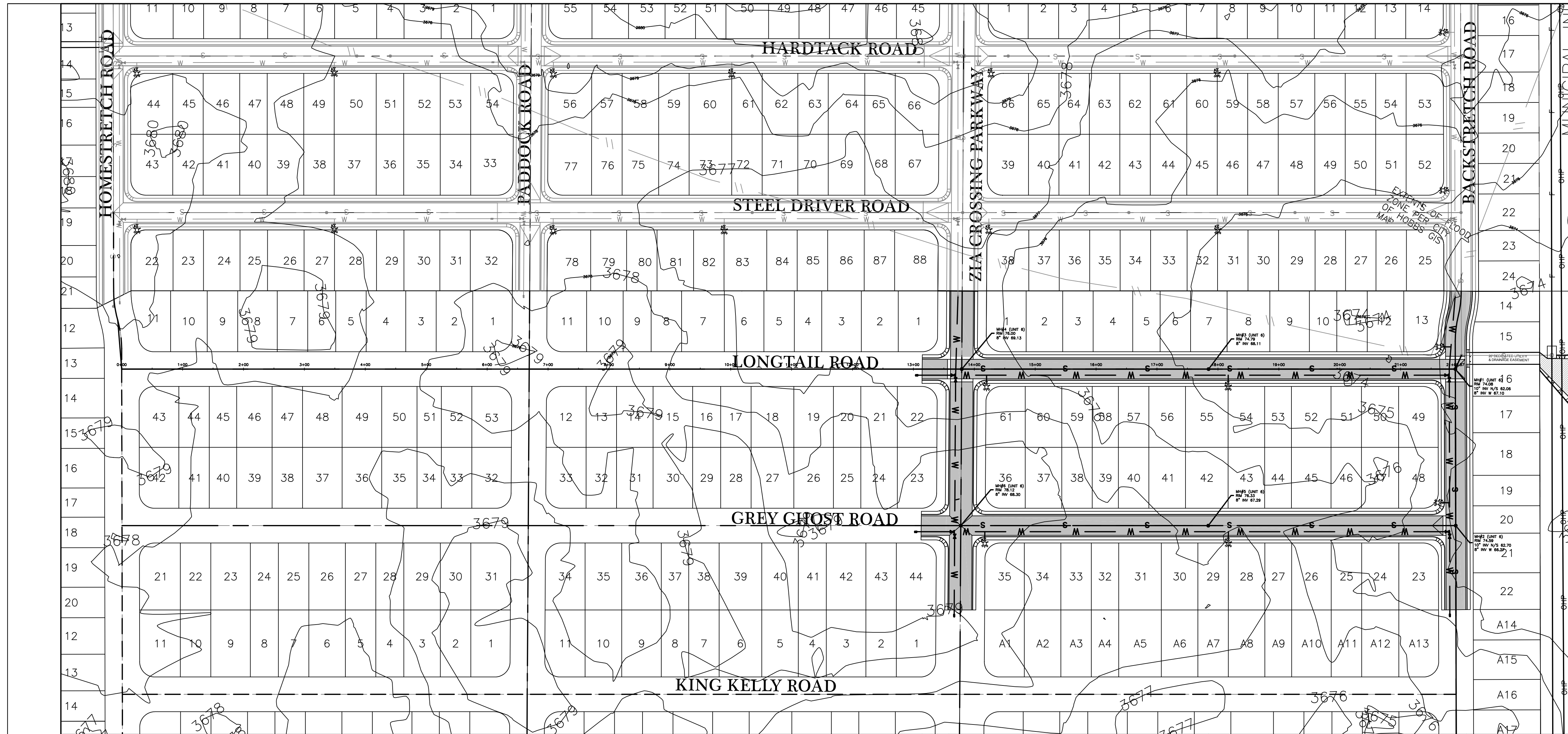
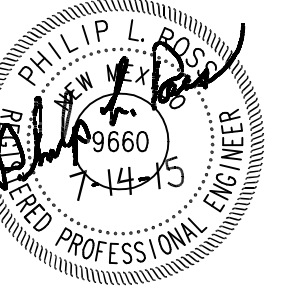
410 N. Dal Paso
 Hobbs, New Mexico 88240
 Telephone (575) 392-7918
 Fax (575) 392-9114

ZIA CROSSING SUBDIVISION
 PHASE 2 - UNIT 6

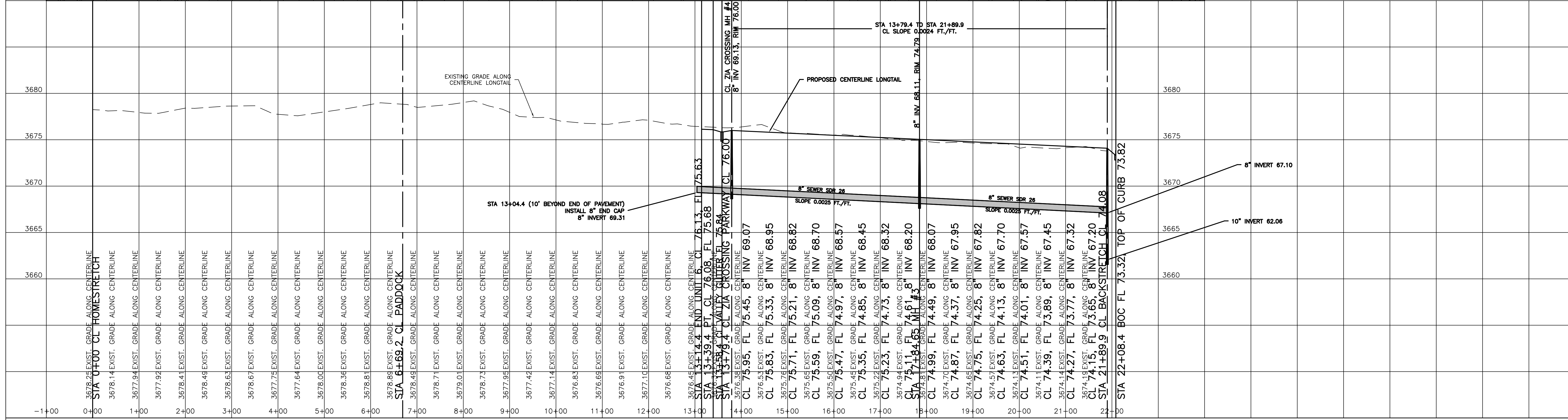
ZIA CROSSING PARKWAY PLAN & PROFILE
 STA 14+00 TO STA 30+71

SHEET
 B1
 OF
 B4

ORIGINAL DRAWING 24" X 36"



NOTE:
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NO.	REVISIONS	BY	DATE	DES
				DRN
				CHK
				APPD

DATE: 6/29/15
 SCALE: H: 1" = 100'
 V: 1" = 5'



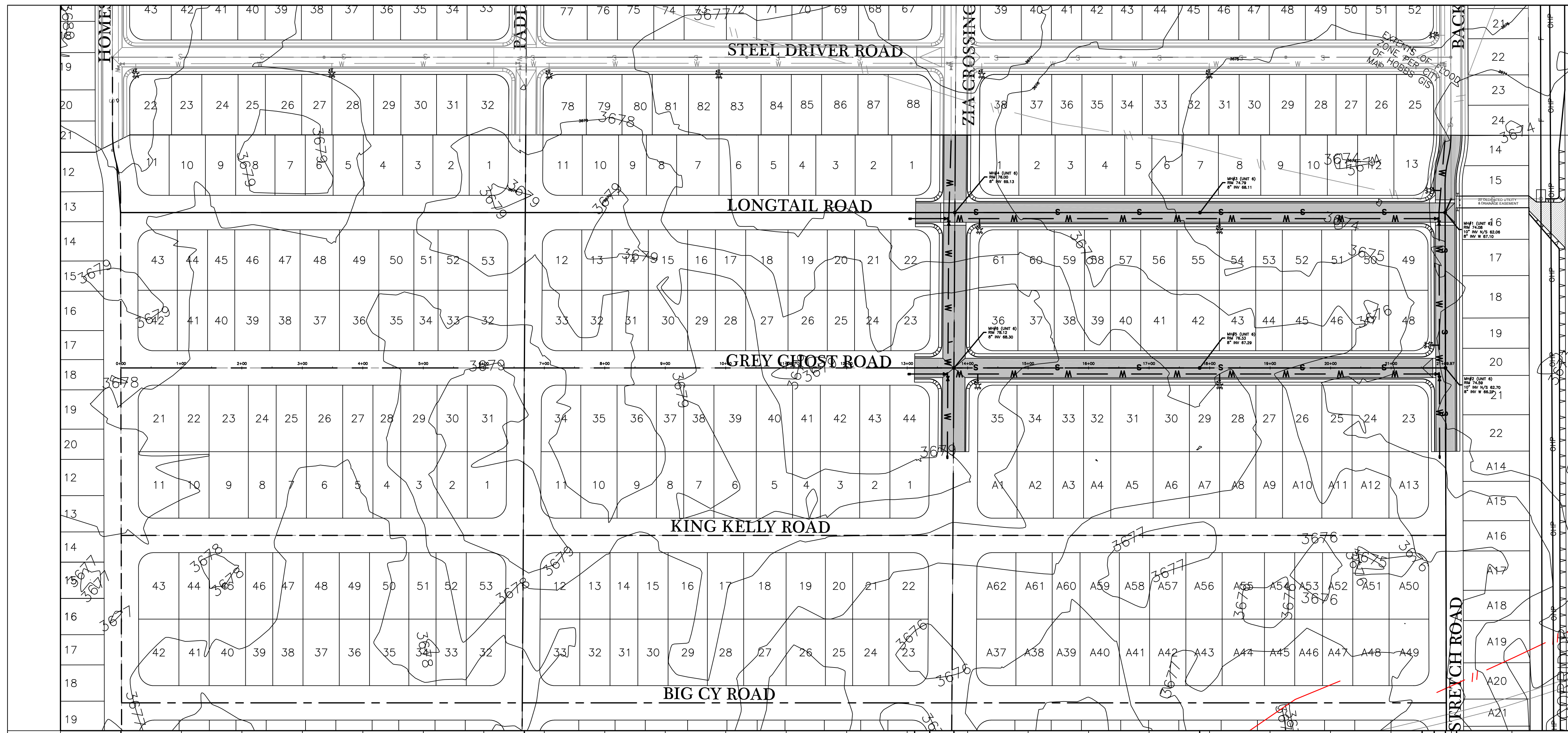
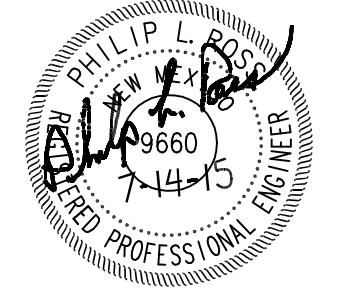
410 N. Dal Paso
 Hobbs, New Mexico 88240
 Telephone (575) 392-7918
 Fax (575) 392-9114

ZIA CROSSING SUBDIVISION
 PHASE 2 - UNIT 6

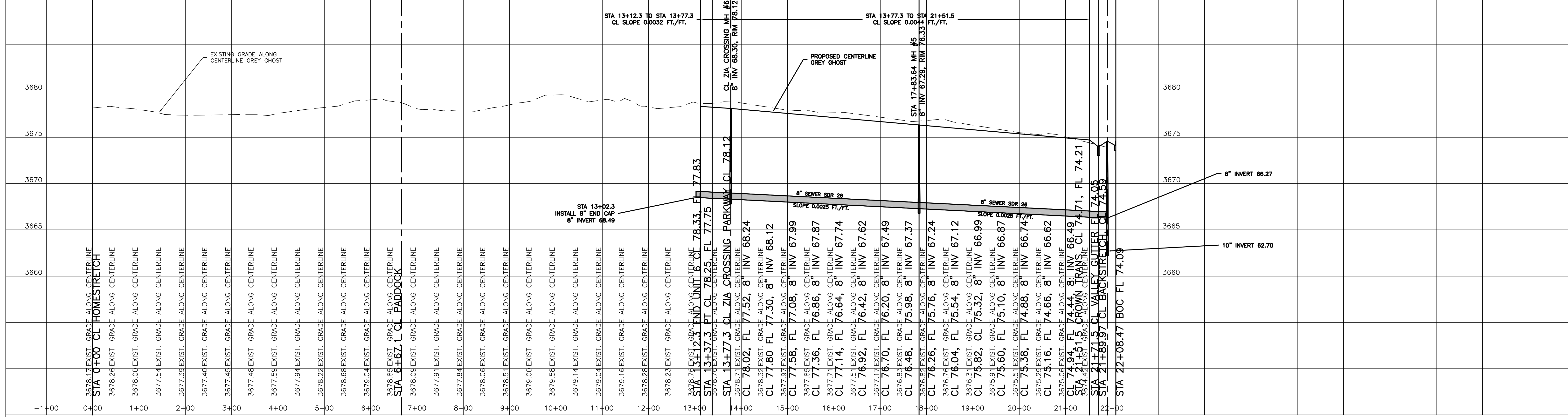
LONGTAIL PLAN & PROFILE
 STA 0+00 TO STA 21+89.9

SHEET
 B2
 OF
 B4

ORIGINAL DRAWING 24" X 36"



NOTE:
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NO.	REVISIONS	BY	DATE	DES
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				CHK
				APPD

DATE: 6/29/15
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 V: 1" = 5'

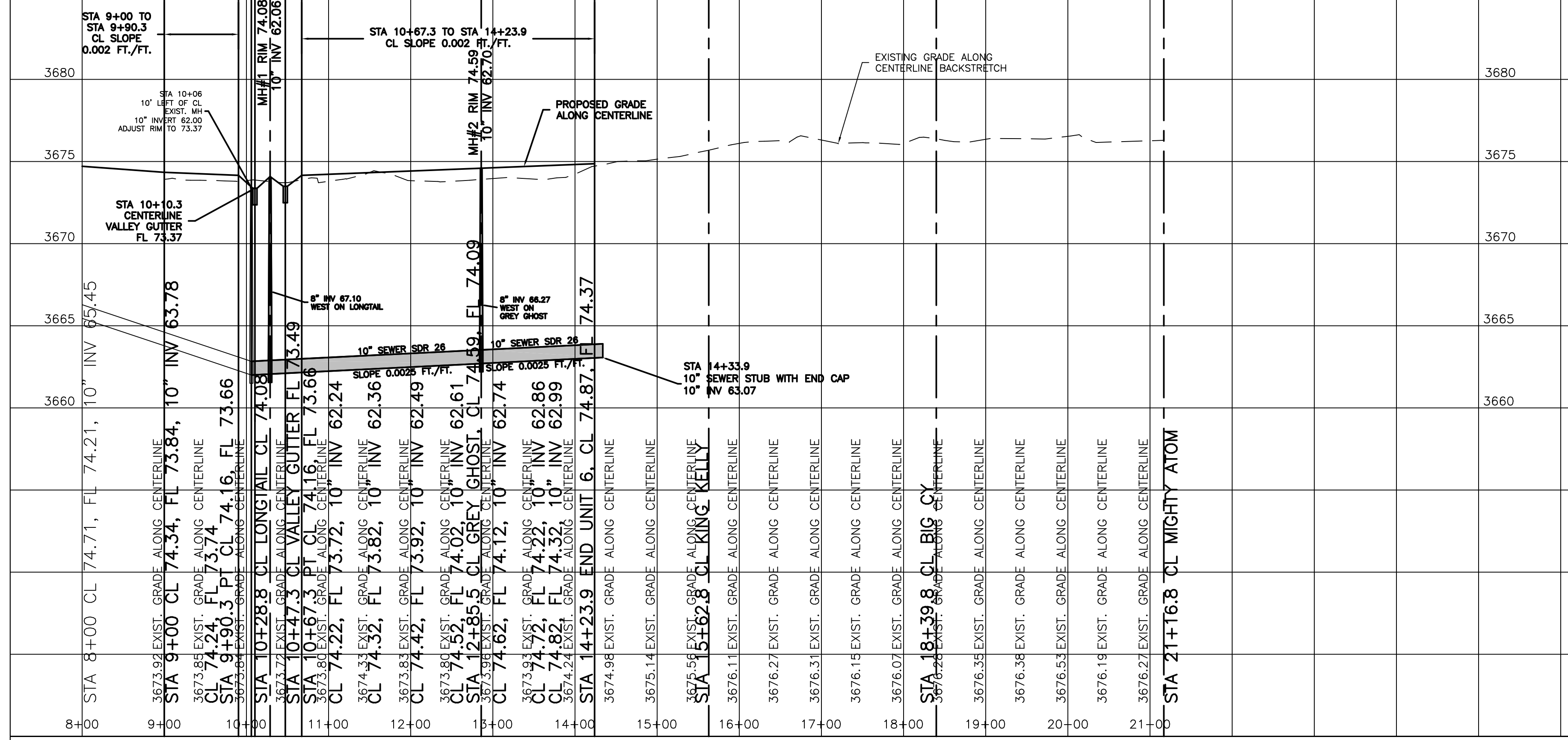
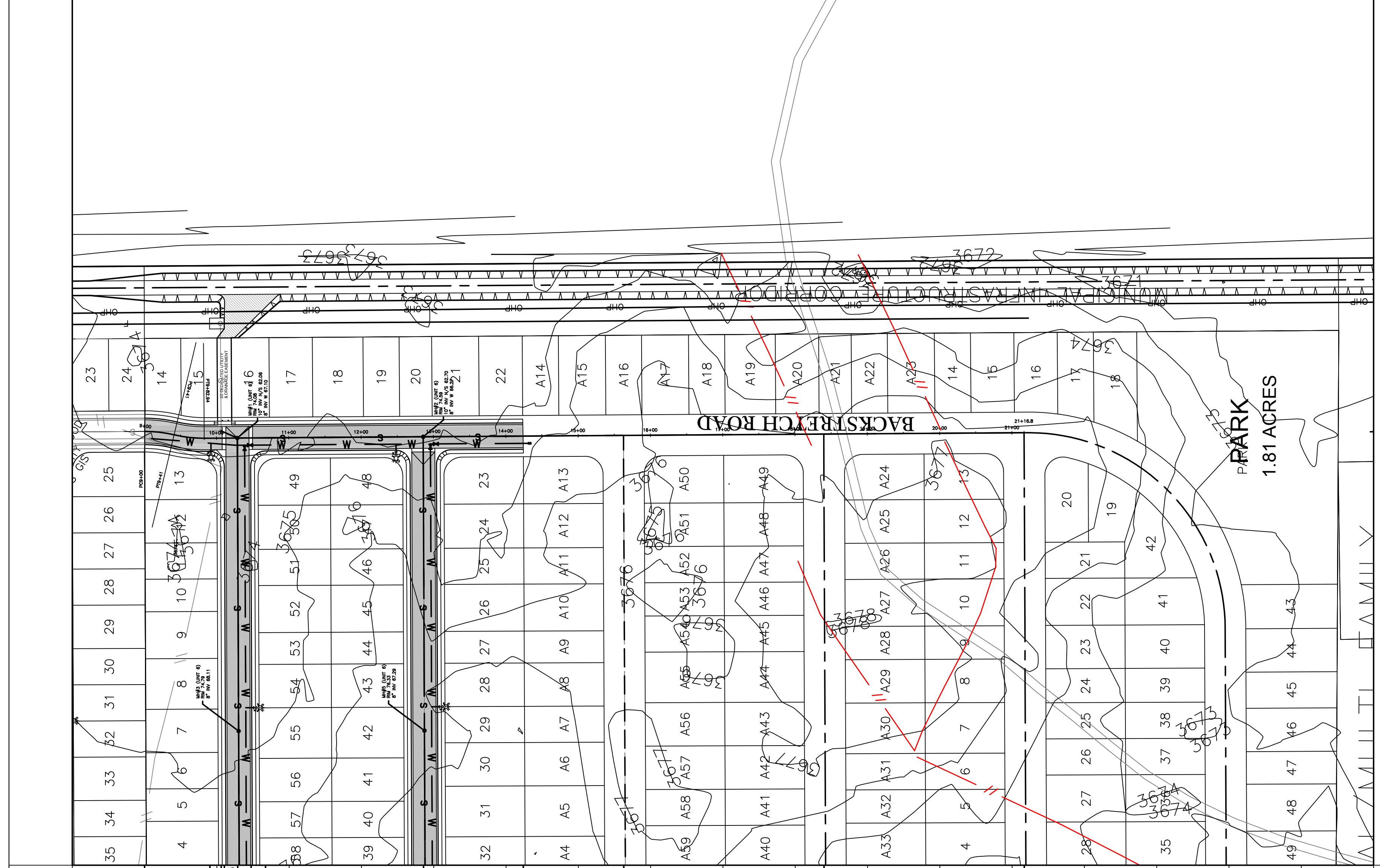
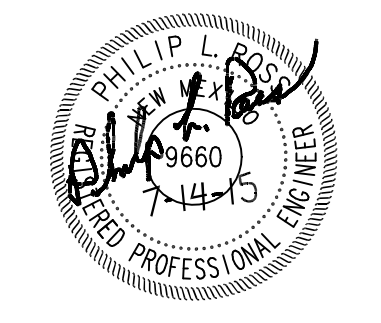
the ROSS GROUP
 CONSULTING ENGINEERS
 410 N. Dal Paso
 Hobbs, New Mexico 88240
 Telephone (575) 392-7918
 Fax (575) 392-9114

ZIA CROSSING SUBDIVISION
 PHASE 2 - UNIT 6

GREY GHOST PLAN & PROFILE
 STA 0+00 TO STA 21+89.97

SHEET
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 B4

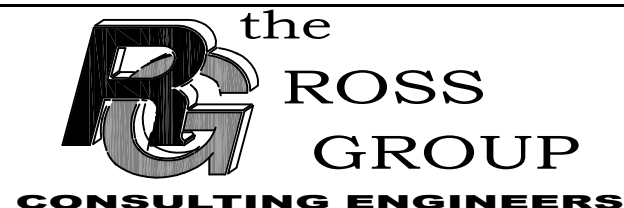
ORIGINAL DRAWING 24" X 36"



NOTE:
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NO.	REVISIONS	BY	DATE	DES

DATE: 6/26/15
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 V: 1" = 5'



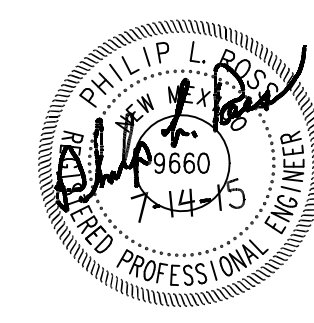
410 N. Dal Paso
 Hobbs, New Mexico 88240
 Telephone (575) 392-7918
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ZIA CROSSING SUBDIVISION
 PHASE 2 - UNIT 6

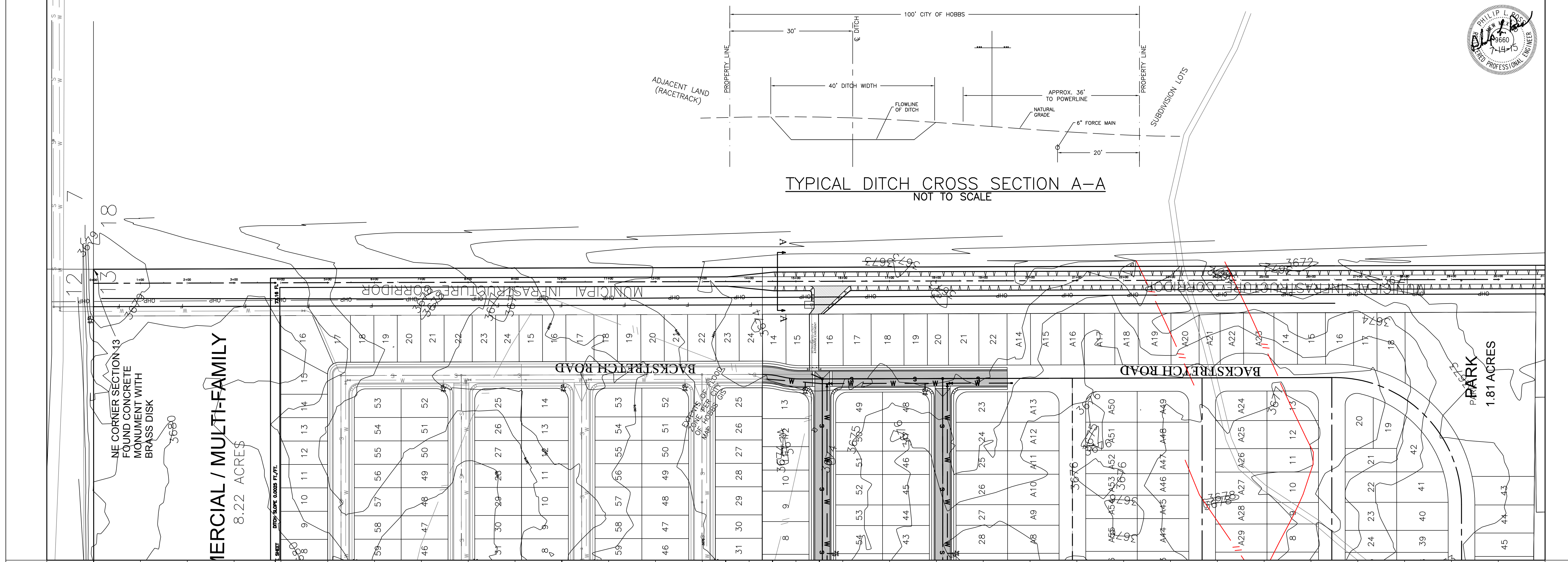
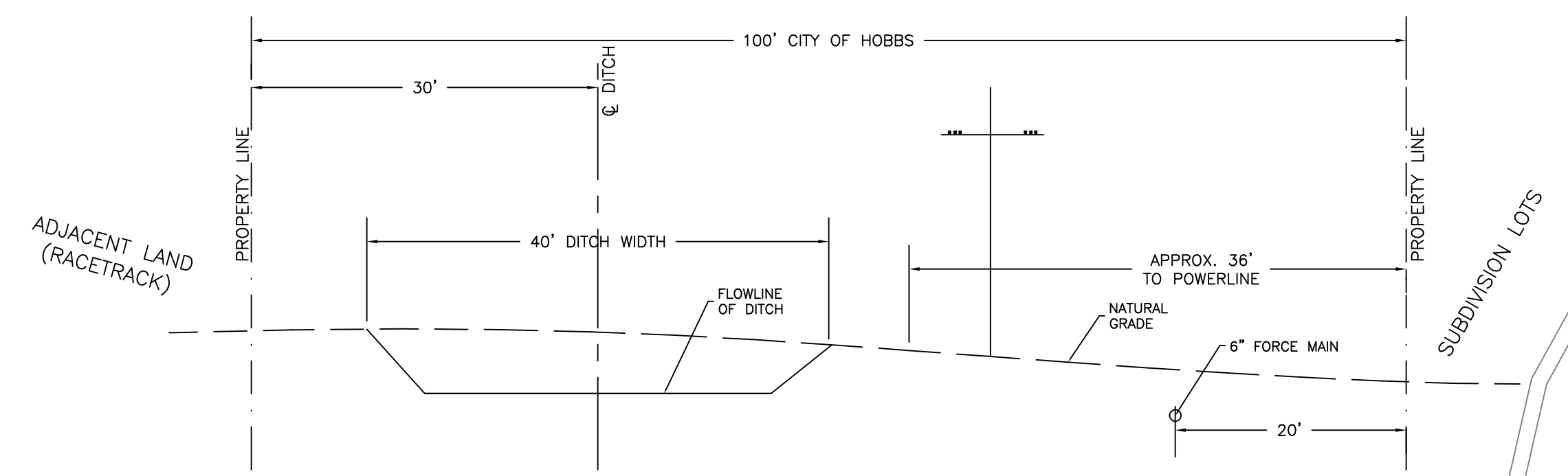
BACKSTRETCH PLAN & PROFILE
 STA 9+00 TO STA 21+6.8

SHEET
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 OF
 B4

ORIGINAL DRAWING 24" X 36"



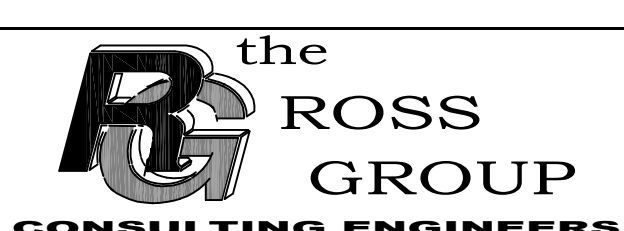
TYPICAL DITCH CROSS SECTION A-A
NOT TO SCALE



Station	Description	Elevation	Notes
3680	STA 3+88 TO STA 10+00 DITCH SLOPE 0.00369 FT./FT.	3680	
3675		3675	
3670		3670	
3665		3665	
3680	STA 10+00 TO STA 14+50 DITCH SLOPE 0.0041 FT./FT.	3680	
3675		3675	
3670		3670	
3665		3665	
3680	STA 14+50 TO STA 15+50 DITCH SLOPE 0.0105 FT./FT.	3680	
3675		3675	
3670		3670	
3665		3665	
3680	STA 15+50 TO STA 36+00 DITCH SLOPE 0.001512 FT./FT.	3680	
3675		3675	
3670		3670	
3665		3665	

NO.	REVISIONS	BY	DATE	DES
				DRN
				CHK
				APPD

DATE	7/06/15
SCALE	H: 1" = 100' V: 1" = 5'



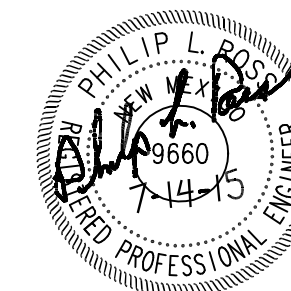
410 N. Dal Paso
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ZIA CROSSING SUBDIVISION
 PHASE 2 - UNIT 6

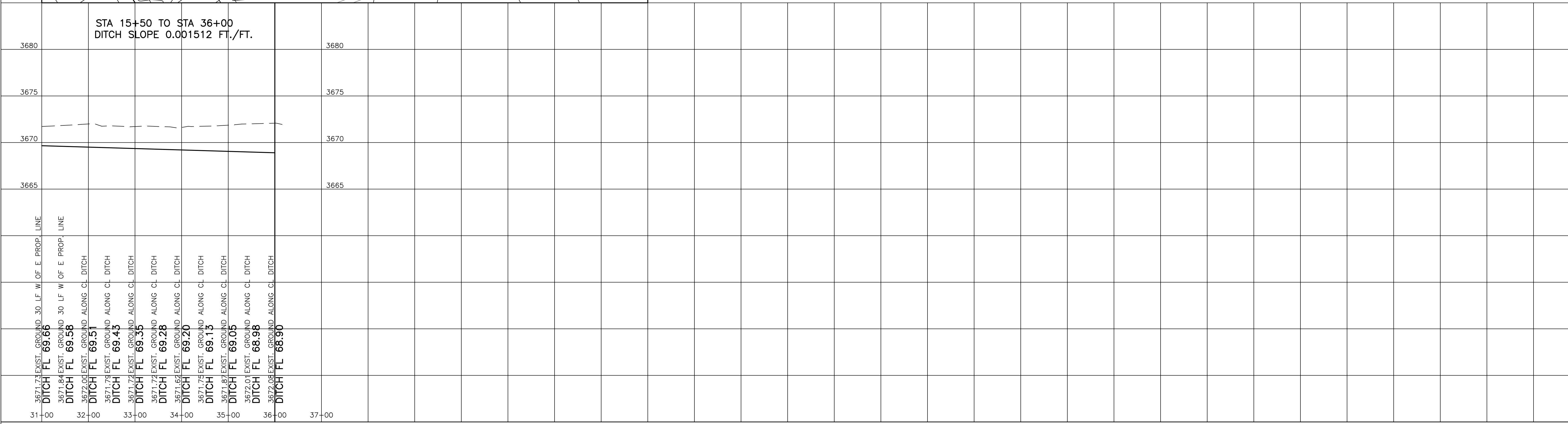
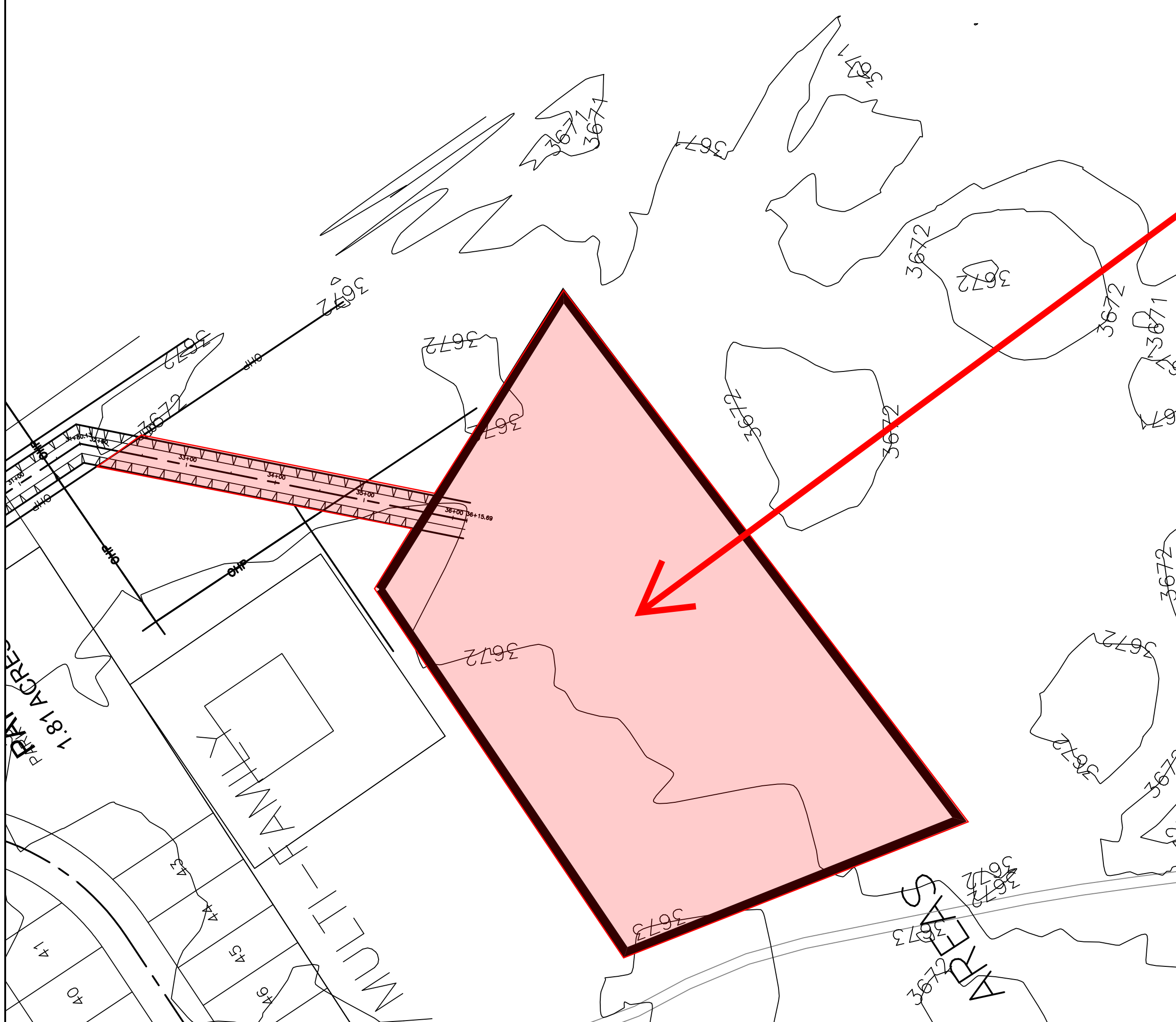
EAST DRAINAGE DITCH PLAN & PROFILE
 STA 0+00 TO STA 31+00

SHEET
 D1
 OF
 D2

ORIGINAL DRAWING 24" X 36"

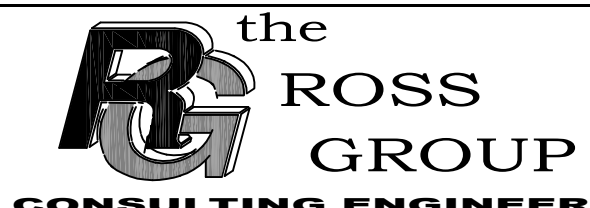


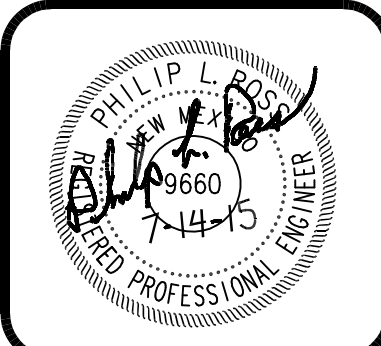
Need separate Design, Construction and Dedication Plan Set for conveyance and retention pond. Should be concurrent with Unit 6.



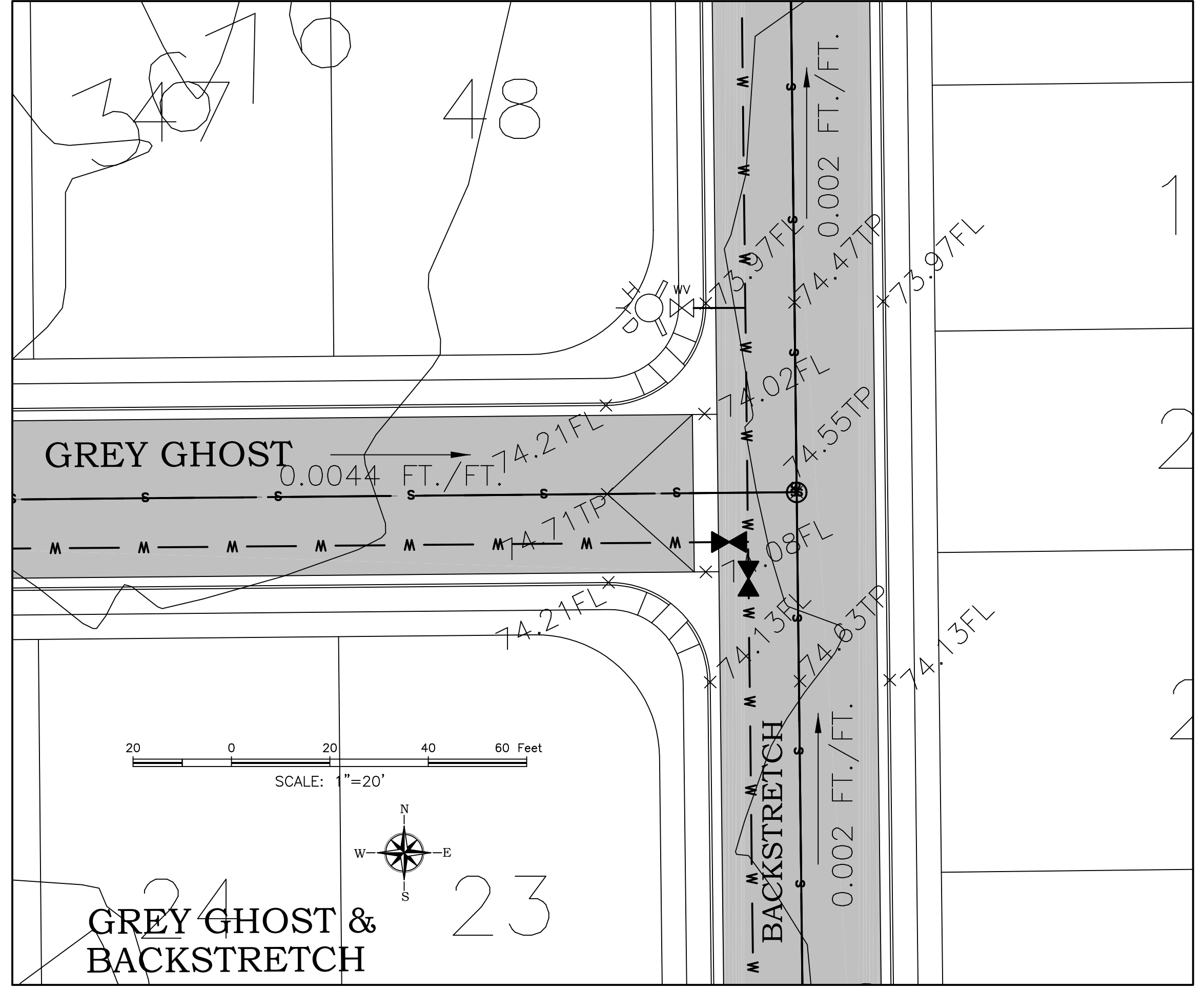
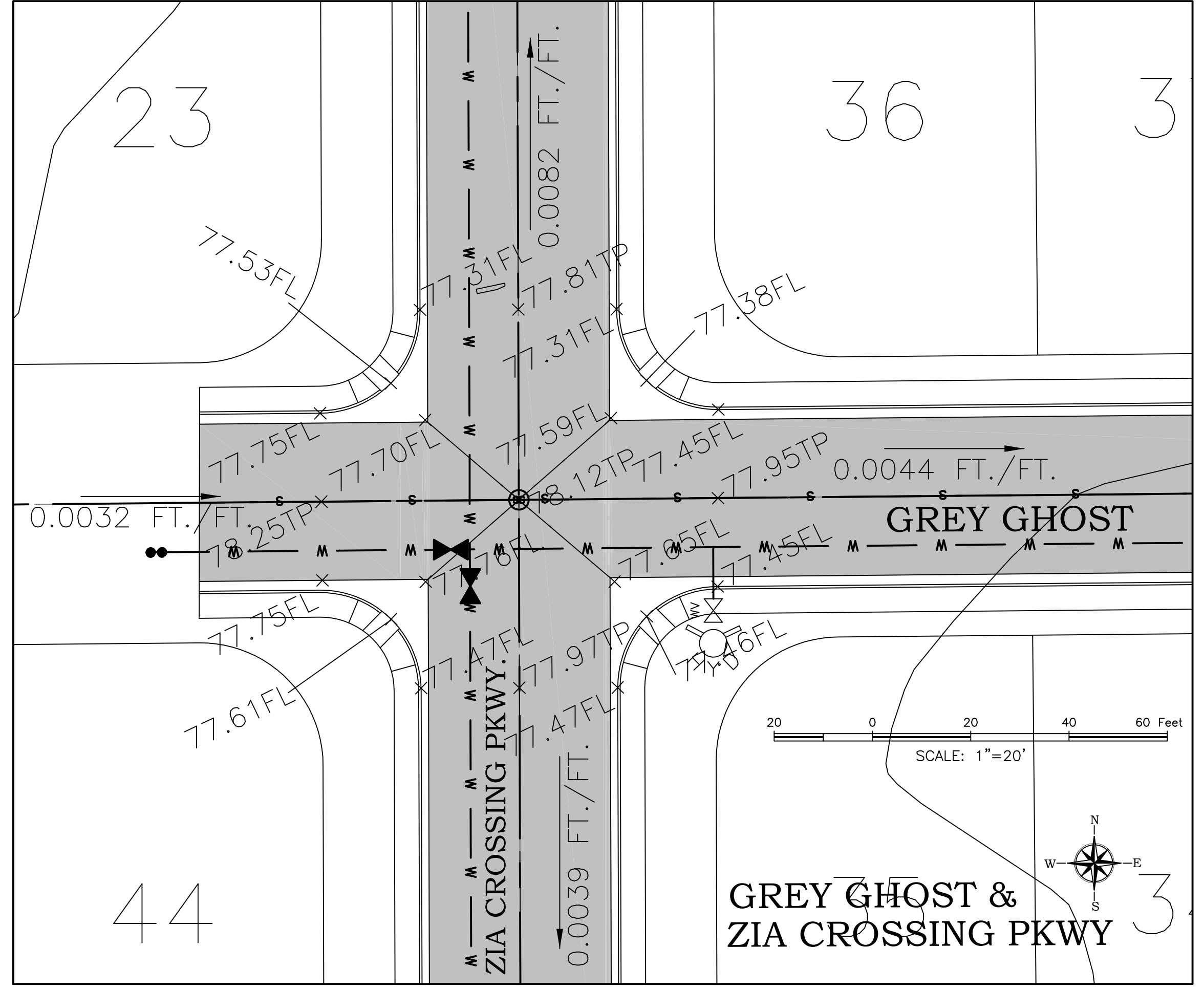
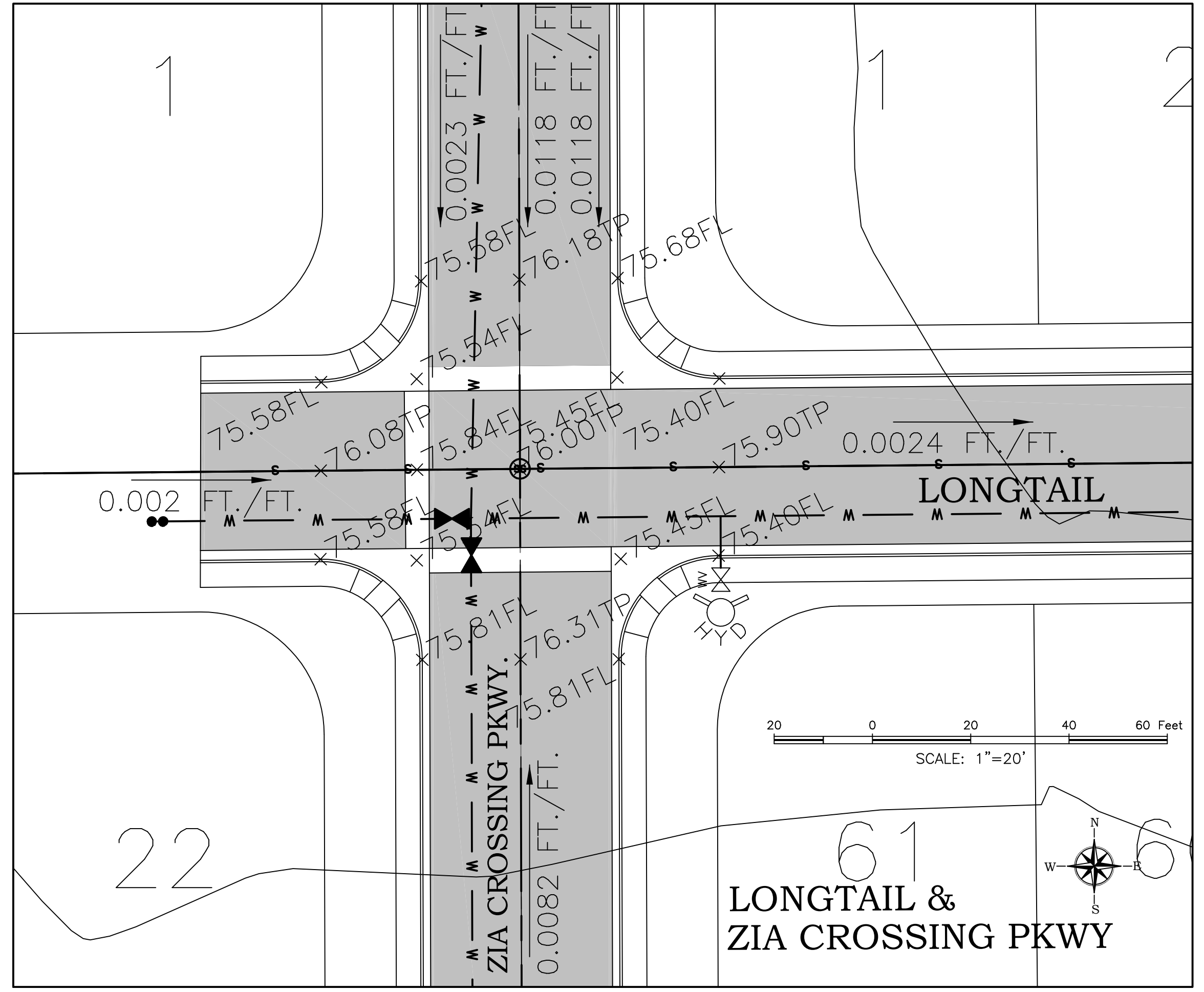
STA 15+50 TO STA 36+00
DITCH SLOPE 0.001512 FT./FT.

31+00	3671.73 EXIST. GROUND 30 LF W OF E PROP. LINE DITCH FL 69.66
32+00	3671.84 EXIST. GROUND 30 LF W OF E PROP. LINE DITCH FL 69.58
33+00	3672.00 EXIST. GROUND ALONG CL DITCH DITCH FL 69.51
	3671.79 EXIST. GROUND ALONG CL DITCH DITCH FL 69.43
	3671.72 EXIST. GROUND ALONG CL DITCH DITCH FL 69.35
34+00	3671.72 EXIST. GROUND ALONG CL DITCH DITCH FL 69.28
	3671.62 EXIST. GROUND ALONG CL DITCH DITCH FL 69.20
	3671.74 EXIST. GROUND ALONG CL DITCH DITCH FL 69.13
35+00	3671.87 EXIST. GROUND ALONG CL DITCH DITCH FL 69.05
	3672.01 EXIST. GROUND ALONG CL DITCH DITCH FL 88.98
36+00	3672.08 EXIST. GROUND ALONG CL DITCH DITCH FL 88.90
37+00	

NO. REVISIONS				BY	DATE	DES	DATE	SCALE		410 N. Dal Paso Hobbs, New Mexico 88240 Telephone (575) 392-7918 Fax (575) 392-9114	ZIA CROSSING SUBDIVISION PHASE 2 - UNIT 6	EAST DRAINAGE DITCH PLAN & PROFILE STA 31+00 TO STA 36+00	SHEET
DRN							7/06/15	H: 1" = 100'					D2
CHK								V: 1" = 5'					OF
APPD										D2			

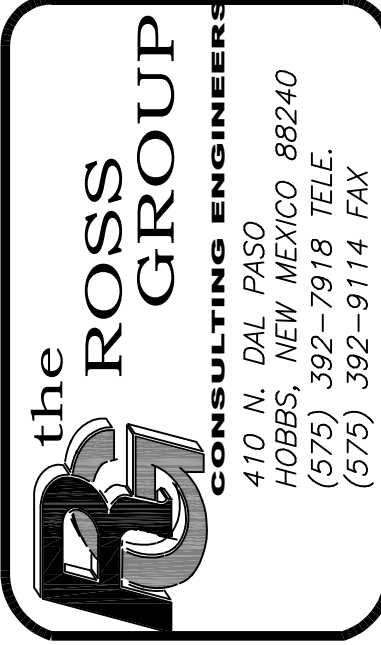


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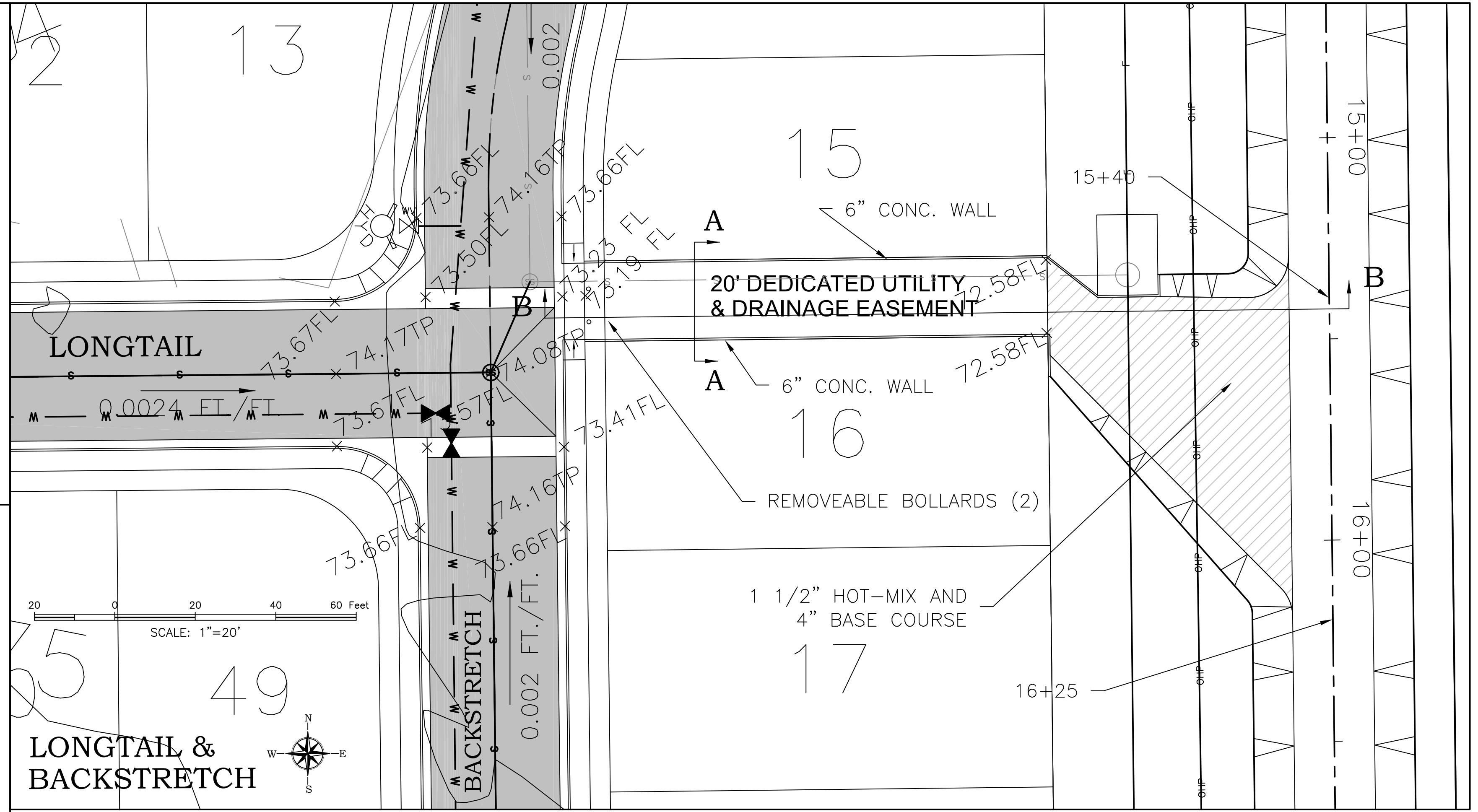
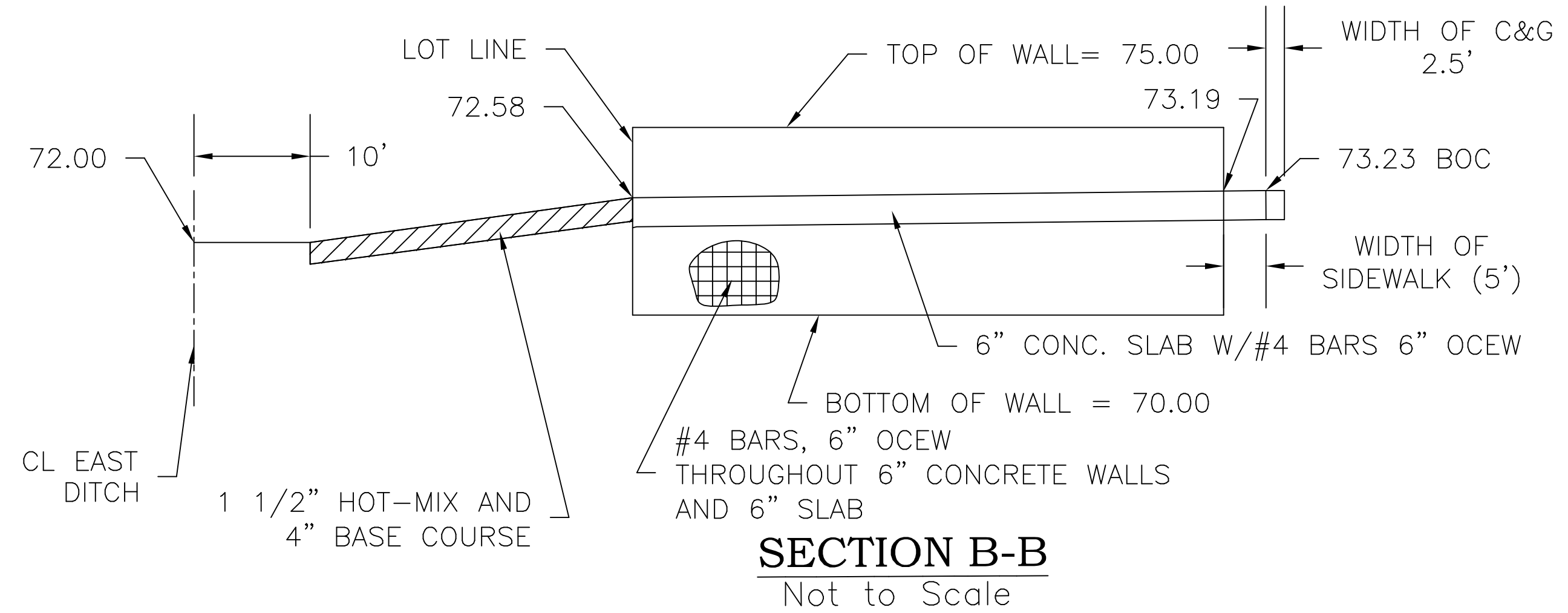
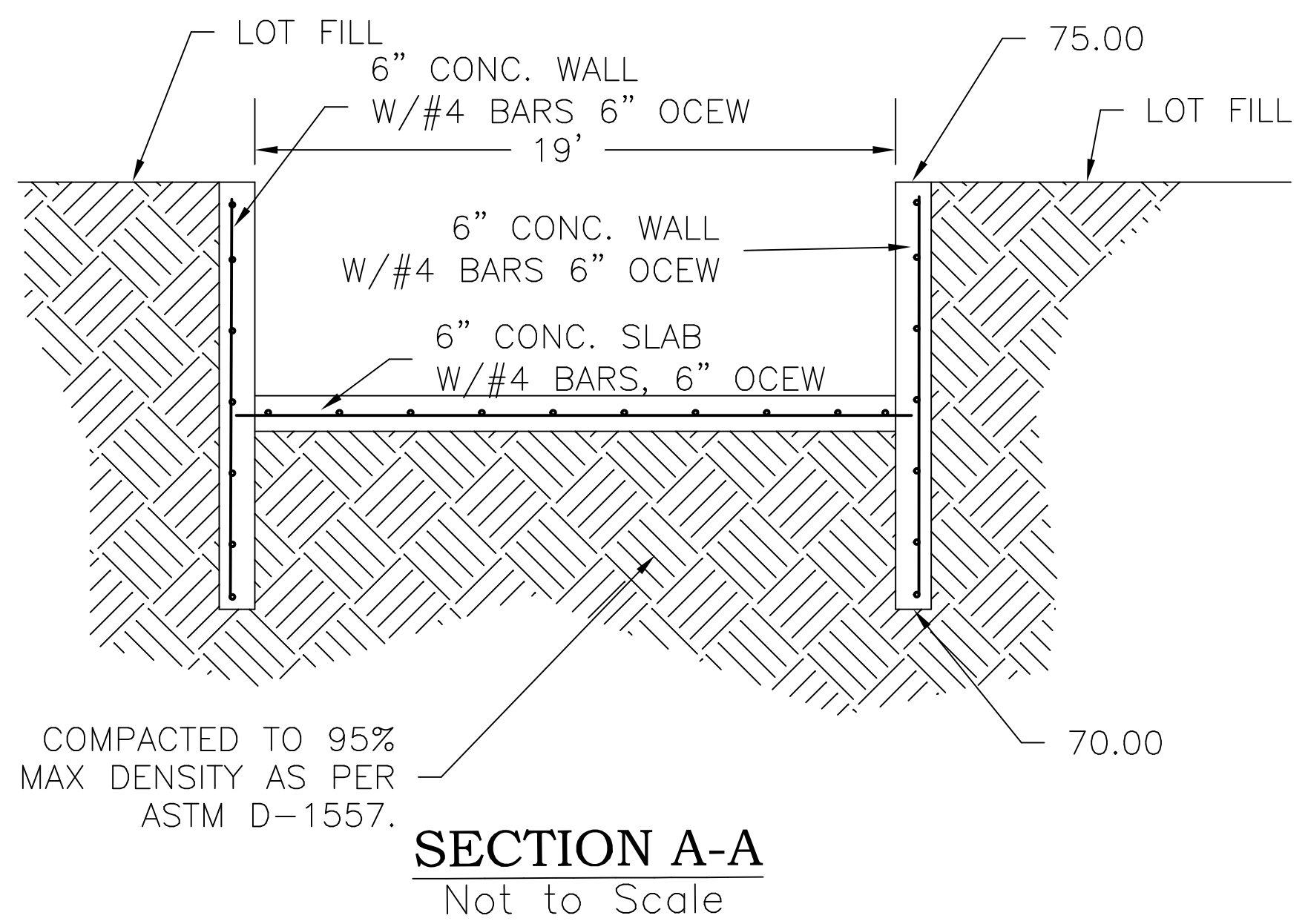
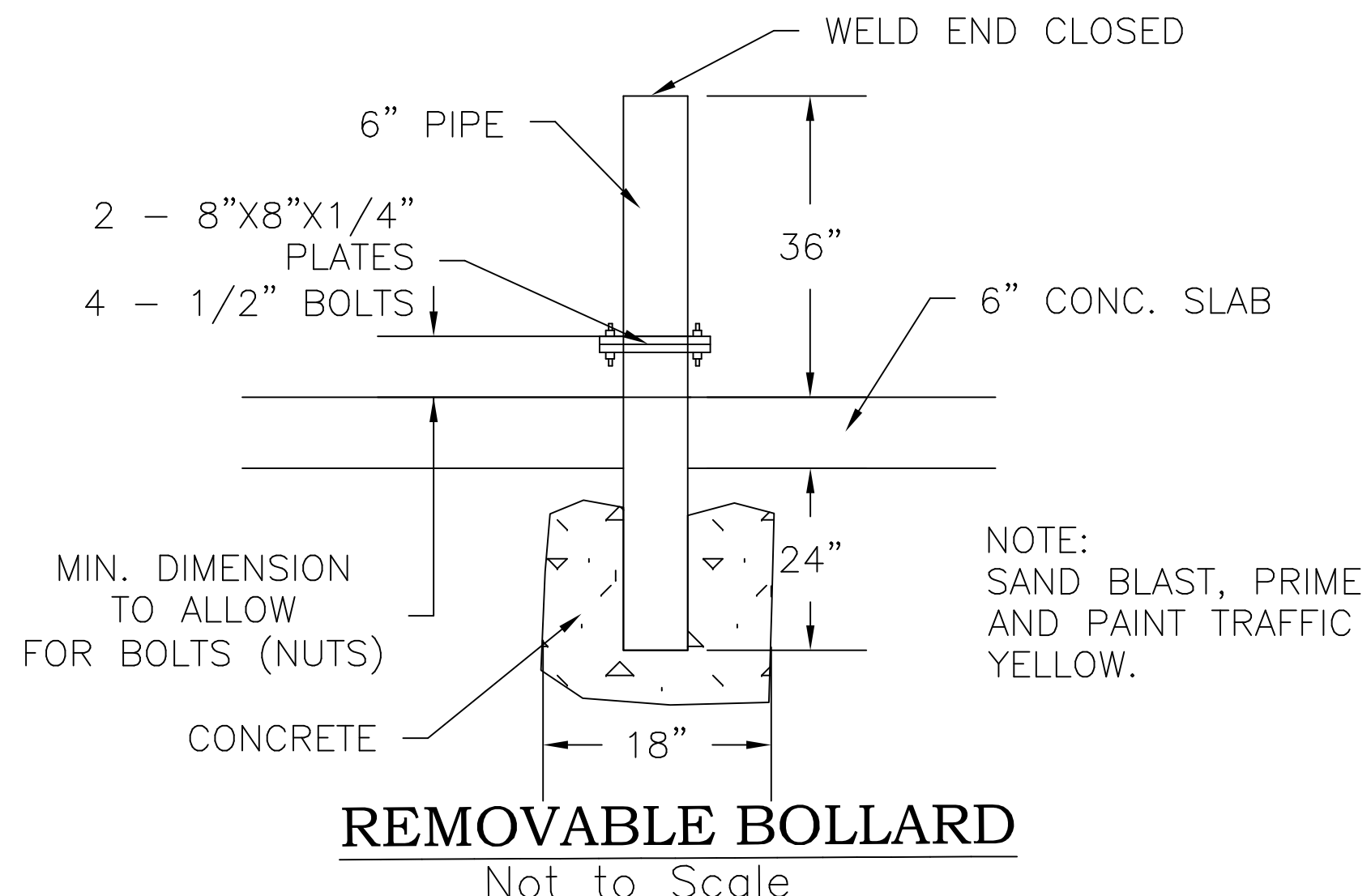
ZIA CROSSING UNIT 6

INTERSECTION DETAILS



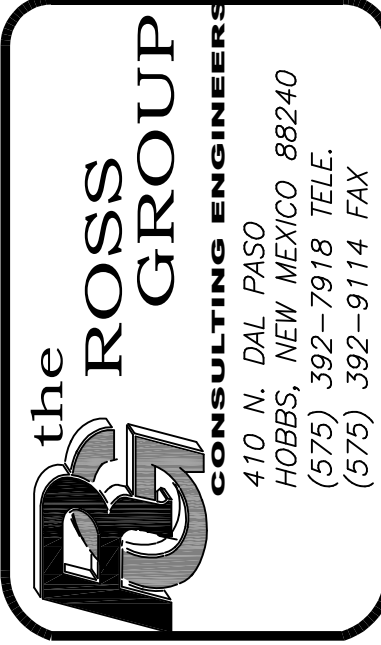
Drawn By:	Checked by:
SMM	PLR
Date:	Disk:
7/06/15	GENERAL
File Name:	Job No.:
BASE	

ORIGINAL DRAWING SIZE 24" X 36"



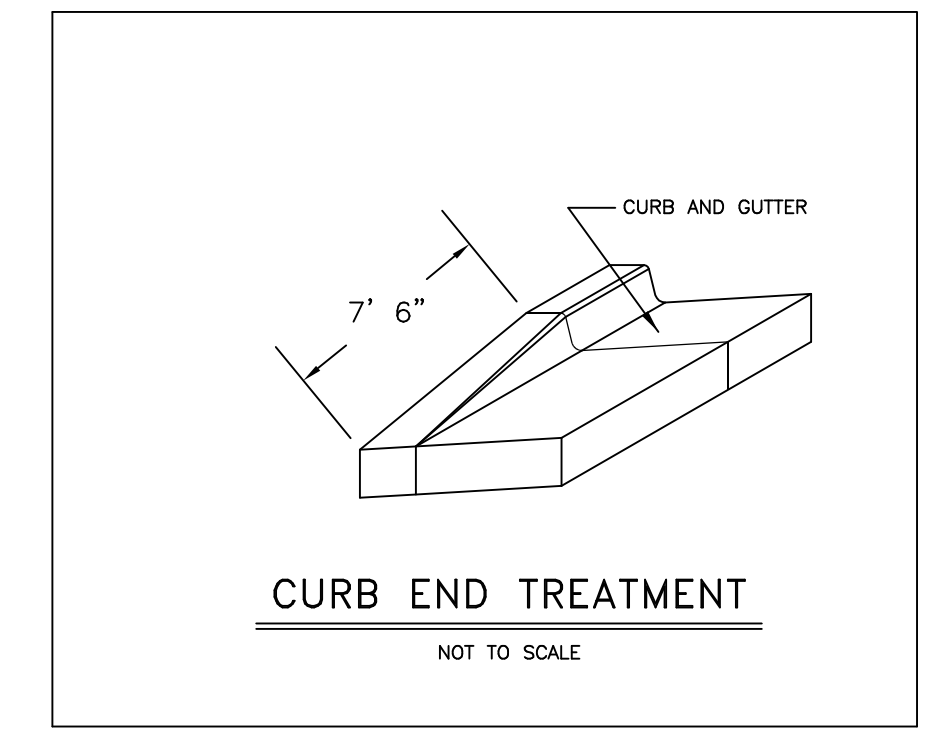
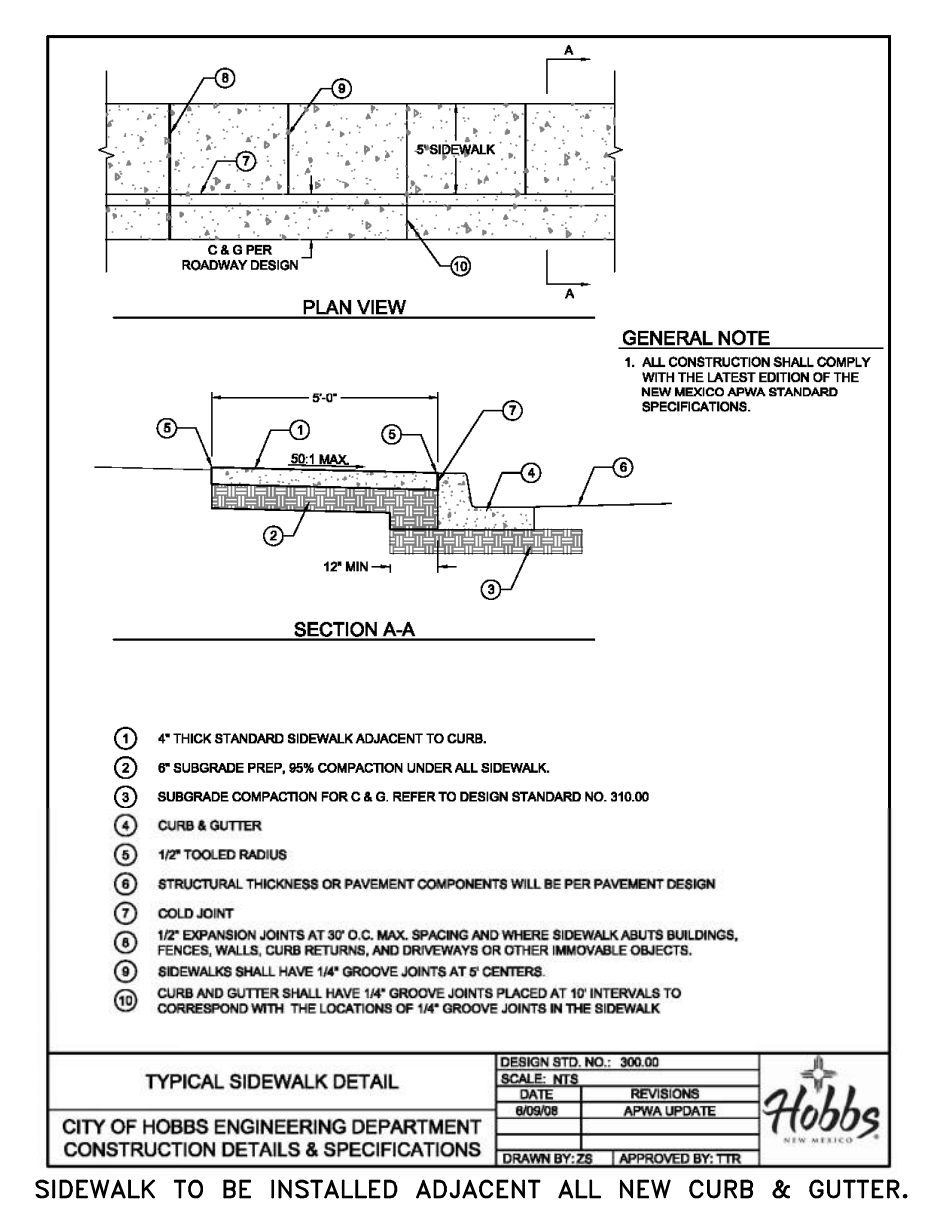
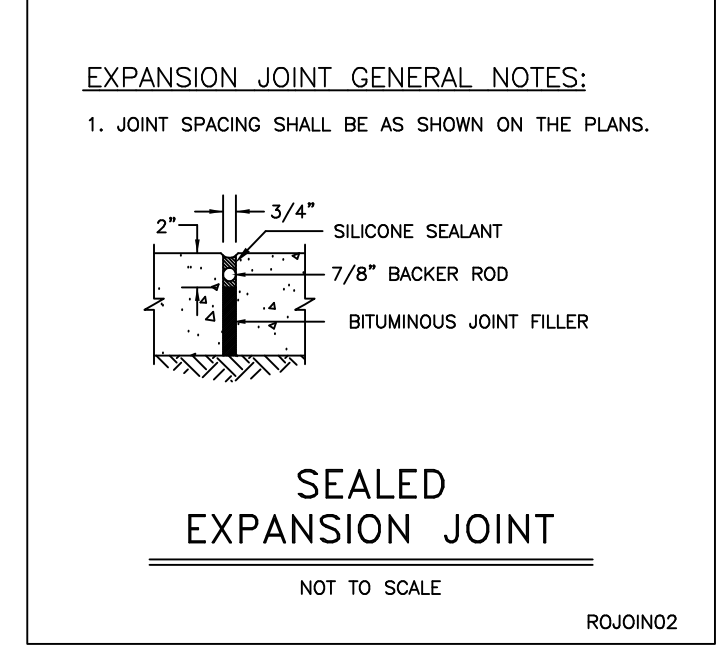
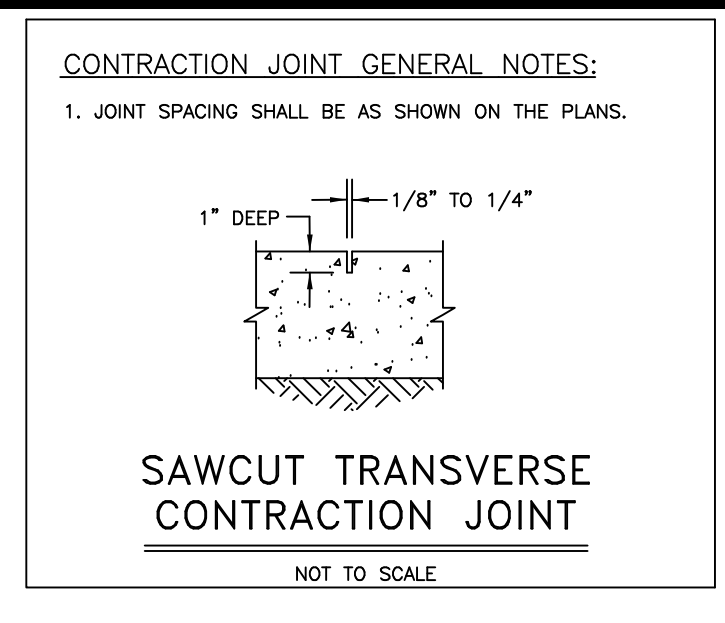
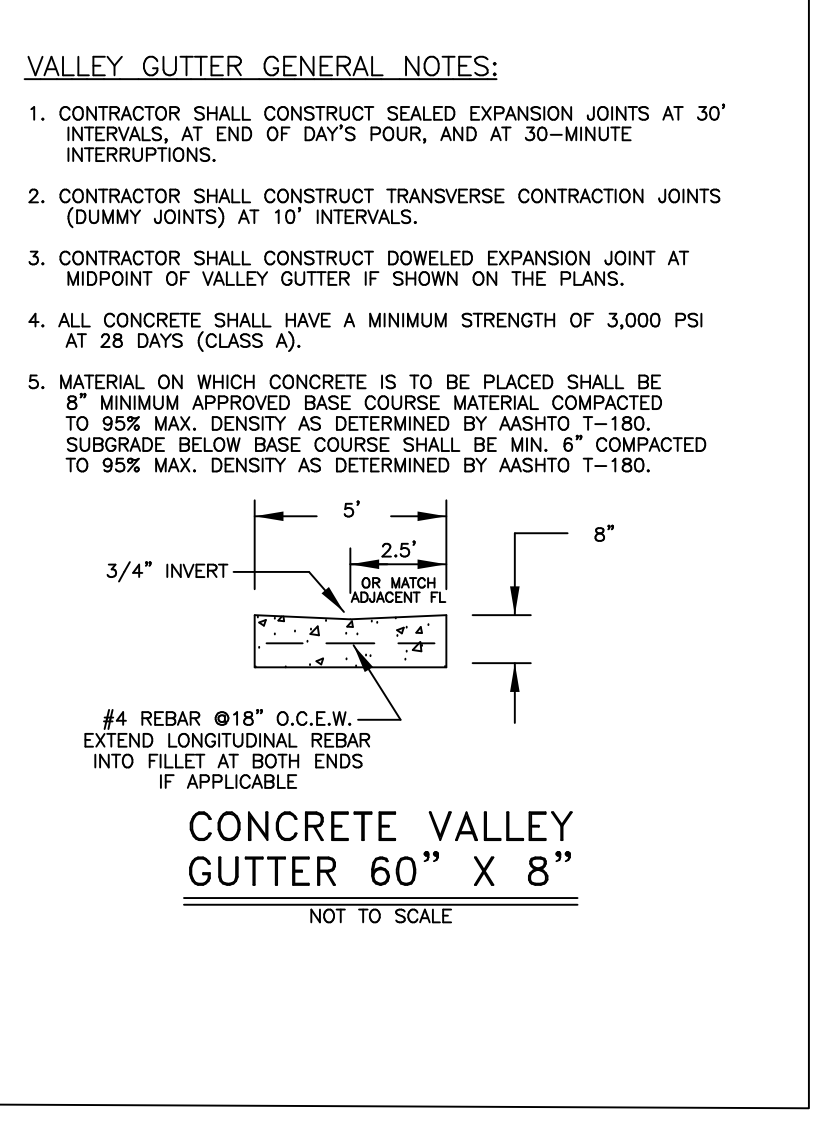
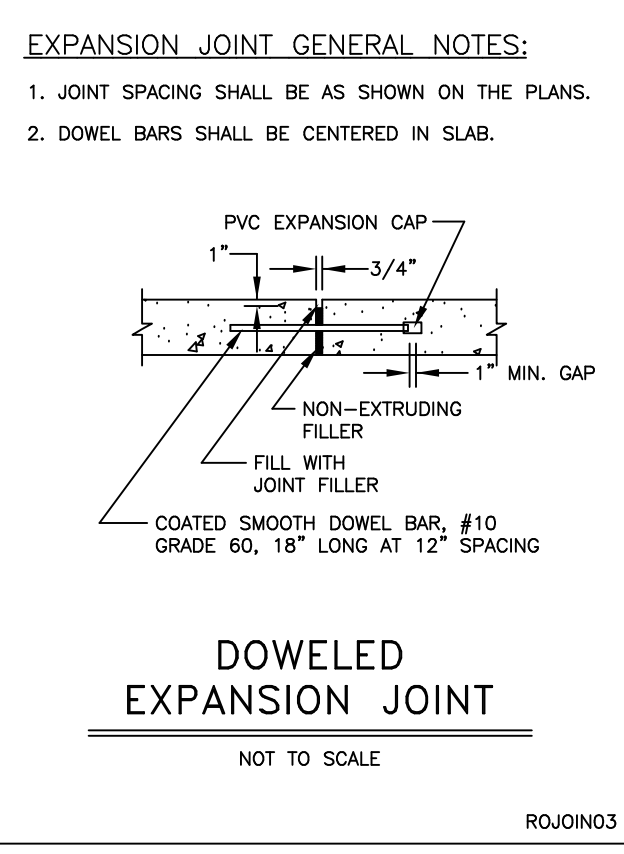
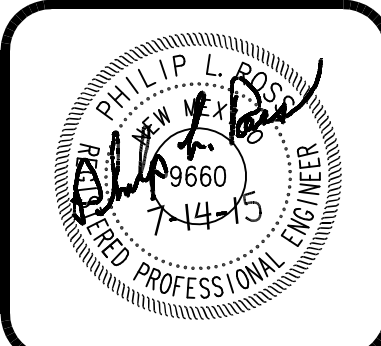
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ZIA CROSSING UNIT 6
INTERSECTION DETAILS CONT.
AND DRAINAGE DITCH FOR UNIT 6 DETAILS



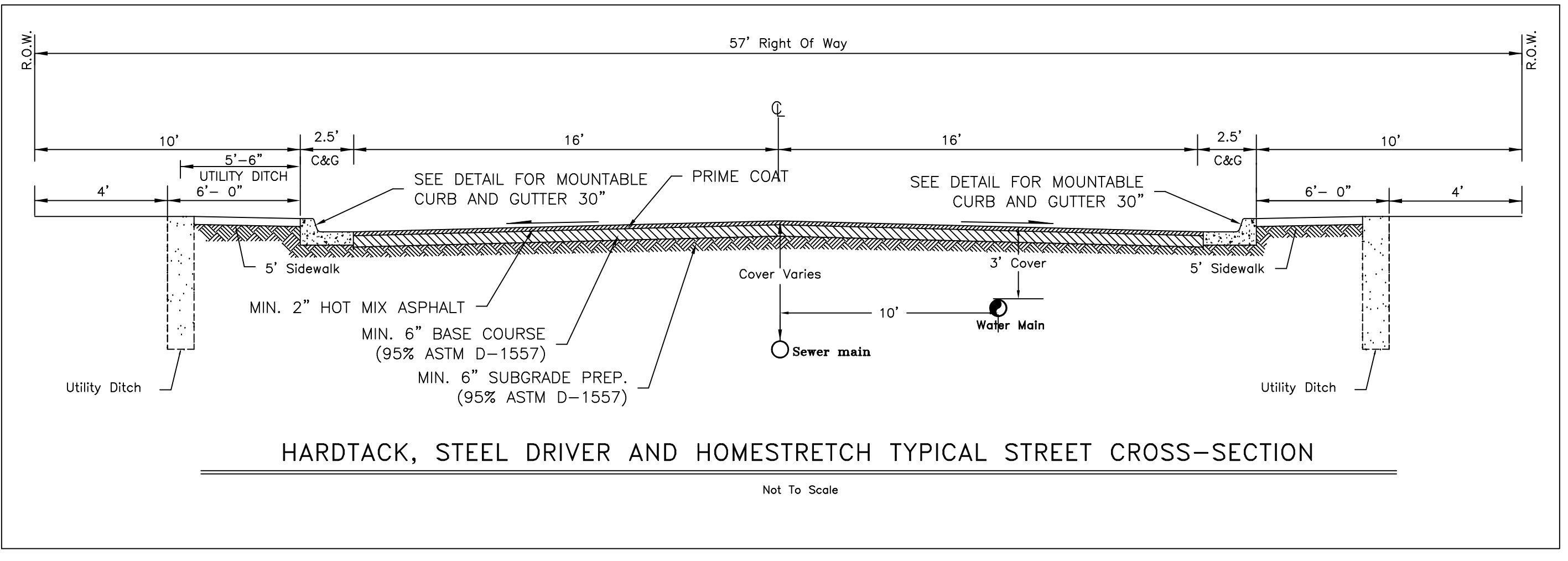
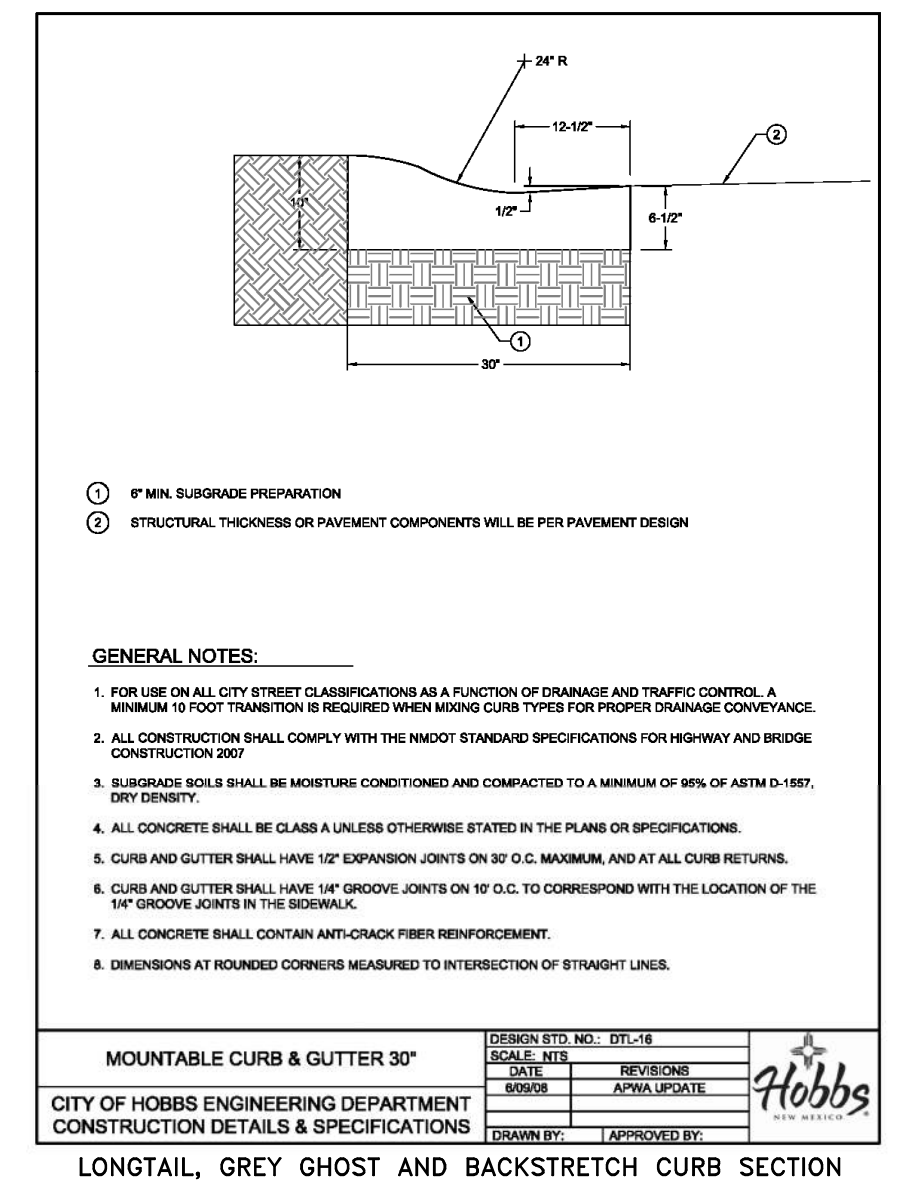
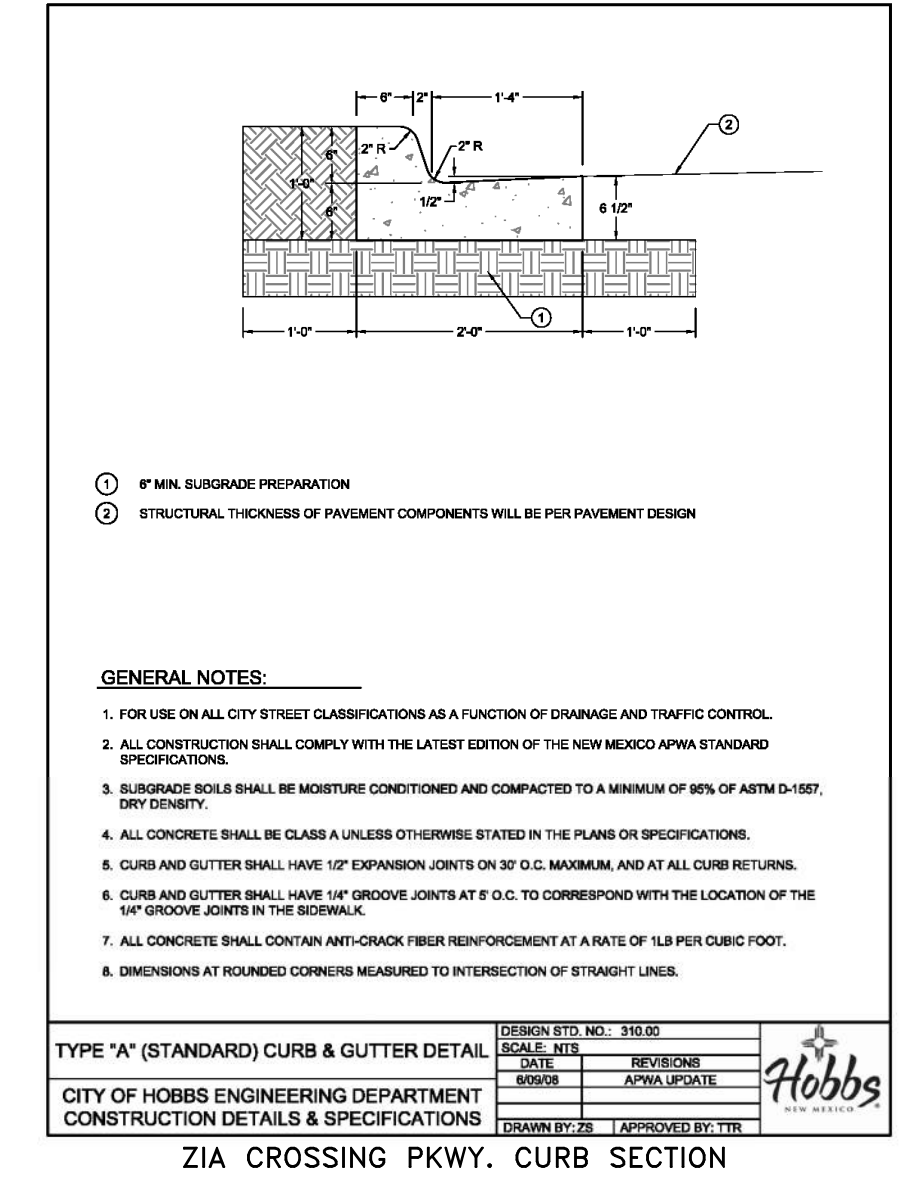
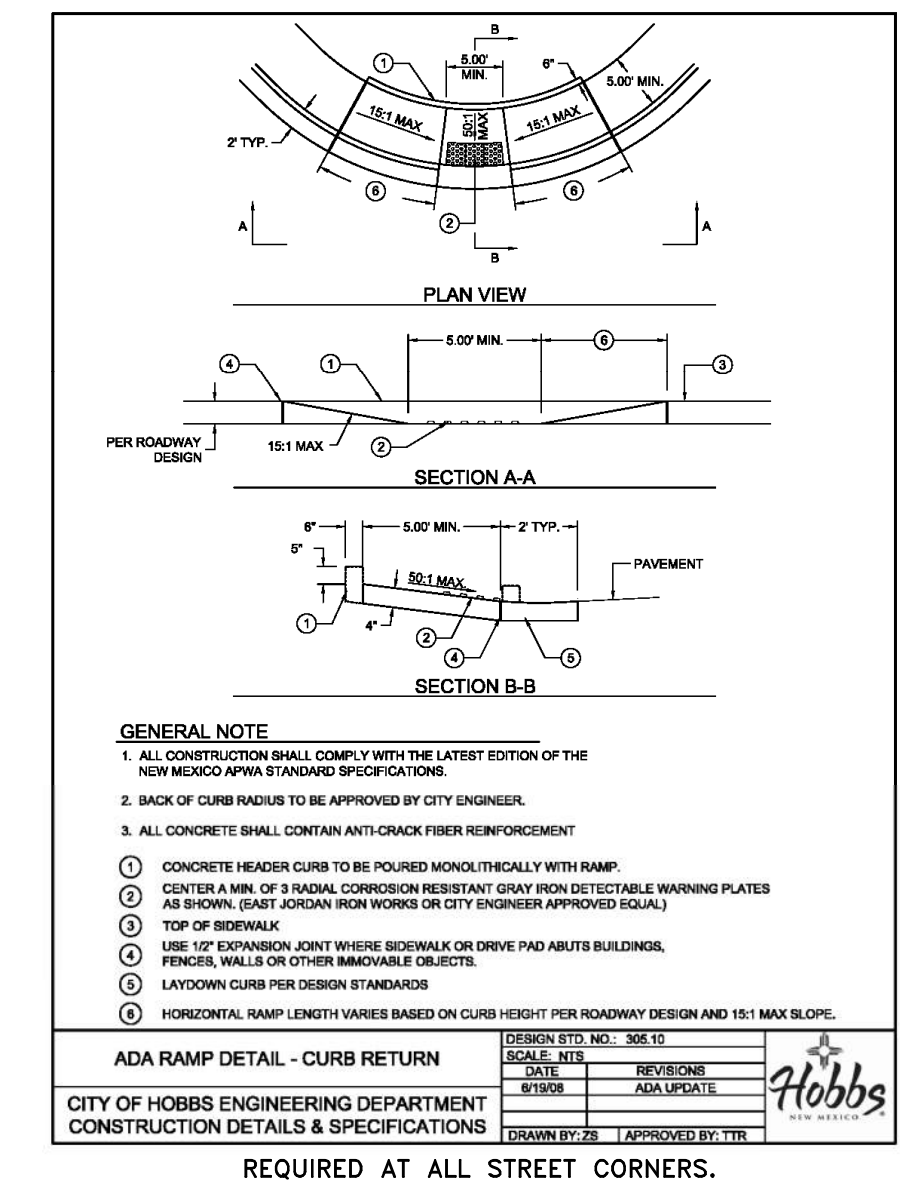
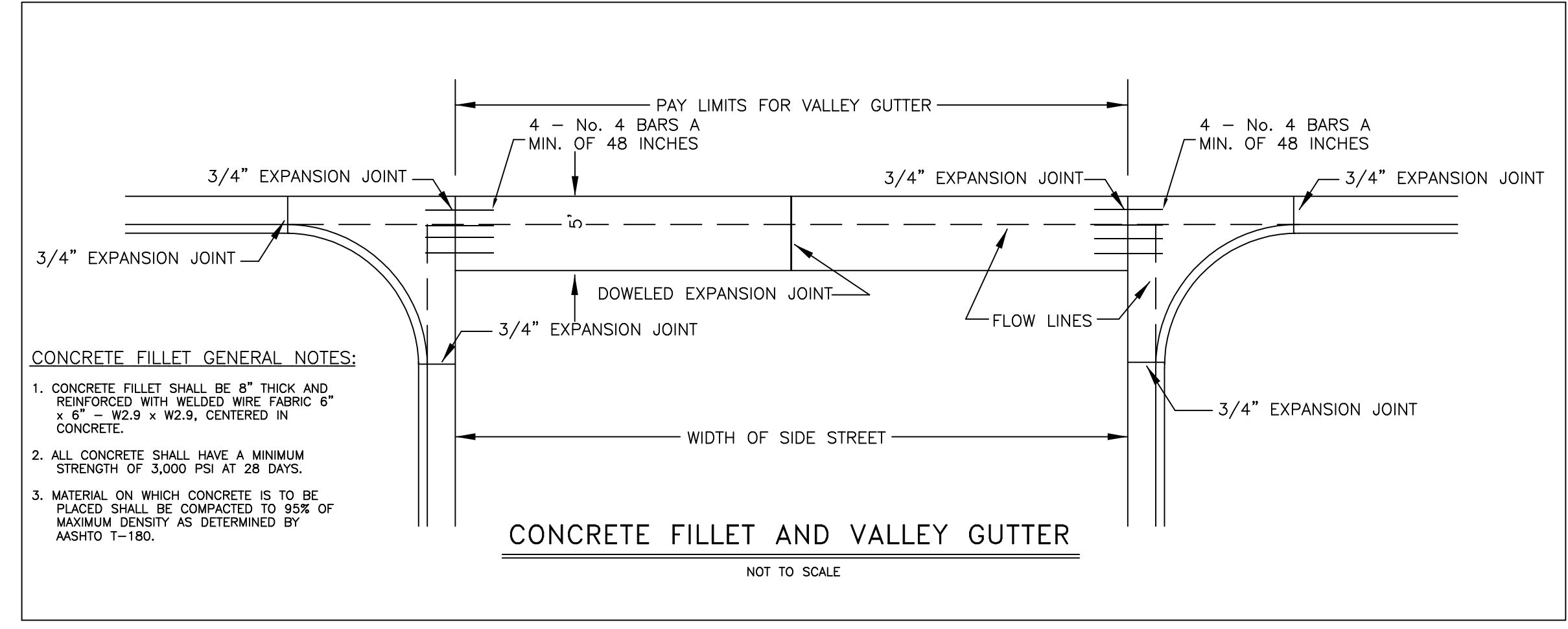
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Date: 7/06/15	Disk: GENERAL
File Name: BASE	Job No.:

ORIGINAL DRAWING SIZE 24" X 36"



ROADWAY CONSTRUCTION GENERAL NOTES:

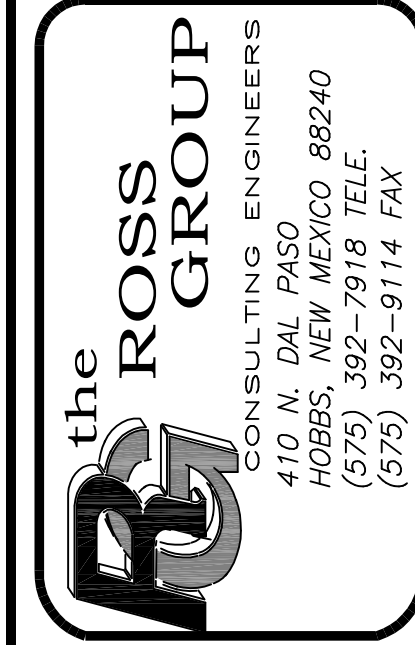
ALL CONCRETE WORK SHALL INCLUDE FIBER REINFORCEMENT. FIBERS SHALL BE VIRGIN POLYPROPYLENE STRANDS (APPROX. 3/4 inches IN LENGTH). ALL CONCRETE SHALL CONTAIN APPROXIMATELY 1.5 LBS. OF FIBER PER CUBIC YARD OF CONCRETE. NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR SUCH WORK AND SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION. FIBER REINFORCEMENT DOES DELETE REQUIREMENT FOR STEEL REINFORCEMENT WHEN REQUIRED BY DETAILS ON THIS SHEET.



NO.	DATE	REVISIONS:	BY	CHK	ENGR	APP.
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ZIA CROSSING UNIT 6

ROADWAY DETAILS



Drawn By:	Checked by:
SMM	PLR
Date:	Disk:
7/07/15	GENERAL
File Name:	Job No.:
ROAD	
SHEET	
R1	
R1 of R1 sheets	

ORIGINAL DRAWING SIZE 24" X 36"



ALTERNATE PRECAST TYPE "C" MANHOLE

DESIGN STD. NO.: 211.00
SCALE: NTS
DATE: 12/09/11
REVISIONS: 30" FRAME AND COVER
DRAWN BY: ZS APPROVED BY: TTR

CITY OF HOBBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS

TYPE "C" FIBERGLASS MANHOLE

DESIGN STD. NO.: 211.00
SCALE: NTS
DATE: 3/22/12
REVISIONS: 30" FRAME & COVER
DRAWN BY: ZS APPROVED BY: TTR

CITY OF HOBBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS

STANDARD PRECAST MANHOLE PLAN

DESIGN STD. NO.: 212.00
SCALE: NTS
DATE: 6/20/08
REVISIONS: APPRO. UPDATE
DRAWN BY: ZS APPROVED BY: TTR

CITY OF HOBBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS

VERTICAL DROP AT MANHOLE

DESIGN STD. NO.: 220.00
SCALE: NTS
DATE: 6/20/08
REVISIONS: APPRO. UPDATE
DRAWN BY: ZS APPROVED BY: TTR

CITY OF HOBBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS

SEWER LINE ENCASEMENT DETAIL

DESIGN STD. NO.: 381.00
SCALE: NTS
DATE: 6/20/08
REVISIONS: APPRO. UPDATE
DRAWN BY: ZS APPROVED BY: TTR

CITY OF HOBBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS

SEWER LATERAL DETAIL

DESIGN STD. NO.: 200.00
SCALE: NTS
DATE: 12/09/11
REVISIONS: TRAFFIC RATED CLEANOUT
DRAWN BY: ZS APPROVED BY: TTR

CITY OF HOBBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS

ALTERNATE SEWER LATERAL DETAIL

DESIGN STD. NO.: 201.00
SCALE: NTS
DATE: 12/09/11
REVISIONS: TRAFFIC RATED CLEANOUT
DRAWN BY: ZS APPROVED BY: TTR

CITY OF HOBBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS

TYPICAL MANHOLE ADJUSTMENT DETAIL

DESIGN STD. NO.: 209.00
SCALE: NTS
DATE: 09/21/12
REVISIONS: 30" FRAME & COVER
DRAWN BY: ZS APPROVED BY: TTR

CITY OF HOBBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS

STANDARD MANHOLE RING & COVER

DESIGN STANDARD NO.: 209.00
SCALE: NTS
DATE: 3/22/12
REVISIONS: FRAME & COVER W/LOGO
DRAWN BY: ZS APPROVED BY: TTR

CITY OF HOBBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS

NO.	DATE	REVISIONS:	CHK	ENGR	APP.
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ZIA CROSSING UNIT 6

SEWER DETAILS

the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBBS, NEW MEXICO 88240
(575) 392-7918 TELE.
(575) 392-9114 FAX

Drawn By:	Checked by:
SMM	PLR
Date:	Disk:
7/07/15	GENERAL
File Name:	Job No.:
SEWER	

SHEET
S1
S1 of S1 sheets

ORIGINAL DRAWING SIZE 24" X 36"

NOTE:
SEE WATER DETAILS (SHEET W1) FOR
TRENCH DETAILS, BOTH MECHANICAL
COMPACTION AND/OR FLOWABLE FILL.

BLACK GOLD ESTATES, LLC

ZIA CROSSING PARKWAY



LONGTAIL ROAD

GREY GHOST ROAD

BACKSTRETCH ROAD

MUNICIPAL INFRASTRUCTURE CORRIDOR

EAST LINE OF SECTION 13

PRELIMINARY - NOT FOR CONSTRUCTION - UNDER REVIEW

ORIGINAL DRAWING SIZE 24" X 36"

DRAWING PROVIDED BY XCEL ENERGY.

DRAWING PROVIDED BY XCEL ENERGY.

NO.	DATE	REVISIONS:	BY	CHK	ENGR	APP.
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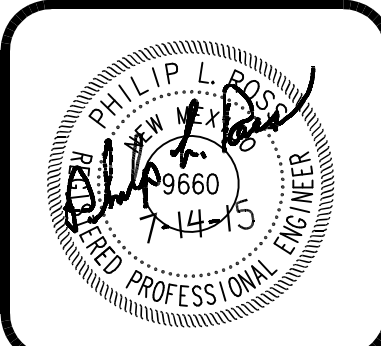
ZIA CROSSING UNIT 6

UTILITY (ELECTRIC/CABLE/TELEPHONE)
LAYOUT PLAN (BY XCEL ENERGY)

the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBBS, NEW MEXICO 88240
(575) 392-7918 TELE.
(575) 392-9114 FAX

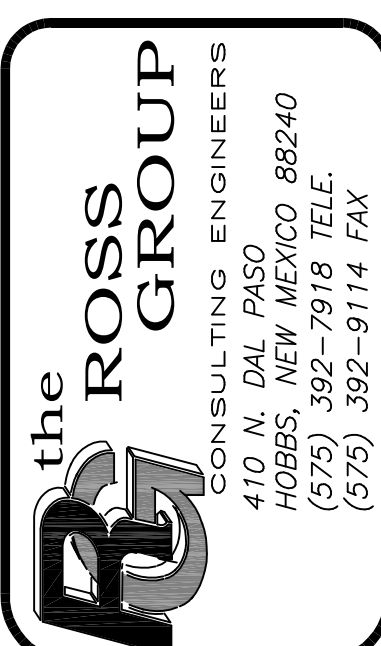
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SMM	PLR
Date:	Disk:
7/07/15	GENERAL
File Name:	Job No.:
ROADS	

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U1
U1 of U2 sheets



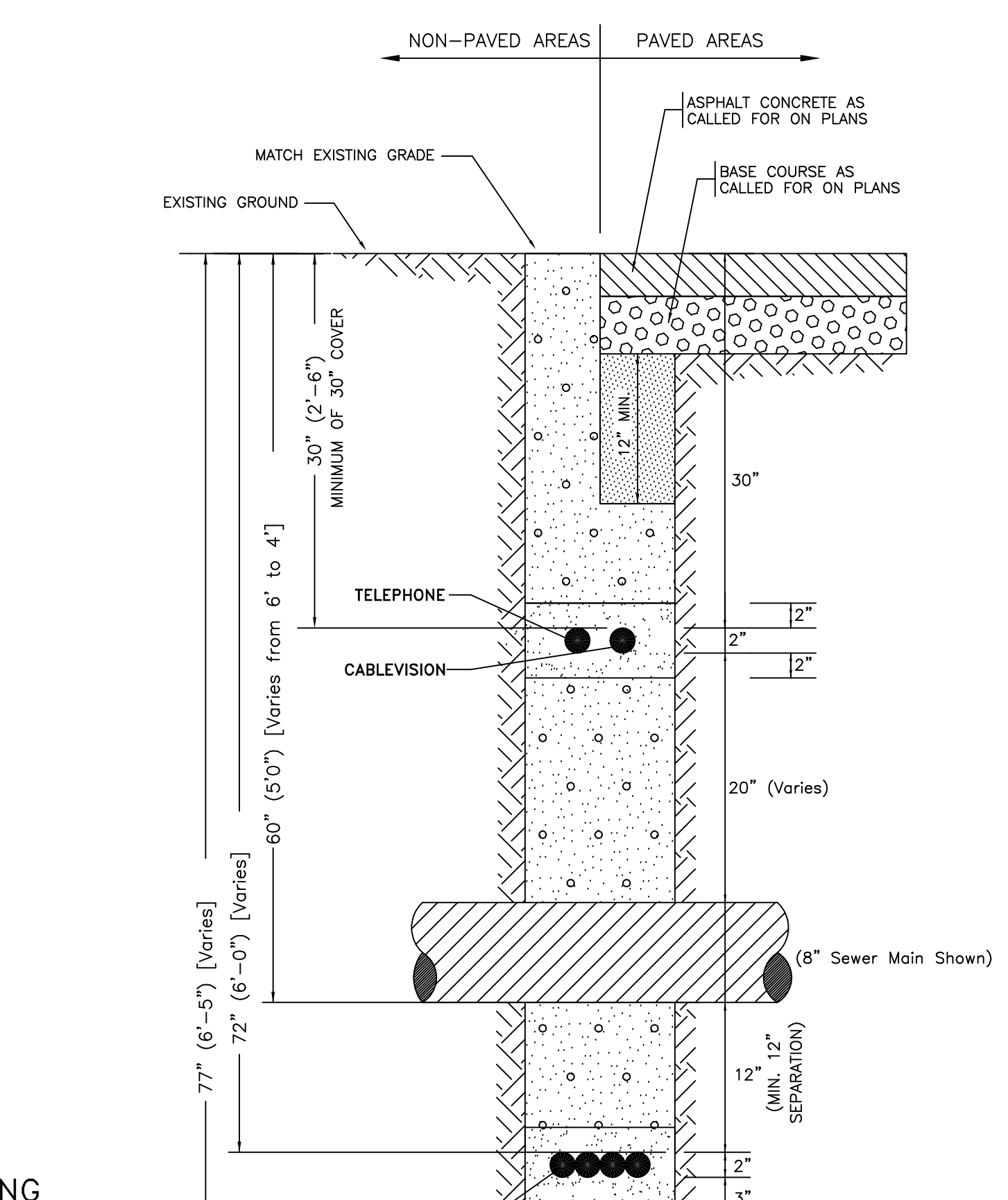
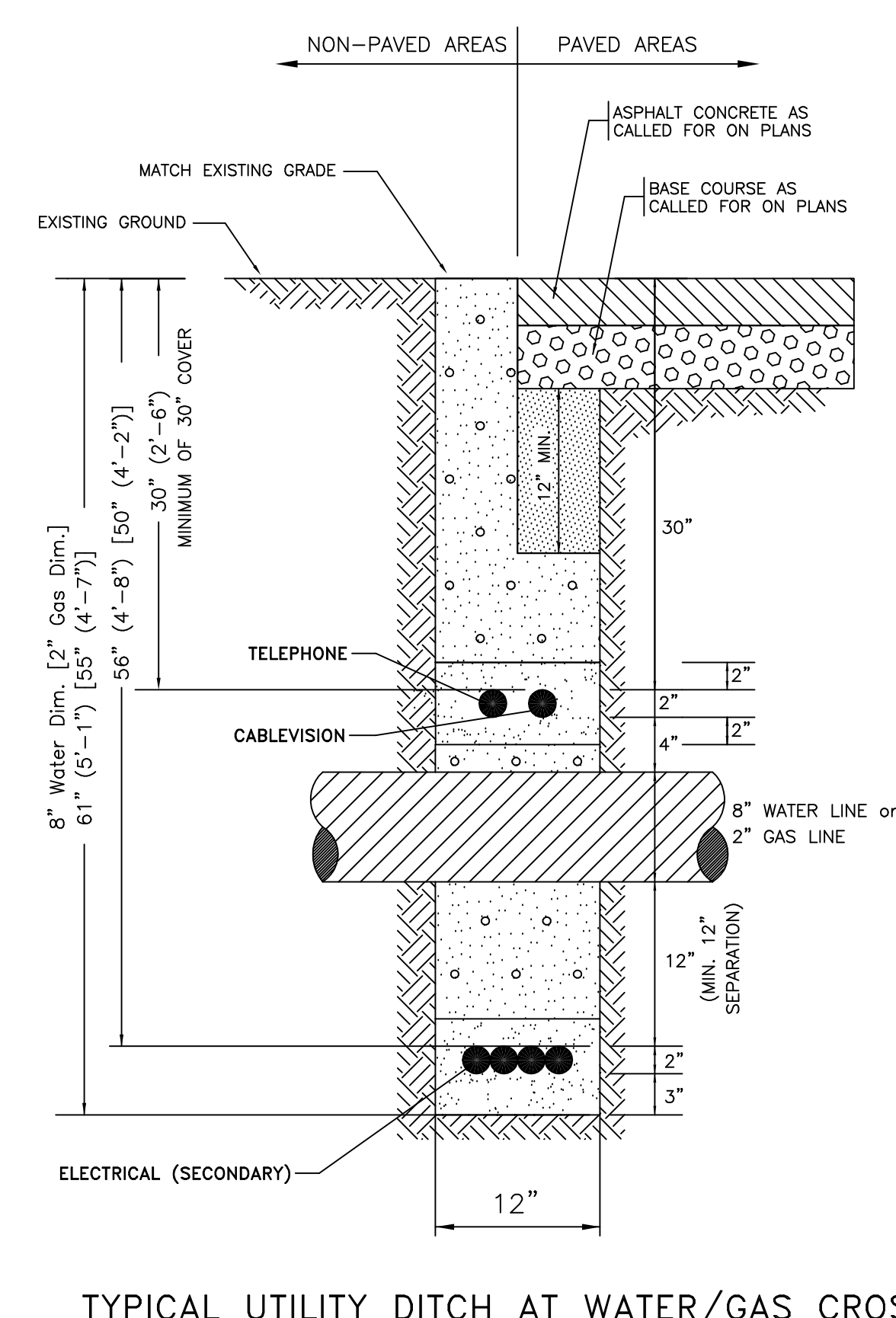
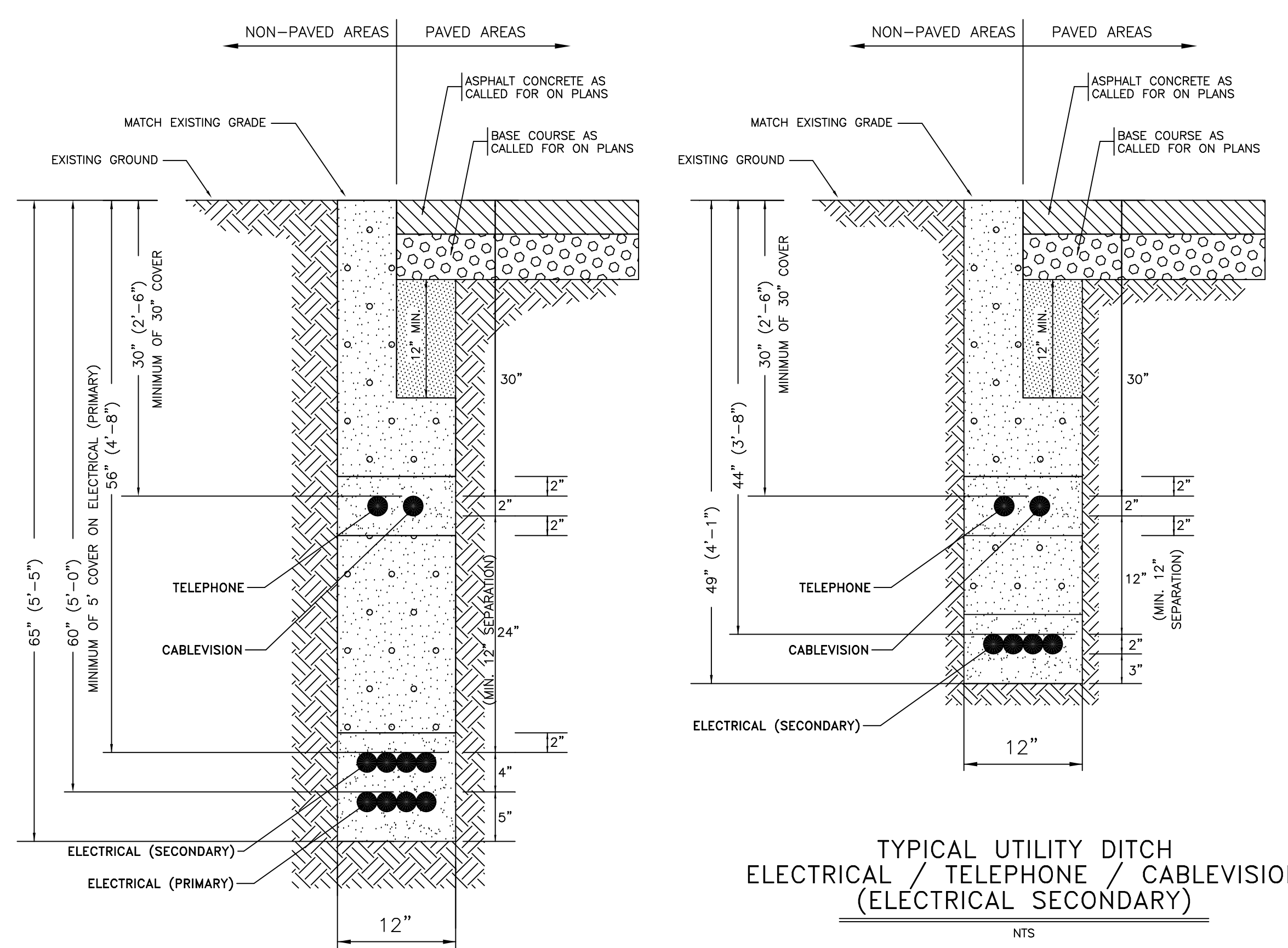
NO.	DATE	REVISIONS:	BY	CHK	ENGR	APP.
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ZIA CROSSING UNIT 6
 POST OFFICE CLUSTER BOX DETAILS
 UTILITY (ELECTRIC/CABLE/TELEPHONE)
 TRENCH DETAILS



Drawn By:	Checked by:
SMM	PLR
Date:	Disk:
7/07/15	GENERAL
File Name:	Job No.:
ROADS	

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U2
 U2 of U2 sheets



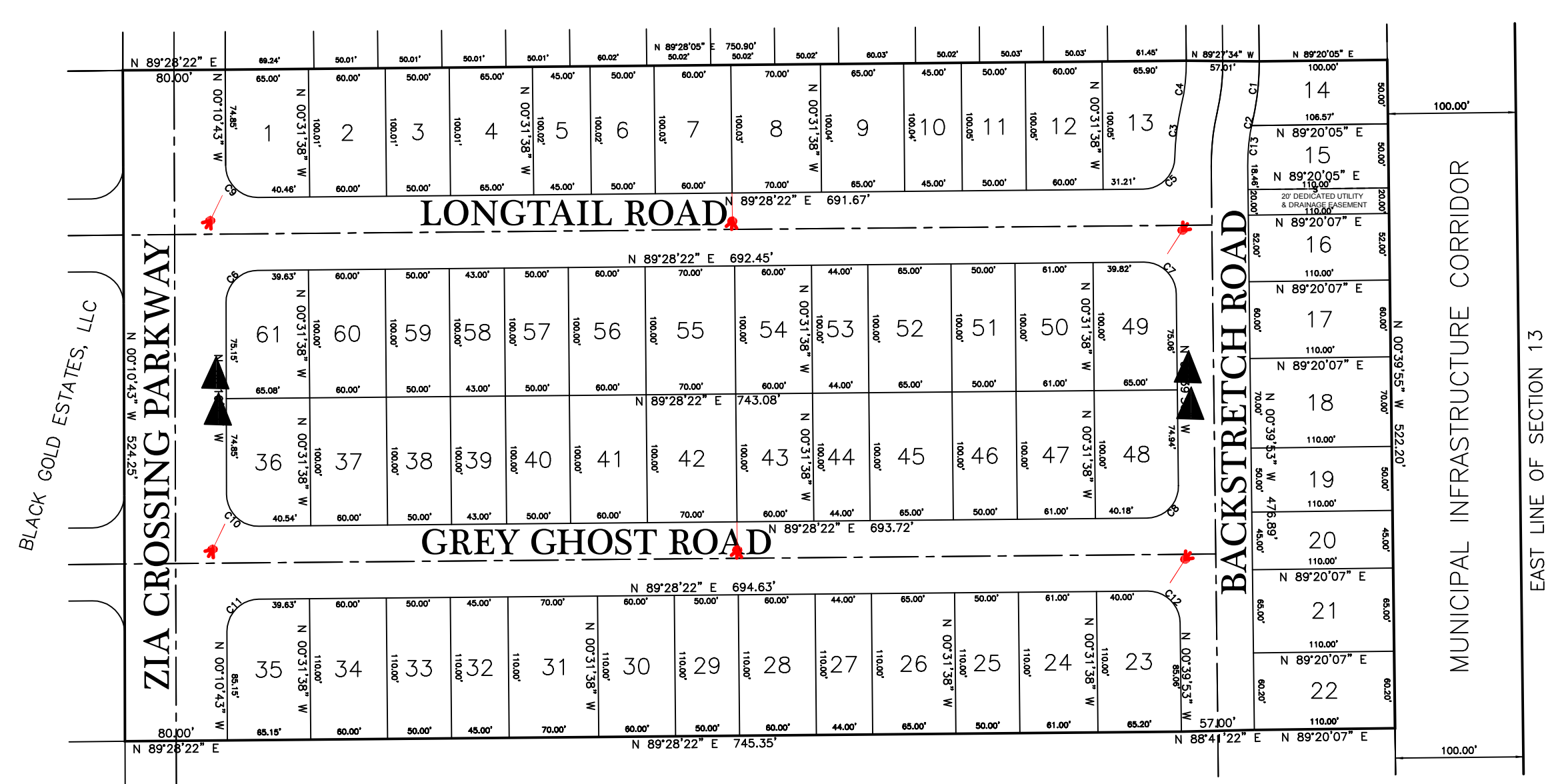
**LEGEND
 UTILITY DITCH COMPACTION AND MATERIAL REQUIREMENTS**

	NATIVE MATERIAL, 95% ASTM D-1557		SELECT BACKFILL MATERIAL, FREE FROM ROCKS GREATER THAN 1/4" INCH DIAMETER, DIRT CLODS, OR FROZEN MATERIAL
	NATIVE MATERIAL, 90% ASTM D-1557		UNDISTURBED EARTH

CONSTRUCTION NOTES: DITCHING (UTILITY) CONTRACTOR

- DITCHES, BACKFILL MATERIALS, BACKFILL & COMPACTION PROVIDED BY DITCHING CONTRACTOR.
- DITCHING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY OWNERS AND FOR THE PROTECTION OF ALL FACILITIES AFTER THEIR INSTALLATION. IF APPLICABLE, GAS COMPANY SHALL DITCH, INSTALL, BACKFILL AND COMPACT THEIR OWN UTILITIES.
- ANY UTILITIES DAMAGED BY THE DITCHING CONTRACTOR DURING TRENCHING, COMPACTION, OR INSTALLING SERVICE LATERALS SHALL BE REPAIRED AND/OR REPLACED AT THE EXPENSE OF THE DITCHING CONTRACTOR.
- EXTRA DEPTH NECESSARY FOR THE ELECTRICAL PRIMARY AND SECONDARY TO CROSS UNDER WATER or SEWER LINES AS SHOWN IN THE TYPICAL DETAILS IS CONSIDERED INCIDENTAL AND NO EXTRA PAYMENT WILL BE MADE.

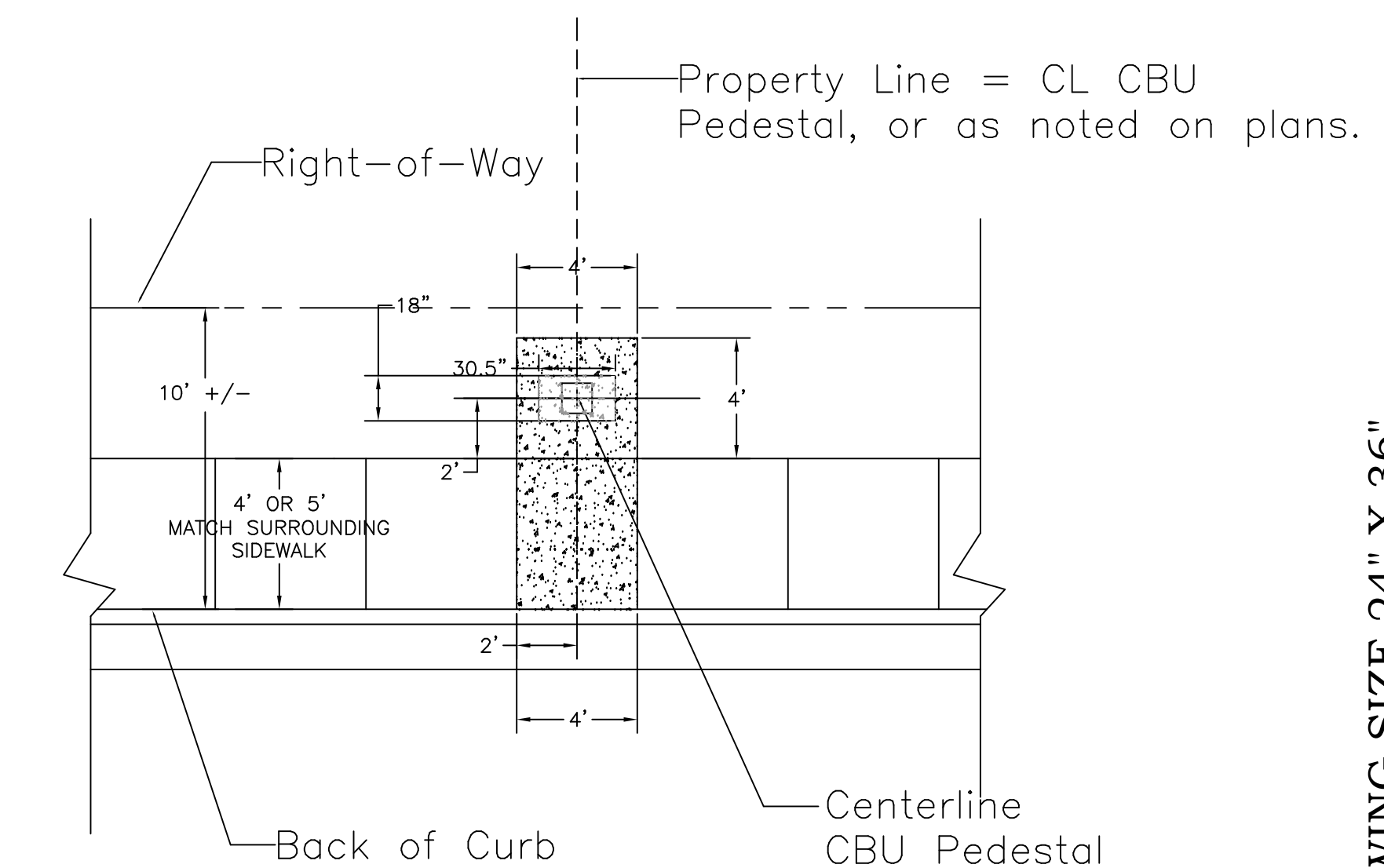
LEGEND ▲ 16 UNIT CBU (TOTAL 4)



CLUSTER BOX UNITS (CBU'S) GENERAL NOTES:

CBU'S AVAILABLE AT WWW.MAILBOXES.COM.

16 UNIT CBU TO BE MODEL NUMBER 3316, WITH PEDESTAL 3385. MANUFACTURED BY SALSURY INDUSTRIES - ALL ALUMINUM CONSTRUCTION CONTAINING AN OUTGOING MAIL SLOT AND 2 PARCEL LOCKERS EACH. ALL CBU KEYS TO BE DELIVERED TO THE ENGINEER FOR DELIVERY TO THE POST OFFICE.



- Notes:
- Dimensions shown allow approximately 6.25' clearance in front of CBU (mailbox).
 - See manufacturer's installation guide for installation of CBU pedestal and box.
 - Centerline of CBU Pedestal shall not be located closer than 25' from curb return at corner lots.
 - If CBU placed in area with out curb and gutter, 4' x 4' sidewalk still required in front of slab for pedestal.

CLUSTER BOX UNIT (CBU) TYPE AND LOCATION

TYPICAL CLUSTER BOX UNIT (CBU) CONCRETE DETAIL

ORIGINAL DRAWING SIZE 24" X 36"

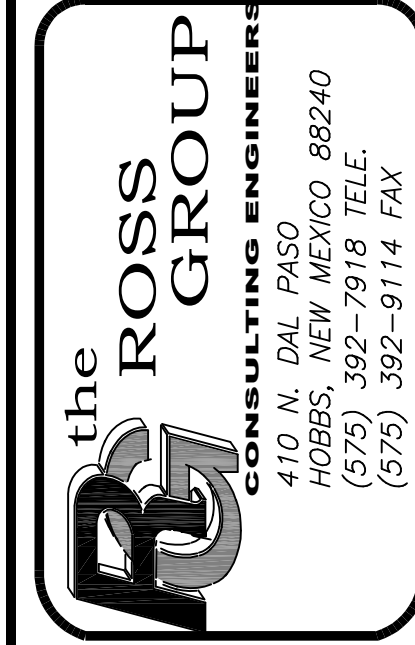


- NOTES:
1. LOT FILL TO BE FROM 31' BACK OF CURB TO REAR LOT LINE. THIS ALLOWS A 21' BUILDING SETBACK FROM THE PROPERTY LINE.
 2. BUILDING PAD FILL TO BE PLACED ON WATERED, MIXED AND ROLLED SUBGRADE MATERIAL.
 3. BUILDING PAD FILL TO BE COMPACTED TO 95% MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557 (MODIFIED PROCTOR) WITHIN PLUS OR MINUS 2% OF OPTIMUM MOISTURE.
 4. CONTRACTOR TO SLOPE FRONT YARD FROM REQUIRED FILL TO BACK OF SIDEWALK.
 5. BACKYARD SWALE AND SIDE YARD SWALES TO BE CONSTRUCTED BY OTHERS (HOME BUILDER).



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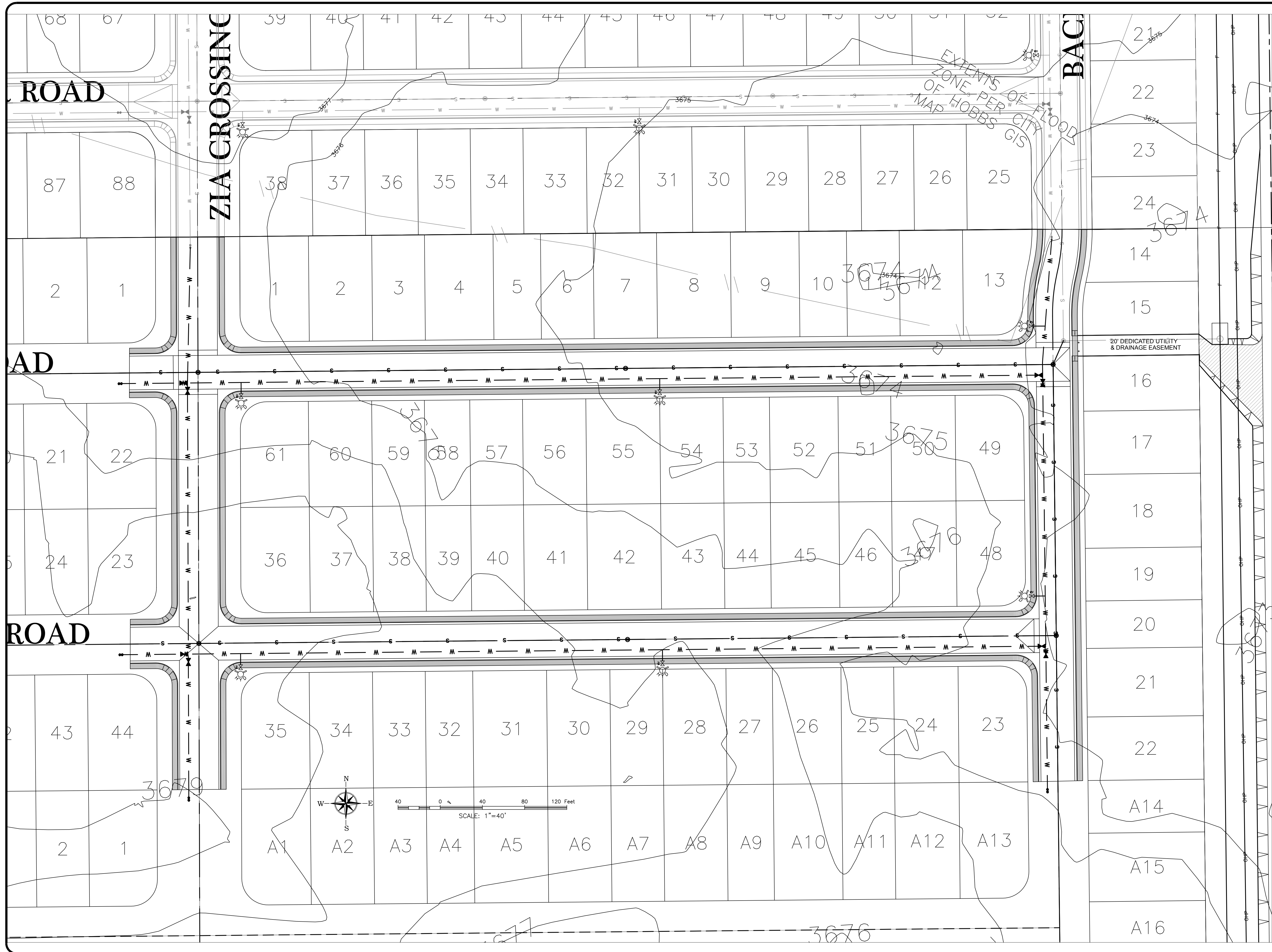
ZIA CROSSING UNIT 6
LOT FILL LAYOUT



Drawn By:	Checked by:
SMM	PLR
Date:	Disk:
7/2/15	LOTS
File Name:	Job No.:
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SHEET
L1
L1 of L1 sheets

ELEVATION DATUM = NAVD88
ORIGINAL DRAWING SIZE 24" X 36"



NO.	DATE	REVISIONS:
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ZIA CROSSING UNIT 6
 SIDEWALK LAYOUT

the ROSS GROUP
 CONSULTING ENGINEERS
 410 N. DAL PASO
 HOBBS, NEW MEXICO 88240
 (575) 392-7918 TELE.
 (575) 392-9114 FAX

Drawn By:	Checked by:
SMM	PLR
Date:	Disk:
7/08/15	GENERAL
File Name:	Job No.:
BASE	

SHEET
SW1
 SW1 of SW1 sheets

ORIGINAL DRAWING SIZE 24" X 36"

**December 18, 2018
Planning Board Regular Meeting**

- 9) **Review and Consider a Summary Subdivision, as submitted by property owner Kress Jones, located northeast of the intersection of Carlsbad Highway and the terminus of Goings Road.**

Staff Notes:

The subdivision creating Lot 2A and Lot 3A , as proposed, is not compliant with MC 16.12.040(A) and MC 16.16.040(B), see excerpts below:

16.12.040 - [Required improvements; summary process approval; city building permits, etc.]

A. For all new subdivisions and re-subdivisions, all improvements will be required to be completed at the summary process approval or at the final plat filing, unless adequate financial security has been approved by the Planning Board and City Commission.

and,

16.16.040 - Blocks.

B. Block lengths shall not exceed eight hundred eighty (880) feet, measured along the property lines.

Previous subdivisions have been allowed\approved adjacent to Goings by this Board and the Commission using Fair Share Development Agreements as the “adequate financial security” required by MC 16.12.040(A). However, the proposed subdivision will be the first time that the roadway will be projected entirely within the Developers holdings. Therefore staff is recommending approval of the proposed subdivision contingent to and provided that, the Developer enter into a DA with the Municipality with the following tenants:

1. Developer shall deposit with the Municipality the sum of \$75,000 as refundable security to extend Municipal public infrastructure (water, sewer and roadway) within the dedicated Goings right of way.
2. Developer shall employ the services of a NM Registered PE, to develop construction plans to be approved by the Municipality for the public infrastructures to be extended.
3. Upon receipt of a Notice to proceed by the Municipality, the Developer shall construct and pay for the extension of public infrastructures.
4. Upon receipt by the Municipality of an Engineer of Record Certification, provided same is received within 1 year from date of execution of the DA, the Municipality shall refund the Cash Deposit Security.

WITTMAN SUMMARY SUBDIVISION

A SUMMARY SUBDIVISION OF TRACT 1A3, GOINGS LANE RV PARK SUMMARY SUBDIVISION
 LOCATED IN SECTION 31, T18S, R38E, N.M.P.M., CITY OF HOBBS, LEA COUNTY, NEW MEXICO.

PETTIGREW & ASSOCIATES PA
 ENGINEERING | SURVEYING | TESTING
 DEFINING QUALITY SINCE 1965
 100 E. Navajo - Suite 100, Hobbs New Mexico 88240
 T 575 393 9827 F 575 393 1543
 Pettigrew.us

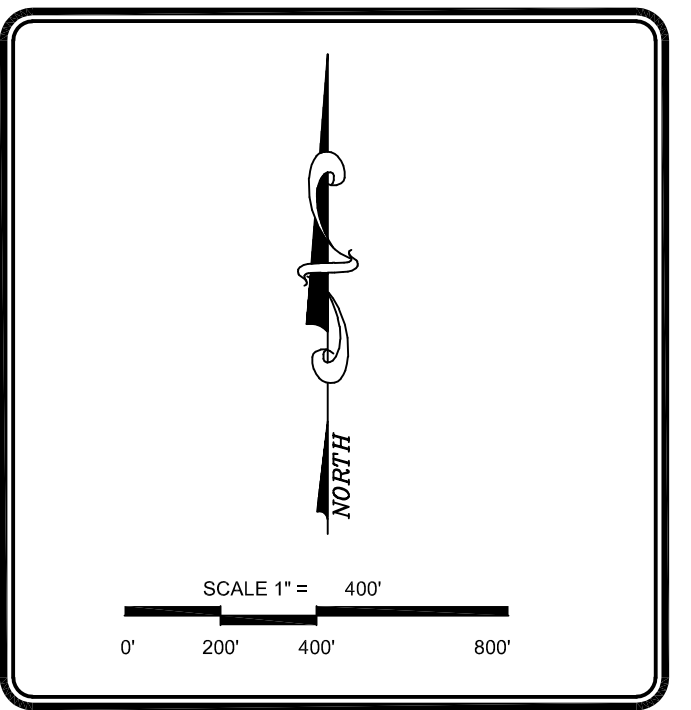
PROJECT SURVEYOR: R. Mulliken
 DRAWN BY: E.W., K.B. & H.S.



INDEXING INFORMATION FOR COUNTY CLERK
 OWNER: KRESS JONES
 LOCATION: PART OF SECTION 31, T18S, R38E, N.M.P.M., CITY OF HOBBS, LEA COUNTY NEW MEXICO.

REVISIONS

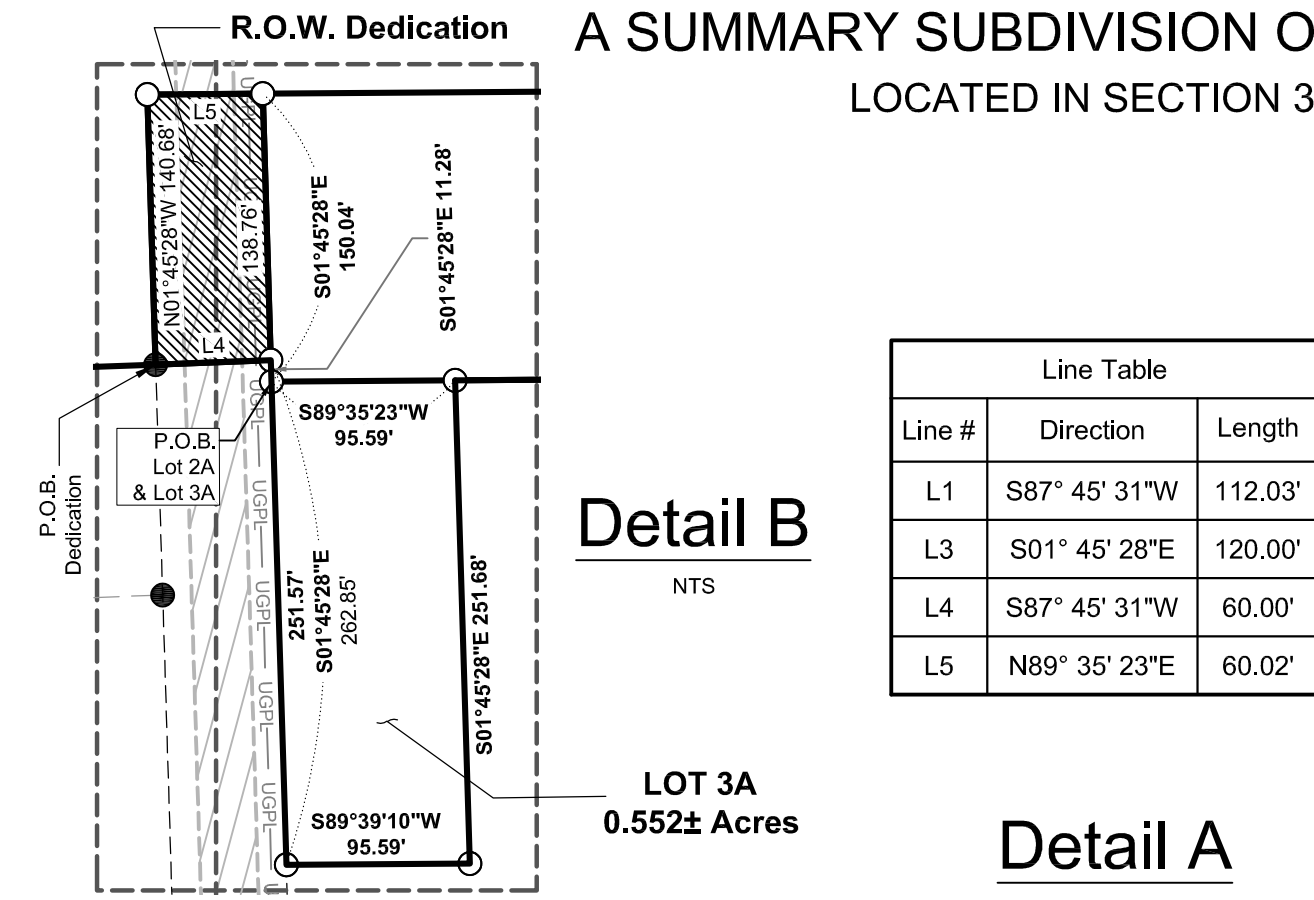
No.	DATE	DESCRIPTION



Summary Subdivision Plat
Wittman Subdivision
 FOR
 Tyler Wittman

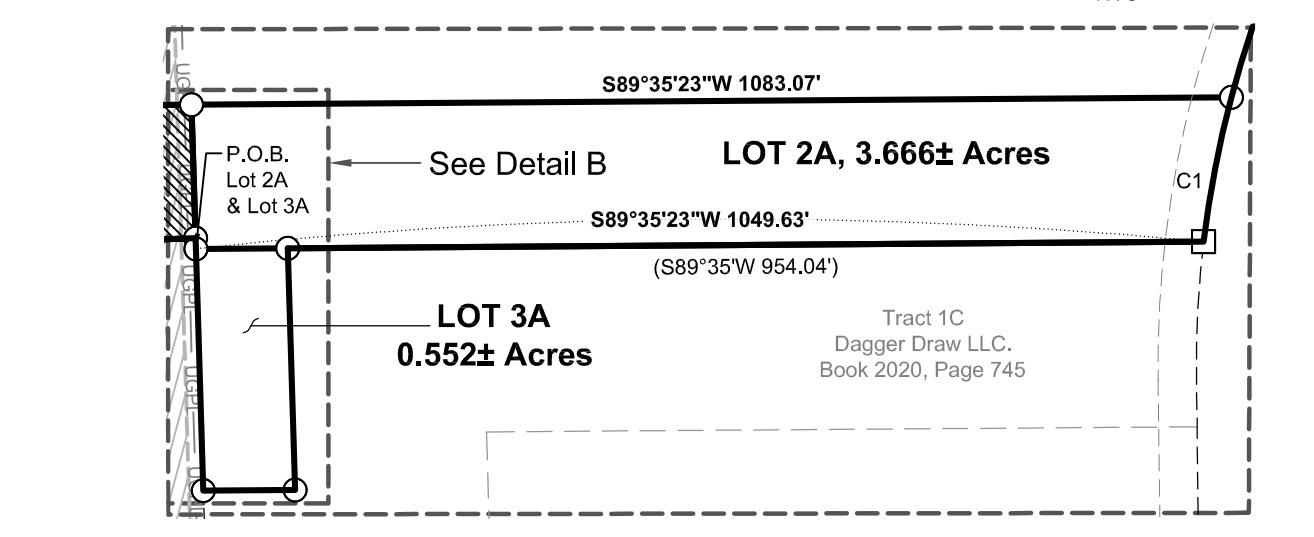
PROJECT NUMBER: 2018.1204
 REFERENCE NUMBER: 2016.1206

SHEET: 1 of 3
SU - 101



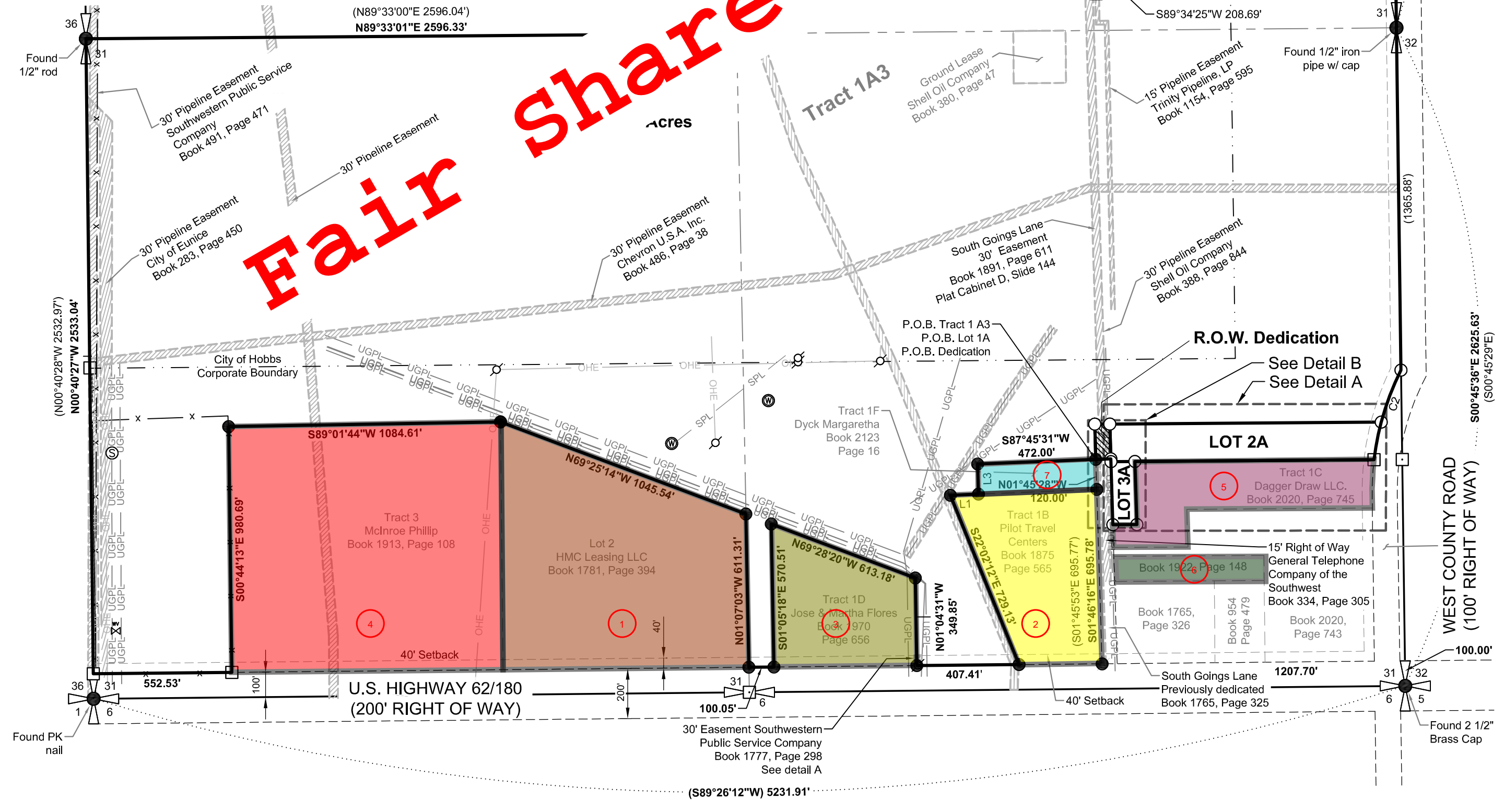
Line Table

Line #	Direction	Length
L1	S87° 45' 31"W	112.03'
L3	S01° 45' 28"E	120.00'
L4	S87° 45' 31"W	60.00'
L5	N89° 35' 23"E	60.02'



Curve Table

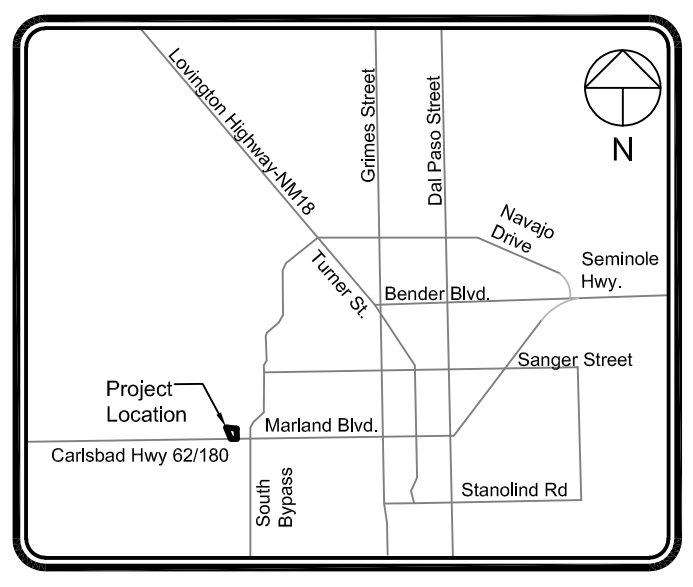
Curve #	Radius	Length	Delta	Chord Bearing	Chord Length
C1	1084.22'	153.08'	8°05'23"	S10°52'27"E	153.08'
C2	1084.22'	222.15'	11°44'23"	S10°52'27"E	222.15'

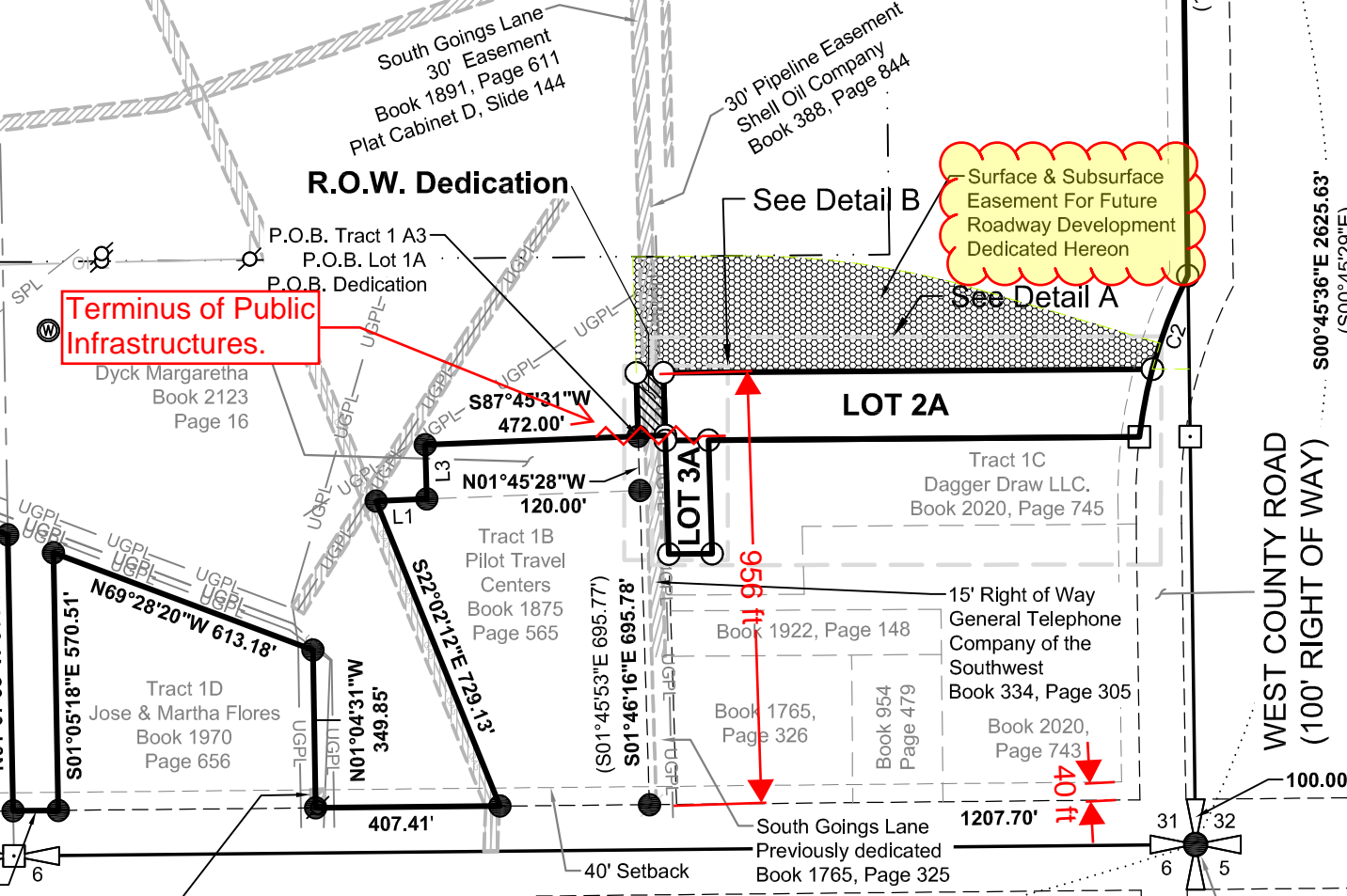


BASIS OF BEARING
 The basis of bearing for this survey is Grid North based on the New Mexico State Plane Coordinate System East Zone. Bearings were determined by GPS/GNSS observations. Ground elevations were obtained by applying a combined grid to datum scale factor of 0.9999992569 at control point N619912.405, E894575.907. True North can be obtained by applying a convergence angle of 0°36'52" at the quarter corner of Section 31.

LEGEND

- Recovered 5/8" Rebar except as noted
- Set 5/8" Rebar With Aluminum Cap Marked "PS 16873"
- ⊗ Water Valve
- ⊕ Sign
- ⊙ Power Pole
- ⊙ Sewer Manhole
- ⊙ Well
- Calculated Point
- ⊕ Found Section Corner
- ⊕ Found Quarter Section Corner
- Property Line
- Section Line
- - - Quarter Section Line
- - - Adjacent Property Line
- x - Fence Line
- - - City of Hobbs Corporate Boundary
- - - Right of Way Line
- - - 40' Setback Line
- OHE Overhead Electric Line
- UGPL Underground Pipeline
- SPL Surface Pipeline
- ▨ R.O.W. Dedication Per this Plat
- ▨ Easement as noted
- XX°XX'XX" XX.XX' Measured Bearing and/or Distance
- (XX°XX'XX" XX.XX') Record Bearing and/or Distance





R.O.W. Dedication

Terminus of Public Infrastructures.

Surface & Subsurface Easement For Future Roadway Development Dedicated Hereon

See Detail B

See Detail A

LOT 2A

LOT 3A

Tract 1C
Dagger Draw LLC.
Book 2020, Page 745

Dyck Margaretha
Book 2123
Page 16

S87°45'31"W
472.00'

N01°45'28"W
120.00'

Tract 1B
Pilot Travel
Centers
Book 1875
Page 565

(S01°45'53"E 695.77')
S01°46'16"E 695.78'

N69°28'20"W 613.18'

N01°04'31"W
349.85'

Tract 1D
Jose & Martha Flores
Book 1970
Page 656

407.41'

15' Right of Way
General Telephone
Company of the
Southwest
Book 334, Page 305

Book 1765,
Page 326

Book 994
Page 479

Book 2020,
Page 743

South Goings Lane
Previously dedicated
Book 1765, Page 325

1207.70'

40' Setback

40 ft

956 ft

**WEST COUNTY ROAD
(100' RIGHT OF WAY)**

S00°45'36"E 2625.63'
(S00°45'20"E)

100.00'

P.O.B. Tract 1 A3
P.O.B. Lot 1A
P.O.B. Dedication

6

31

6

5

32

C2

L3

L1

W

SPL

UGPL

UGPL

UGPL

UGPL

UGPL

UGPL

UGPL

UGPL

UGPL

UGPL

UGPL

UGPL

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UGPL

UGPL

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UGPL

UGPL

L3

L1

December 18, 2018
Planning Board Regular Meeting

- 10) **Review and Consider a front yard setback variance for 900 E. Bell. Bell at this location is classified as a minor residential and does not have a setback violation within the block length. The COHMTP requires a 21' setback (31' BOC) for structures accessed from a minor residential, the proposed structure will be located 5' from the property line (15' BOC).**



VARIANCE APPLICATION

Application Date: 11-26-18

Variance for (circle one): front yard / side yard

Property Owner: Arnulfo Rojas

Phone: (575) 390-0285

Address of proposed structure: 900 E. Bell place

Subdivision (if known): Bell Addition Lot & Block # (if known): lot 11, block 4

Type of proposed structure: Carport Dimensions of proposed structure: 25' x 30'

Are subdivision covenants and/or deed restrictions available? if so, please attach a copy.

The existing front/side setback for the structure at the above address is 21' feet. If the variance is approved, the new front/side setback with the front improvement will be 5 feet.

* The Planning Board of the City of Hobbs has established a procedure to require each applicant for a setback variance to notify property owners **within 150 feet** of the proposed improvement. In addition, front-yard setbacks of less than 10' for buildings (excluding carports) are generally not permitted.

Addresses of existing carports/fences in vicinity (if any):

<u>915 E. Bell Place</u>	
<u>2517 N. Travis St</u>	
<u>2512 N. Travis St</u>	
<u>933 E. Highland</u>	

Please attach the following documents:

- Copy of Building Permit Application.
- **Sketch Plan** showing dimensions of existing and proposed improvements and distances from proposed improvement to sidewalk, curb, and/or edge of street.
- Copy of Covenants and/or Deed Restrictions, if any.
- Signature Sheet containing signatures of adjacent property owners within **150 feet** of above referenced lot.

Return completed form to:
City-Hall - Planning Division
200 E. Broadway St.
Hobbs, NM 88240
P: 575-397-9232
F: 575-397-9227

Property Owner Signature Date

**CITY OF HOBBS, NM
PLANNING DIVISION
VARIANCE APPLICATION**

(To Front and/or Side Yard Setback Requirement)

Adjoining Property Owner Notification

Note: The Planning Board of the City of Hobbs has established a procedure to require each applicant for a front or side yard setback variance to notify property owners within **150 feet** of the proposed improvement. In addition, front-yard setbacks of less than 10' for buildings (excluding carports) are generally not permitted.

Date: 11-26-18

Applicant: Arnulfo Rojas

Phone: 515 390-0285

Neighboring Property Owner:

For your information, a variance application has been submitted to build a structure in the front or side setback at:

Applicant address: 900 E. Bell Place

Address of proposed structure: 900 E. Bell Place

Subdivision (if known): Bell addition Lot & Block # (if known): lot 11, block 4

Type and dimensions of proposed structure (see attached drawing for details): 25' x 30'

The existing front/side setback for the structure at the above address is _____ feet. If the variance is approved, the new front/side setback with the front/side improvement will be _____ feet.

If any adjoining property owner has questions, please call the Planning Division at 397-9232. The City reserves the right to contact adjacent property owners to verify accuracy of signatures.

Signatures of adjoining property owners and acknowledgement of request:

Adjacent Property Owner Name(s)	Address	Signature(s)	Phone #	Do you support request? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N
Adrian Trevizo	901 E. Bell Pl Hobbs	<i>Adrian Trevizo</i>	(575) 399-9359	Yes
Betty Shepard	903 E. Bell Pl Hobbs	<i>Betty Shepard</i>	(575) 392-5801	Yes
Caroline Kipchab	910 E. Bell pl	<i>Caroline Kipchab</i>	575-605-1292	Yes
Anna Burns	909 E Bell pl	<i>Anna Burns</i>	575-602-1991	Yes
SANTIAGO GAECIA	904 Bell Place	<i>Santiago Gaecia</i>	(575)-441-0749	Yes

*Deed Restrictions, **if available**, are located in the Planning Division.



PLANNING DEPARTMENT

200 E. Broadway St.
Hobbs, NM 88240

575-397-9351 bus
575-397-9227 fax

City of Hobbs, New Mexico

Arnulfo Rojas
900 E. Bell Place
Hobbs, NM 88240

Subject: Front yard Setback Variance (Major Thoroughfare Plan) at 900 E. Bell Place.

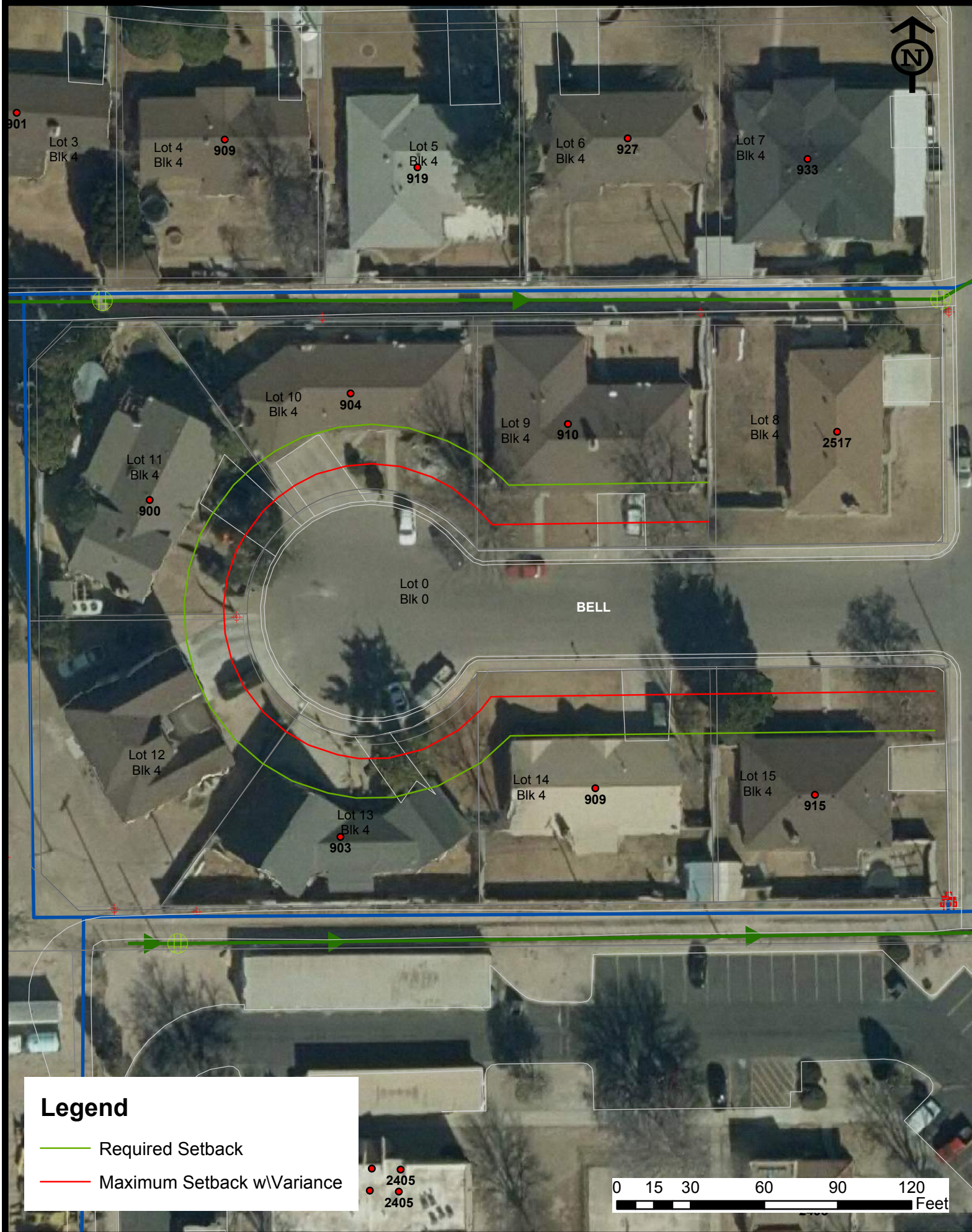
Date: December 13, 2018

The City of Hobbs Major Thoroughfare Plan requires a minimum of 21' setback from the property line at 900 E. Bell Place (31' from BOC). However, the proposed structure would be located 5' from the property line (15' from BOC).

You are proposing placing a structure (carport) to within 5' of the front Property Line on a Minor Residential Street, which is not allowed by the Hobbs Major Thoroughfare Plan. The front yard setback requirements as dictated by the Hobbs Major Thoroughfare Plan have not been violated within your block, i.e.; Bell Place. Therefore, the front yard setback variance request for 900 E. Bell Place cannot be approved. If you have any questions regarding this issue please do not hesitate to call me at 391-4111.

A handwritten signature in blue ink that reads "Kevin Robinson".

Kevin Robinson – Development Director



901

Lot 3
Blk 4

Lot 4
Blk 4

909

Lot 5
Blk 4
919

Lot 6
Blk 4

927

Lot 7
Blk 4

933

Lot 10
Blk 4

904

Lot 9
Blk 4

910

Lot 8
Blk 4

2517

Lot 11
Blk 4

900

Lot 0
Blk 0

BELL

Lot 12
Blk 4

Lot 14
Blk 4

909

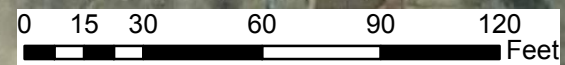
Lot 15
Blk 4

915

Lot 13
Blk 4

903

2405
2405



Legend

- Required Setback
- Maximum Setback w/Variance

December 18, 2018
Planning Board Regular Meeting

- 11) **Review and Consider a front yard fence height variance for 2101 N. Fowler. Fowler at this location is classified as a minor collector and does not have a fence height violation within the block length. The COHMTP requires a 25' setback (35' BOC) for fences\structures accessed from a minor collector, the proposed structure will be located 18'9" from the property line (28'9" BOC) and have a height of 6' requiring a 1' variance at the proposed location.**



RECEIVED DEC 4 0 2018

VARIANCE APPLICATION

Application Date: 11/5/18

Variance for (circle one): front yard / side yard

Property Owner: Darryl + Polly Capps

Phone: 575-631-2697

Address of proposed structure: 2101 W. Fowler St.

Subdivision (if known): _____ Lot & Block # (if known): _____

Type of proposed structure: Fence Dimensions of proposed structure: 6' height

Are subdivision covenants and/or deed restrictions available? no if so, please attach a copy.

The existing front/side setback for the structure at the above address is 31' feet. If the variance is approved, the new front/side setback with the front improvement will be ~~25'-75"~~ 28.75 feet.

* The Planning Board of the City of Hobbs has established a procedure to require each applicant for a setback variance to notify property owners **within 150 feet** of the proposed improvement. In addition, front-yard setbacks of less than 10' for buildings (excluding carports) are generally not permitted.

Addresses of existing carports/fences/porches in vicinity (if any):

Please attach the following documents:

- Copy of Building Permit Application.
- **Sketch Plan** showing dimensions of existing and proposed improvements and distances from proposed improvement to sidewalk, curb, and/or edge of street.
- Copy of Covenants and/or Deed Restrictions, if any.
- Signature Sheet containing signatures of adjacent property owners within **150 feet** of above referenced lot.

Return completed form to:
City-Hall - Planning Division
200 E. Broadway St.
Hobbs, NM 88240
P: 575-397-9232
F: 575-397-9227

Polly Capps 11/5/18
Property Owner Signature Date

RECEIVED DEC 4 0 2018

CITY OF HOBBS, NM
 PLANNING DIVISION
 VARIANCE APPLICATION
 (To Front and/or Side Yard Setback Requirement)
 Adjoining Property Owner Notification

David Goodwin (son)
 432-209-4595
 2109 N. Fowler

Note: The Planning Board of the City of Hobbs has established a procedure to require each applicant for a front or side yard setback variance to notify property owners within 150 feet of the proposed improvement. In addition, front-yard setbacks of less than 10' for buildings (excluding carports) are generally not permitted.

Date: 11/5/18

Applicant: Darryl & Polly Capps

Phone: 575-631-2697

Neighboring Property Owner:

For your information, a variance application has been submitted to build a structure in the front or side setback at:

Applicant address: 2101 N. Fowler St.

Address of proposed structure: 2101 N. Fowler St.

Subdivision (if known): _____ Lot & Block # (if known): _____

Type and dimensions of proposed structure (see attached drawing for details): _____

The existing front/side setback for the structure at the above address is 31 feet. If the variance is approved, the new front/side setback with the front/side improvement will be 25.75 feet. or 26'

If any adjoining property owner has questions, please call the Planning Division at 397-9232. The City reserves the right to contact adjacent property owners to verify accuracy of signatures.

Signatures of adjoining property owners and acknowledgement of request:

Adjacent Property Owner Name(s)	Address	Signature(s)	Phone #	Do you support request? Y / N
Altha Goodwin	2109 N. Fowler	Altha Goodwin	575-393-6336	Y
Gregg Klear	2115 N. Fowler	Gregg Klear	575-318-6255	Y
Job Fort Ho	2108 N. Fowler	Job Fort Ho	575 631-9747	Y
Martina Casosco	2112 N. Fowler	Martina Casosco	575 370-0505	Y
Andrew Toglia	2115 N. Fowler	Andrew Toglia	318 3103	Y

*Deed Restrictions, **if available**, are located in the Planning Division.



Signatures needed

RECEIVED DEL

2107

FOWLER

ST ANNE

ST ANNE

MCKINLEY

CIELO

ROJO

ORO

JEMEZ

BENDER

ARRIBA

VEGA

MCKINLEY

FOWLER

ROJO

BLANCO

CIELO

CIELO

MCKINLEY

Lot 18
Blk 34

Lot 2
Blk 35A



Lot 19
Blk 34

2109

Lot 0
Blk 0

Lot 1
Blk 35A

Lot 20
Blk 34

Lot 2
Blk 34

ORO

16' 4" for a 5' fence

10' towards Fowler for 6' fence

Lot 1
Blk 34

*10' min
from OX*

FOWLER

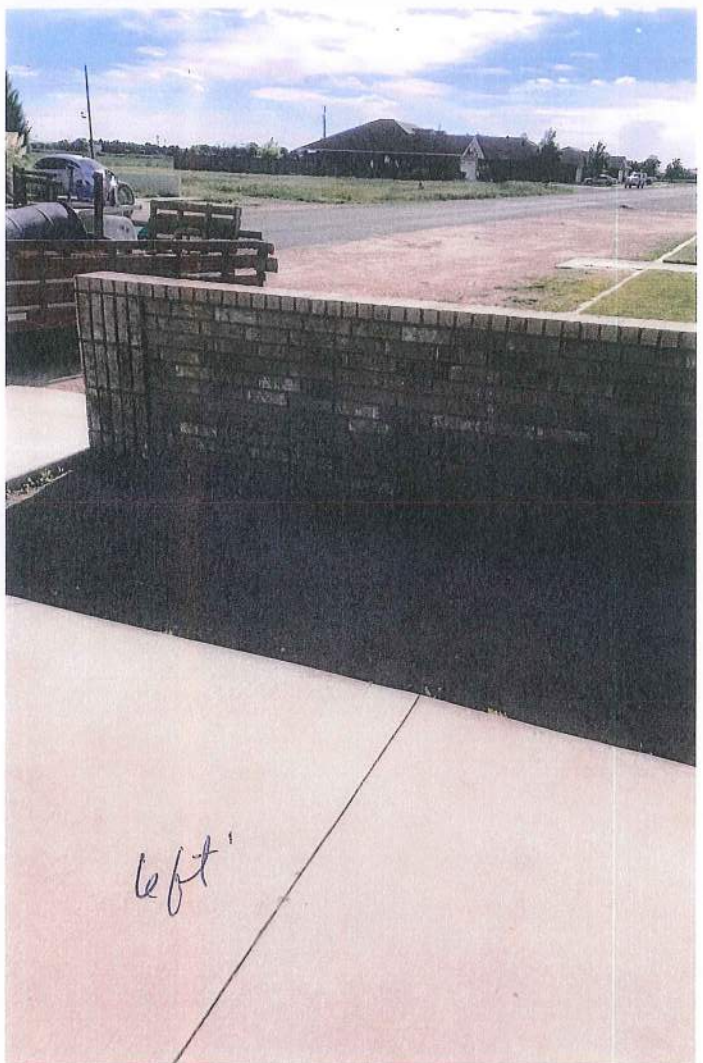
Lot 7
Blk 29

2037

Lot 6
Blk 29

Lot 8
Blk 29







PLANNING DEPARTMENT

200 E. Broadway St.
Hobbs, NM 88240

575-397-9351 bus
575- 397-9227 fax

City of Hobbs, New Mexico

Darryl & Polly Capps
2101 N. Fowler
Hobbs, NM 88240

Subject: Front yard Fence Height Variance (Major Thoroughfare Plan) at 2101 N. Fowler.

Date: December 13, 2018

The City of Hobbs Major Thoroughfare Plan allows a maximum 5' Front Yard Fence Height for a fence located 28'9" from back of curb (BOC) on a Minor Collector. However, the proposed structure would be 6' in height at 28'9" from BOC.

You are proposing placing a 6' high fence within the front yard setback located 28'9" from BOC on a Minor Collector Street, which is not allowed by the Hobbs Major Thoroughfare Plan. The front yard fence height requirements as dictated by the Hobbs Major Thoroughfare Plan have not been violated within your block, i.e.; Fowler from Oro to Bender. Therefore, the front yard fence height variance request for 2101 N. Fowler cannot be approved. If you have any questions regarding this issue please do not hesitate to call me at 391-4111.

A handwritten signature in blue ink that reads "Kevin Robinson".

Kevin Robinson – Development Director



2109

Lot 19
Blk 34

Fowler is a
Minor Collector
requiring a 25'
FY setback (35'
from BOC).

Lot 1
Blk 35A

2101

Lot 20
Blk 34

- 2' Height @ 10' BOC
- 3' Height @ 16'3" BOC
- 4' Height @ 22'6" BOC
- 5' Height @ 28'9" BOC
- 6' Height @ 35' BOC

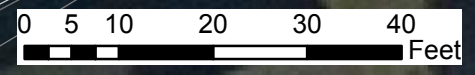
FOWLER

ORO

Lot 7
Blk 29

Legend

- FY Fence Height
- PL\BOC

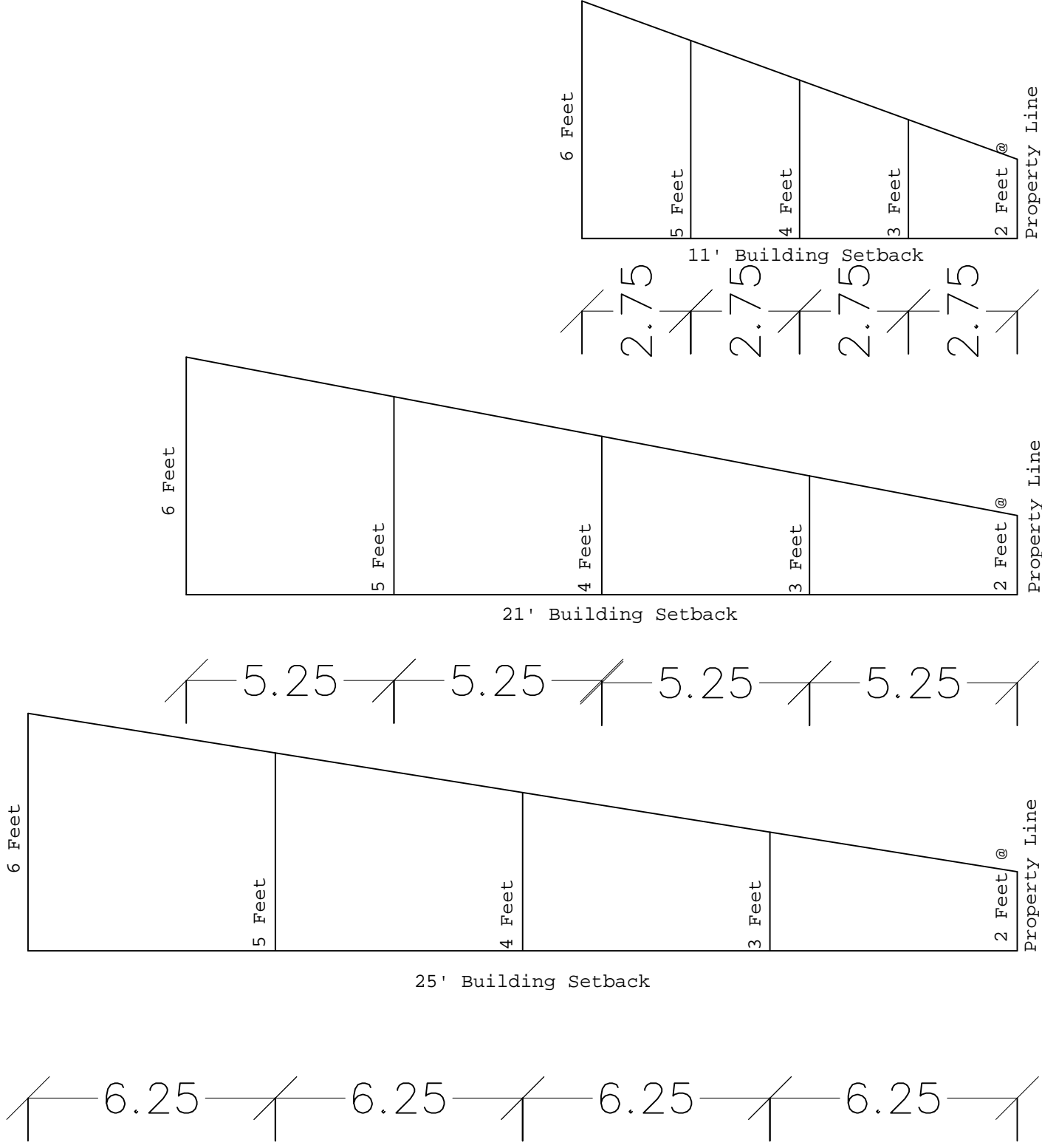


Straight Line Ratio

for

Fence Height

(Hobbs Major Thoroughfare Plan)



Verify the location of your front yard property line. Under no circumstance will a structure be allowed to encroach on public property.

December 18, 2018
Planning Board Regular Meeting

12) Discussion Items:

- A) 2018 Aerial Photo and LIDAR Project Update.**

December 18, 2018
Planning Board Regular Meeting

12) Discussion Items:

B) MC 2.01 and the City of Hobbs Governmental Conduct Act/Financial Disclosure Act Forms.

Chapter 2.01 CODE OF CONDUCT**2.01.010 Purpose.**

The proper administration of democratic government requires that public officials be independent, impartial and responsible to the people; that government decisions and policy be made in the best interest of the people, the community and the government; and that the public have confidence in the integrity of its government. In recognition of these goals, **the following City of Hobbs Code of Conduct shall apply to all Public Officers and Employees.**

(Ord. No. 1103, 6-5-2017)

2.01.020 Definitions.

The following definitions shall apply to the City of Hobbs Code of Conduct:

"Anything of value" means any money, property, service, loan or promise, but does not include food and refreshments with a value of less than one hundred dollars (\$100.00) consumed in a day.

"Business" means a corporation, partnership, sole proprietorship, firm organization or individual carrying on a business.

"Confidential information" means information that by law or practice is not available to the public.

"Contract" means an agreement or transaction having a value of more than one thousand dollars (\$1,000.00) with the City of Hobbs for:

1. The rendition of services, including professional services.
2. The furnishing of any material, supplies or equipment.
3. The construction, alteration or repair of any public building or public work.
4. The acquisition, sale or lease of any land or building.
5. A licensing agreement.
6. A loan or loan guarantee; or the purchase of financial securities or instruments.

"Contribution" means a donation or transfer to a recipient for the personal use of the recipient, without commensurate consideration.

"Employment" means rendering of services for compensation in the form of salary as an employee.

"Family" means an individual's spouse, parents, children or siblings, by consanguinity or affinity.

"Financial interest" means an interest held by an individual or the individual's family that is:

1. An ownership interest in business or property; or
2. Any employment or prospective employment for which negotiations have already begun.

"Honorarium" means payment of money, or anything of value in excess of one hundred dollars (\$100.00), but does not include reasonable reimbursement for meals, lodging or actual travel expenses incurred in making a speech or rendering a service, or payment or compensation for services rendered in the normal course of a private business pursuit.

"Official act" means an official decision, recommendation, approval, disapproval or other action that involves the use of discretionary authority.

"Public officer or employee" means any elected or appointed official or employee of the City of Hobbs who receives compensation in the form of salary or is eligible for per diem or mileage.

"Substantial interest" means an ownership interest that is greater than twenty (20) percent.

(Ord. No. 1103, 6-5-2017)

2.01.030 Public trust.

A. A public officer or employee shall treat the public officer's or employee's government position as a public trust and as such shall use the powers and resources of public office only to advance the public interest and not to obtain personal benefits or pursue private interests.

B. A public officer or employee shall conduct themselves in a manner that justifies the confidence placed in them by the people, at all times maintaining the integrity and discharging ethically the high responsibilities of public service.

C. Full disclosure of real or potential conflicts of interest shall be a guiding principle for determining appropriate conduct. At all times, reasonable efforts shall be made to avoid undue influence and abuse of office in public service.

(Ord. No. 1103, 6-5-2017)

2.01.040 Improper influence and gifts.

A. A public officer or employee shall not request or receive, and no person may offer a public officer or employee, any money, thing of value or promise thereof that is conditioned upon or given in exchange for promised performance of an official act. A violation of this section, pursuant to NMSA 1978, § 10-16-3, may constitute a fourth degree felony under the laws of the State of New Mexico.

B. A business that contracts with the City of Hobbs to provide financial services involving the investment of public money or issuance of bonds for public projects shall not knowingly contribute anything of value to a public officer or employee who has authority over the investment of public money or issuance of bonds, the revenue of which is used for public projects.

C. A public officer or employee that has authority over the investment of public money or issuance of bonds, the revenue of which is used for public projects, shall not knowingly accept a contribution of anything of value from a business that contracts with the City of Hobbs to provide financial services involving the investment of public money or issuance of bonds for public projects.

(Ord. No. 1103, 6-5-2017)

2.01.050 Conflicts of interests.

A. A public officer or employee shall not take an official act for the primary purpose of directly enhancing the public officer's or employee's financial interest or financial position. A violation of this section, pursuant to NMSA 1978, § 10-16-4, may constitute a fourth degree felony under the laws of the State of New Mexico.

B. A public officer or employee shall be disqualified from engaging in any official act directly affecting the public officer's or employee's financial interest, except a public officer or employee shall not be disqualified from engaging in an official act if the financial benefit of the financial interest to the public officer or employee is proportionately less than the benefit to the general public.

C. A public officer during the term for which elected and a public employee during the period of employment shall not acquire a financial interest when the public officer or employee believes or should have reason to believe that the new financial interest will be directly affected by the officer's or employee's official act.

D. A public officer or employee shall not sell, offer to sell, coerce the sale of or be a party to a transaction to sell goods, services, construction or items of tangible personal property directly or indirectly through the public officer's or employee's

family or a business in which the public officer or employee has a substantial interest, to an employee supervised by the public officer or employee. This section does not apply if the employee is not supervised by the public officer or employee that is otherwise the seller.

E. A public officer or employee shall not receive a commission or shall not profit from the sale or a transaction to sell goods, services, construction or items of tangible personal property to an employee supervised by the public officer or employee. This section does not apply if the employee is not supervised by the public officer or employee that is the recipient of the commission or profit.

F. A public officer or employee shall not sell, offer to sell, coerce the sale of or be a party to a transaction to sell goods, services, construction or items of tangible personal property, directly or indirectly through the public officer's or employee's family or a business in which the public officer or employee has a substantial interest, to a person over who the public officer or employee has regulatory authority.

G. A public officer or employee shall not receive a commission or profit from the sale or a transaction to sell goods, services, construction or items of tangible personal property to a person over whom the public officer or employee has regulatory authority.

H. The City of Hobbs shall not enter into a contract with a public officer or employee, with the family of the public officer or employee or with a business in which the public officer or employee or the family of the public officer or employee has a substantial interest unless the public officer or employee has disclosed the public officer's or employee's substantial interest through public notice and unless a contract is awarded pursuant to a competitive process.

This subsection does not apply to a contract of official employment with the City of Hobbs. A person negotiating or executing a contract on behalf of the City of Hobbs shall exercise due diligence to ensure compliance with the provisions of this section.

I. A public officer or employee shall not use or disclose confidential information, acquired by virtue of the public officer's or employee's position with the City of Hobbs, for the public officer's or employee's or another person's private gain.

J. A public employee who is participating directly or indirectly in the contracting process shall not become, while such an employee, the employee of the outside person or business contracting with the City of Hobbs.

K. A public officer or employee shall not accept from a person over whom the public officer or employee has regulatory authority an offer of employment or an offer of a contract in which the public officer or employee provides goods, services, construction, items of tangible personal property or other things of value to the person over whom the public officer or employee has regulatory authority.

L. A public officer or employee shall not request or receive an honorarium for a speech or service rendered that relates to the performance of public duties.

M. The City of Hobbs shall not accept a bid or proposal from a person who directly participated in the preparation of specifications, qualifications or evaluation criteria on which the specific competitive bid or proposal was based. A person accepting a bid or proposal on behalf of the City of Hobbs shall exercise due diligence to ensure compliance with this section.

(Ord. No. 1103, 6-5-2017)

2.01.060 Former public employees.

A. The City of Hobbs shall not enter into a contract with, or take any action favorably affecting, any person or business that is:

1. Represented personally in the matter by a person who has been a public officer or employee of the City of Hobbs within the preceding year if the value of the contract or action is in excess of one thousand dollars (\$1,000.00) and the contract is a direct result of an official act by that former public officer or employee; or
2. Assisted in the transaction by a former public officer or employee of the City of Hobbs whose official act, while in employment with the City, directly resulted in the City making the contract or taking the action.

B. A former public officer or employee shall not represent a person in the person's dealings with the City of Hobbs on a matter in which the former public officer or employee participated personally and substantially while a public officer or employee.

C. A former public officer or employee shall not represent for pay a person before the City of Hobbs, including any City division, for a period of one (1) year after leaving public service or employment with the City.

(Ord. No. 1103, 6-5-2017)

2.01.070 Political activity.

A. A public officer or employee shall not directly or indirectly coerce or attempt to coerce another public officer or employee to pay, lend or contribute anything of value to a party, committee, organization, agency or person for a political purpose.

B. A public officer or employee shall not threaten to deny a promotion or pay increase to an employee who does or does not vote for certain candidates, requiring an employee to contribute a percentage of the employee's pay to a political fund, influencing a subordinate employee to purchase a ticket to a political fundraising dinner or similar event, advising an employee to take part in political activity or similar activities.

C. A public officer or employee shall not use the property of the City of Hobbs for their benefit as it relates to any political purpose.

(Ord. No. 1103, 6-5-2017)

2.01.080 Implementation.

A. The City of Hobbs Code of Conduct shall be reviewed at least once every four (4) years from the time of its adoption.

B. Within thirty (30) days after the City of Hobbs Code of Conduct is adopted, a copy shall be given to and reviewed with all public officers and employees. All new public officers and employees shall review the City of Hobbs Code of Conduct prior to or at the time of assuming office (public officer) or being hired (employee).

C. The City Manager shall adopt ongoing education programs to advise public officers and employees about the City of Hobbs Code of Conduct.

D. Nothing in the City of Hobbs Code of Conduct shall relieve any member of the City Commission or the Mayor from the obligations imposed by Section 2.04.060(H) of the Hobbs Municipal Code.

(Ord. No. 1103, 6-5-2017)

2.01.090 Required disclosures.

A. Every public officer shall complete a "Public Officer Disclosure Form," as the same may be amended from time to time, upon taking office or within thirty (30) days of adoption of the City of Hobbs Code of Conduct, whichever is applicable. The public officer shall be required to file the same with the Office of the City Clerk for the City of Hobbs.

B. Every public officer shall complete a "City of Hobbs Financial Disclosure Form," as the same may be amended from time to time, upon taking office or within thirty (30) days of adoption of the City of Hobbs Code of Conduct, whichever is applicable. The public officer shall be required to file the same with the Office of the City Clerk for the City of Hobbs.

C. Every public employee shall complete an "Employee Disclosure Form," as the same may be amended from time to time, upon hire or within thirty (30) days of adoption of the City of Hobbs Code of Conduct, whichever is applicable. The public employee shall be required to return the same to the Human Resources office for the City of Hobbs.

D. Every public employee shall complete a "City of Hobbs Financial Disclosure Form," as the same may be amended from time to time, upon hire or within thirty (30) days of adoption of the City of Hobbs Code of Conduct, whichever is applicable. The public employee shall be required to return the same to the Human Resources office for the City of Hobbs.

E. Every public officer and employee shall be required to complete and file/return the forms outlined herein every December of every year thereafter.

F. Every public officer and employee has a duty to update their individual forms outlined herein as their individual circumstances may change.

G. The forms outlined herein shall constitute "Public Records" for the purposes of the Inspection of Public Records Act (NMSA 1978, §§ 14-2-1, et seq.). (Ord. No. 1103, 6-5-2017)

2.01.100 Enforcement.

A. It shall be the responsibility of every individual public officer and employee to adhere to the City of Hobbs Code of Conduct.

B. A violation of the City of Hobbs Code of Conduct by any public officer may be referred to the State of New Mexico's Attorney General's Office or the District Attorney's Office for investigation and/or legal action.

C. A violation of the City of Hobbs Code of Conduct by any public employee is grounds for discipline, including suspension, demotion or dismissal.

D. Any violation of the City of Hobbs Code of Conduct may be subject to the enforcement procedures outlined in NMSA 1978, §§ 10-16-14, 10-16-17, and 10-16-18, which include both criminal and civil penalties in a court of competent jurisdiction in the State of New Mexico if the same is determined to have been a violation of the Governmental Conduct Act.

E. Any individual, other than an individual suspected of committing a violation, who cooperates as a fact witness or reporting party in an investigation of a violation of the City of Hobbs Code of Conduct shall not be dismissed, threatened with dismissal, or otherwise retaliated against by any public officer or employee on the basis of their cooperation.

(Ord. No. 1103, 6-5-2017)

Chapter 2.04 CITY COMMISSION AND MAYOR RULES*

2.04.010 Election.

A. Single-Member Districts. Each member of the City Commission, which consists of five (5) commissioners, shall reside in and be elected from a single-member district.

B. Equality of Commissioners. All commissioners shall have equal voting power, privileges and prerogatives.

C. Eligibility. Any registered qualified elector of the City may vote in any City election and shall be eligible to hold elective office in the City. Commission candidates for district offices shall have resided within the district they seek to represent for a period of not less than one hundred eighty (180) days immediately prior to the date of filing for such office.

D. Term of Office. The term of office for City Commissioners is four (4) years. The terms of the City Commissioners shall be staggered so that two (2) commissioners shall be elected at one (1) regular City election and the remaining three (3) commissioners shall be elected at the following regular City election. This section notwithstanding anything to the contrary as set forth in subsection E of this section.

E. Transition. At the regular municipal election following the enactment of this section, all five (5) City Commissioners shall be elected; of the five (5) commissioners elected, two (2) shall serve until the following regular City election, and the remaining three (3) shall serve until the next regular City election thereafter. The

***Editor's note**—The title of Ch. 2.04 was amended by Ord. 978.