

AGENDA
City of Hobbs Planning Board – Regular Meeting
October 15, 2019 at 10:00 AM

W. M. “Tres” Hicks, Chairman
Bill Ramirez
Brett Drennan
Larry Sanderson

Guy Kesner, Vice Chairman
Philip Ingram
Ben Donahue

Tentative Agenda for the Planning Board Regular Session Meeting to be held on Tuesday, October 15, 2019 at 10:00 AM at the City of Hobbs Annex Building, First Floor Commission Chambers located at 200 E. Broadway, Hobbs, NM 88240.

AGENDA

- 1) Call To Order.**
- 2) Review and Consider Approval of Agenda.**
- 3) Review and Consider Approval of Minutes.**

September 17, 2019 – Regular Meeting

- 4) Communications from Citizens.**
- 5) Review and Consider Preliminary Plan for Tanglewood, Unit 4 Subdivision, as submitted by property owner, Alberto Caballero.**
- 6) Review and Consider Preliminary Plan for Zia Crossing Unit 7, as submitted by property owner, Black Gold Estates, LLC.**
- 7) Review and Consider Final Plat Approval for The Meadows Subdivision Unit 2, as submitted by property owner, Lemke Development, Inc.**
- 8) Review Sketch Plan for proposed Subdivision located southwest of the intersection of Texas and Hannah, as submitted by property owner, Glen Payne.**
- 9) Adjournment.**

The City will make every effort to provide reasonable accommodations for people with disabilities who wish to attend a public meeting. Please notify the City at least 24 hours before the meeting. Telephone 397-9351.

“Notice is hereby given that a quorum of the Hobbs City Commission may be in attendance at this meeting.”

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October 15, 2019
Planning Board Regular Meeting

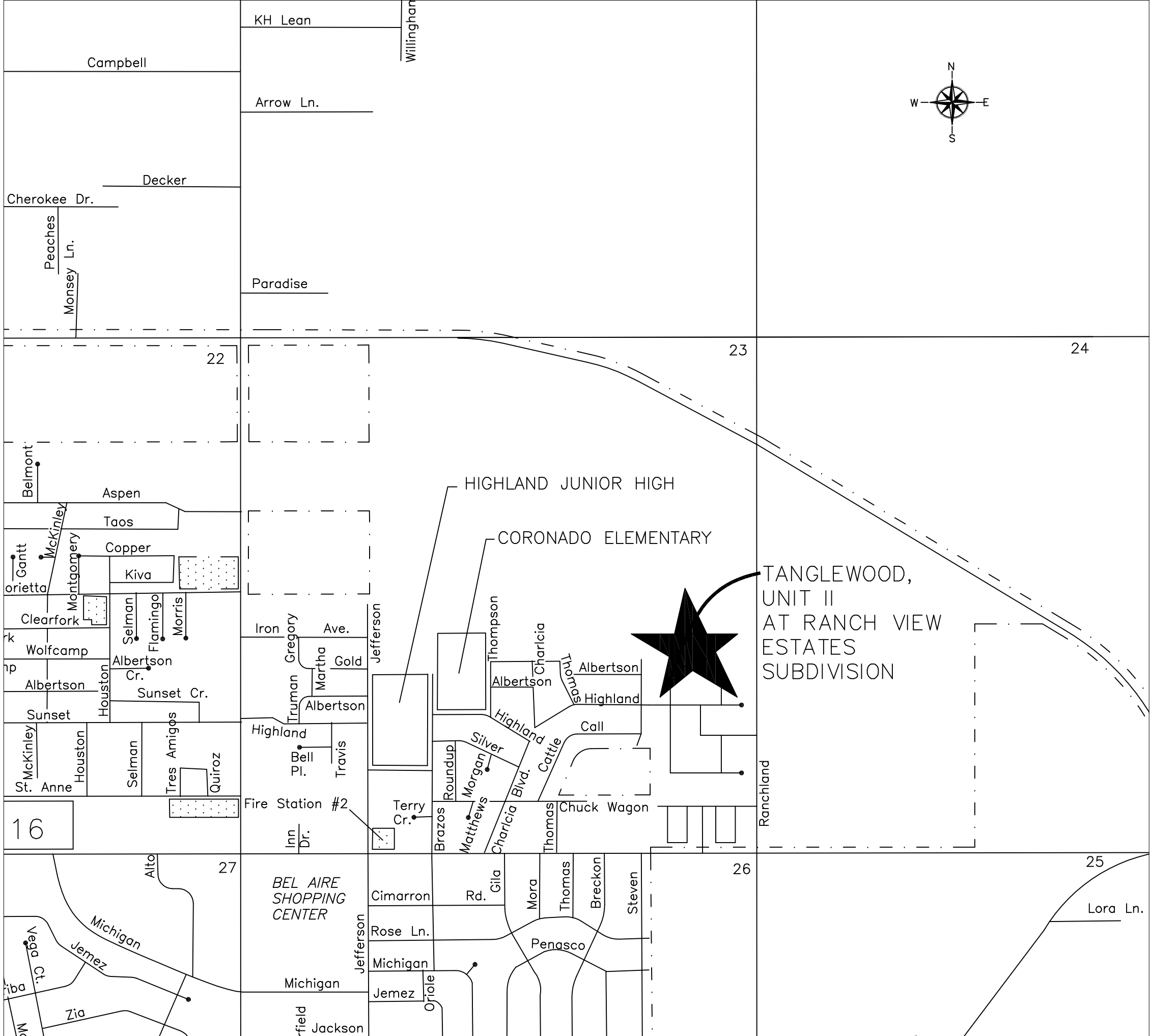
- 5) **Review and Consider Preliminary Plan for Tanglewood, Unit 4 Subdivision, as submitted by property owner, Alberto Caballero.**

SUBDIVISION PLANS

ALJO DEVELOPMENT, LLC

TANGLEWOOD, UNIT 4 AT RANCH VIEW ESTATES

CITY OF HOBBS
LEA COUNTY, NEW MEXICO
SECTION 23 TOWNSHIP 18 SOUTH RANGE 38 EAST



LOCATION MAP
SCALE 1" = 1,000'

INDEX OF SHEETS

SHEET	DESCRIPTION
1	COVER SHEET, INDEX OF DRAWINGS & LOCATION MAP
2	GENERAL NOTES
3	PRELIMINARY PLAT by John West Surveying Co.
4	MASTER LAYOUT (ROADWAYS AND UTILITIES)
5	BRECKON & ROAD "A" ROADWAY AND SEWER PLAN AND PROFILE
6	ROAD "D" ROADWAY AND SEWER PLAN AND PROFILE
7	TANGLEWOOD AVE. ROADWAY AND SEWER PLAN AND PROFILE
8	BLANK, NOT USED
9	ROAD "E" ROADWAY AND SEWER PLAN AND PROFILE
10	ROAD "A2" ROADWAY AND SEWER PLAN AND PROFILE
11	ROAD "F" ROADWAY AND SEWER PLAN AND PROFILE
12	INTERSECTION DETAILS 1
13	INTERSECTION DETAILS 2
14	ROADWAY DETAILS
15	WATER DETAILS
16	SEWER DETAILS
17	SEWER DETAILS (CONTINUED)
18	MISCELLANEOUS DETAILS
19	ELECTRICAL TRENCH LAYOUT BY XCEL ENERGY INC.

SPECIFICATIONS: Street Construction

- All work shall meet or exceed the applicable requirements of the "New Mexico Standard Specifications for Public Works Construction" 1987 Edition (herein—after abbreviated NMSS), except as otherwise specified herein.
- Earthwork shall be considered incidental to the street construction unless otherwise indicated in the bid proposal. All roots and other vegetation shall be removed from areas to be covered by asphalt or concrete. The subgrade shall be accurately shaped to lines and grades as indicated on the drawings and compacted as indicated on the details. Minimum compaction in areas not otherwise shown shall be 90% of the maximum density as determined by ASTM D-1557, Method A.
- All Portland Cement Concrete for pavement shall conform to NMSH&TD Specification— Section 451 or Section 503, for structures. The contractor shall submit a proposed job mix for the engineer's approval in ample time before placing any concrete.
- Base course materials and placement shall conform to the requirements of NMSH&TD Specification, Section 304—Base Course. The contractor shall submit an aggregate analysis for the engineer's approval in ample time before placing any base course material.
- Prime coat material and placement shall conform to the requirements of NMSH&TD Specifications, Section 408—Prime Coat. The contractor shall submit certification of quality for his proposed material for the engineer's approval in ample time before placing any prime coat.
- Asphaltic concrete surface course material and placement shall conform to the requirements of NMSH&TD Specification, Section 420 OR 422—Plant Mix Bituminous Pavement (Dense Graded or Super Pave). The contractor shall submit a proposed mix design for the engineer's approval in ample time before placing any surface course.
- The water and sewer contractor shall complete his work, including trench compaction and clean-up, in any one street before the paving contractor starts final subgrade preparation for the street construction. Final adjustment to grade of valve boxes and manhole covers, pouring concrete collars, etc., shall be left for the paving contractor.
- All construction, including compaction, shall be guaranteed for a period of 12 months after completion of construction.

SPECIFICATIONS – Water and Sewer Systems

- All work shall meet or exceed the applicable requirements of the "New Mexico Standard Specifications for Public Works Construction", 1987 Edition (herein—after abbreviated NMSS), except as otherwise specified herein.
- Manufacturer's brochure cuts, and certificates of quality where applicable, shall be submitted for the engineer's approval for all items installed on the job.
- Water mains shall be PVC Water Pressure Pipe, Class 150, DR 18, C-900 water pipe as specified in NMSS Section 121, joints may be either mechanical or push-on type except where otherwise specifically indicated, or shall be Polyethylene Water Pressure Pipe, DR 17 as specified by AWWA C-906.
- The use of tapping sleeves for connection to existing mains or repair sleeves will not be permitted except with the express permission of the engineer for each instance.
- Water service lines shall be 1" diameter, polyethylene tubing and accessories shall conform with NMSS Section 560.2 – Water Service Pipe.
- All sections of new water mains shall be hydrostatically tested in accordance with AWWA C-600, Sec. 13, in the presence of the engineer and a city representative. The contractor shall furnish all equipment and labor required to make the tests. The mains shall be tested with the service connections complete in place. The leakage shall not exceed the calculated allowable leakage as specified in test sheet 801.16.2 in NMSS Section 801. The contractor shall locate and repair all leaks until there are no visible leaks and the overall leakage is within the specified maximum.
- Sanitary sewer pipe shall be Polyvinyl Chloride (PVC) pipe, DR 35, as specified in the NMSS Section 121.
- Manholes shall be constructed with precast reinforced concrete sections conforming to ASTM C-478. Block manholes are expressly prohibited. All portland cement concrete and mortar used in manhole construction shall utilize Type II cement. Care shall be taken to properly finish manhole inverts.
- The water and sewer contractor shall complete his work, including trench compaction and clean-up, in any one street before the paving contractor starts final subgrade preparation for the street construction. Final adjustment to grade of valve boxes and manhole covers, pouring concrete collars, etc., shall be left for the paving contractor.
- All water mains shall be chlorinated as specified in NMSS Section 801.17. Each service connection shall be operated to thoroughly flush the lines on completion.
- All construction, including compaction, shall be guaranteed for a period of 12 months after completion of construction.
- All service line connections for water and sewer shall be made with fittings specifically for the material used, and as per the manufacturer's installation requirements.

NOTES – Water and Sewer Construction

- Sewer services shall be located 5 feet ± down-stream from the center of the lot frontage except where otherwise indicated on the plans. Opposing connections shall be spaced at least 4 feet apart along the sewer mains. Water services shall be located 5 feet ± upstream from the common lot lines except where otherwise indicated on the plans, and 10 feet minimum away from the sewer services. Water taps shall be spaced at least 2 feet apart on the water mains.
- Stationing is as shown on the plan and profile sheets.
- Water mains shall not be located less than 10 feet away from sewer lines nor closer than 3 feet to the lip of the curb and gutter, except where lines cross.
- Where a water line passes beneath or less than 18 inches above a sewer line, the sewer line shall be encased in concrete 6 inches thick as shown in the "Standard Details" for at least 10 feet on each side of the water line, or the sewer line shall be Ductile or Cast Iron Pipe with pressure-type joints for 10 feet on each side of the water line. This shall also apply where a parallel water line is less than 10 feet horizontally and less than 2 feet above the sewer.

GENERAL NOTES:

- Testing of construction materials, including subgrade compaction, shall be performed as required by the engineer and at the expense of the owner, except that the contractor shall pay for any re-testing required. The contractor shall cooperate in allowing opportunity for testing and furnishing samples and job site assistance as required. The contractor shall furnish manufacturer's certificates of quality as required.
- The contractor shall maintain a reasonably clean job site throughout the construction period and at completion shall remove all debris and dress up all areas disturbed by his operations.
- Measurement and payment of the various items of construction shall be made by the units indicated in the bid proposal and at the unit prices bid, work and materials not specifically called out in the bid proposal shall be considered incidental to the nearest associated item listed in the proposal.
- The contractor shall do his own layout and construction staking from bench marks and centerline reference points furnished by the owner. The contractor shall be responsible for properly referencing all triangulation stations, bench marks, monuments, and grant markers, section corners, or other permanent reference marker, that may be destroyed during the construction of this project. The Project Manager, at the contractor's expense, shall reference and reset destroyed monuments according to government regulations and state law. Design survey for Owner provided by John West Surveying Company.
- Haul shall be considered incidental to construction, and no direct payment shall be made.
- For estimating purposes only, earthwork quantities are based on a shrinkage factor of 0% in roadway embankment and 0% swell in roadway excavation.
- No underground utilities (water or sewer) shall be backfilled prior to inspection and approval by the ENGINEER. Any backfill placed prior to inspection and approval will be removed at the contractor's expense.
- Locations of all existing utilities shown were taken from record drawings or field surveys and are located as accurately as possible from information available. It will be the contractor's responsibility to protect, maintain in service, and at points required, verify exact locations of these utilities during construction operations of this project.
- The contractor shall never unnecessarily interfere with or interrupt the services of any public utility having property within or adjacent to the construction area. He shall give all public utility companies a reasonable notice in writing, in no event less than 48 hours, for any work that he contemplates would interfere in any what whatsoever with the service of any existing public utility and city-owned facility.
- When construction under this project connects to existing improvements the contractor shall build an easy-riding connection.
- When abutting new pavement to edges of existing pavement, the existing pavement shall be cut a straight neat edge and tack coat shall be applied to edges of existing pavement prior to beginning of new pavement operations.
- The Contractor shall coordinate any work required by others in the construction area with the construction of this project.
- No underground utilities (water or sewer) shall be backfilled prior to inspection and approval by the CITY OF HOBBS. Any backfill placed prior to inspection and approval will be removed at the contractor's expense.
- Where proposed elevations in the plans are shown with two digits preceding the decimal, it shall be assumed that 3600 feet is to be added.
- All concrete shall contain fiber reinforcement. Fiber reinforcement shall be virgin polypropylene strands approximately 3/4 inches in length, mixed into the concrete at a rate of 1.5 pounds per cubic yard or fibers shall be Anti-Crack HD (AR glass fibers) as manufactured by Saint-Gobain Vetrotex America and mixed into the concrete at a rate of 1.0 pounds per cubic yard (fiber length 3/4 inch). Use of fiber reinforcement does NOT substitute for any structural reinforcement required by the project drawings and contract documents. No separate measurement or payment will be made for fiber reinforcement, it shall be considered incidental to the item being installed.
- Construction will not be considered complete until all drainage structures, including new curband gutter, are tested flowing and found satisfactory by the project manager. Finished concrete grade tolerance shall not deviate from those shown on the plans by more than =/- 0.002 feet. This shall be considered incidental to the construction of this project.

MATERIAL SPECIFICATION:

Materials and equipment used in the installation of water and sewer improvements shall be in accordance with the City of Hobbs standards and shall be new and unused, manufactured in compliance with standards published by the American Society for Testing and Materials (ASTM), the American Water Works Association (AWWA) or other published applicable standards.

Where specific items are called for by name, make, or catalog number such reference shall be interpreted as establishing a standard quality and not construed as limiting competition. The use of substitutes is permissible in most cases, provided written requires and proper certification are submitted to the ENGINEER for review and approval prior to Bid Opening for City of Hobbs approval.

SANITARY SEWER

Collector: PVC, SDR 26 (under 18" Dia.) (Stiffness of 46 for over 18" Dia.), push-on, gasketed (or glued) sewer pipe.
 Service: PVC, SCH 40 or SDR 21, push-on, gasketed (or glued) sewer pipe.
 Fittings: PVC, SCH 40, push-on, gasketed sewer pipe.
 Manholes: Fiberglass (preferred) or Precast reinforced concrete, 4 ft. inside diameter, type "C" Concentric manholes.
 Manhole rim and Lid: A. Vented in pavement areas, East Jordan Iron Works #41430120A01 or approved equal. Frame & cover shall be AASHTO H-20 load rated, Ductile iron castings shall be grade 70-50-05 conforming to ASTM A536 (latest edition), Grey iron castings shall be CL35 conforming to ASTM A448 (latest edition), frame & cover to be uncoated. (See Details)
 B. Sealing in drainage swale and bar-ditch areas, shall be as required by the City of Hobbs.
 Force Mains: HDPE DR 13.4 C-906 (WPR 130 psi) or PVC DR 14 Class 200 C-900 (WPR 145 psi).

POTABLE WATER

Distribution Lines: PVC, DR 18, Class 150, C-900 push-on, gasketed water pipe – OR – HDPE, DR 17, C-906 blue or blue stripe.
 Fittings: Mechanical joint (MJ), class 250 or 350 S.S.B. type, ductile iron pipe fittings for PVC. Polyethylene fittings may be MJ or fused fittings, ductile iron pipe sizes. All HDPE pipe shall utilize MJ adapters when connection to Ductile Iron Fittings. Mega Lug restrained fittings shall be used along with concrete thrust blocking. Valves may be FL X MJ when connected at fittings.
 Gate Valves: Mueller bonded resilient seat, non-raising stem type, mechanical joint, fuse bonded epoxy coated inside and out, 2 inch operating nut, opens counter-clockwise. Valves may be FL x MJ when connected at fittings.
 Fire Hydrants: Kennedy Guardian – K81D Main valve fire hydrant, Exterior painted "chrome yellow" as per NM APWA specs.
 Valve Boxes: Tyler 461S, or equal
 Water Meter Box – Regular Meter Box – East Jordan product number 32234002A04, round 18" x 18" and DFW Plastics Inc. plastic blue cover product number (18AMR-49).



NO.	DATE	BY	CHK	ENGR	APP.
1					
2					
3					
4					
5					

ALJO DEVELOPMENT, LLC
 TANGLEWOOD UNIT 4
 GENERAL NOTES AND
 MATERIALS SPECIFICATIONS



Drawn By:	Checked by:
PLR	PLR
Date:	Disk:
10-1-19	TANGLEWD.
File Name:	Job No.:
GEN NOTES	

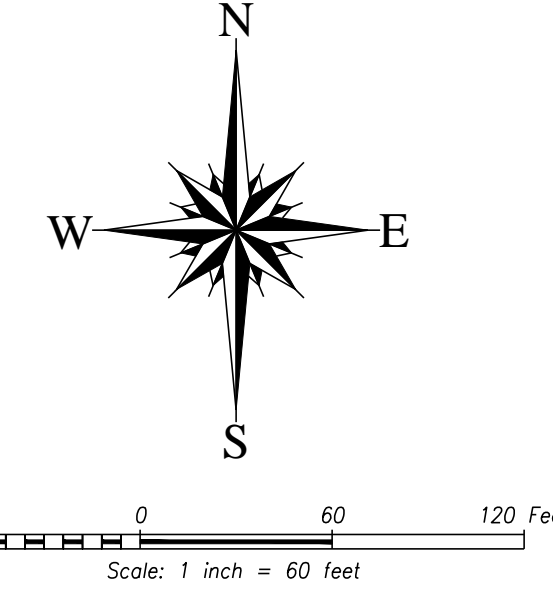
ORIGINAL DRAWING SIZE 24" X 36"

PRELIMINARY - 09/25/19

This document shall not be recorded for any purpose and shall not be used or relied upon as a final survey document.

TRACT 3 (REMAINDER), LEDGESTONE SUBDIVISION #3

TANGLEWOOD UNIT FOUR AT RANCHVIEW ESTATES SUBDIVISION TO THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO



OWNER'S STATEMENT, DEDICATION AND AFFIDAVIT: THE FOREGOING SUBDIVISION OF TRACT 11, AS SHOWN ON THAT CERTAIN PLAT RECORDED ON MARCH 12, 2019, IN CABINET F, SLIDE 109 AND IN SURVEY RECORDS BOOK 2, PAGE 557 OF THE OFFICIAL RECORDS OF LEA COUNTY, NEW MEXICO AND SITUATED WITHIN THE CORPORATE BOUNDARIES OF THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, LOCATED IN THE SOUTH HALF OF SECTION 23 AND THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" FOUND AT THE NORTHWEST CORNER OF TANGLEWOOD UNIT THREE AT RANCHVIEW ESTATES SUBDIVISION TO THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, AS SHOWN ON SAID PLAT RECORDED IN BOOK 2152 ON PAGE 92 OF THE OFFICIAL RECORDS OF LEA COUNTY, NEW MEXICO, FOR THE NORTHWEST CORNER OF THIS TRACT, THEN S00°43'48"W A DISTANCE OF 13.02 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" FOUND FOR A CORNER OF THIS TRACT, THEN S89°22'20"W ALONG THE NORTH LINE OF THE SECOND UNIT OF SAID TANGLEWOOD UNIT THREE A DISTANCE OF 815.42 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" FOUND FOR THE SOUTHEAST CORNER OF THIS TRACT, THEN S89°19'10"W A DISTANCE OF 159.80 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" SET FOR A CORNER OF THIS TRACT, THEN N00°43'48"W A DISTANCE OF 13.02 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" FOUND FOR A CORNER OF THIS TRACT, THEN S89°22'20"W ALONG THE NORTH LINE OF THE SECOND UNIT OF SAID TANGLEWOOD UNIT THREE A DISTANCE OF 1651.59 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" FOUND FOR A POINT ON THE EAST LINE OF A TRACT OF LAND CONVEYED TO THE HOBBS MUNICIPAL SCHOOLS DISTRICT No. 16 (HMS No. 16) BY WARRANTY DEED RECORDED IN BOOK 276, PAGE 124, OF THE OFFICIAL RECORDS OF LEA COUNTY, NEW MEXICO AND A CORNER OF THIS TRACT, THEN N00°43'21"W A DISTANCE OF 285.00 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" FOUND FOR A CORNER OF THIS TRACT, THEN N89°22'20"E A DISTANCE OF 15.90 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" SET FOR A CORNER OF THIS TRACT, THEN N00°43'21"W A DISTANCE OF 515.76 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" SET FOR THE NORTHWEST CORNER OF THIS TRACT, THEN N89°18'55"E A DISTANCE OF 1796.09 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT WHICH LIES N89°22'20"E 4315.96 FEET AND N00°43'48"W 2912.21 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 23, THEN N00°43'48"W 40.00 FEET; THEN N89°22'20"E 40.00 FEET; THEN S00°43'48"E 40.00 FEET; THEN S89°22'20"W 40.00 FEET TO THE POINT OF BEGINNING, LEAVING TRACT 11 WITH 33.16 ACRES MORE OR LESS.

SAID PROPERTY IS BEING SUBDIVIDED AS THE SAME APPEARS HEREON, WITH ALL RIGHTS-OF-WAY AS SHOWN BEING CONVEYED TO THE PUBLIC, COMPRISING TANGLEWOOD UNIT THREE, AT RANCHVIEW ESTATES, TO THE CITY OF HOBBS, WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND PROPRIETORS THEREOF, NOTICE IS HEREBY GIVEN THAT THERE HAS BEEN FILED IN THE OFFICE OF THE COUNTY CLERK OF LEA COUNTY, NEW MEXICO, CERTAIN RESTRICTIVE COVENANTS APPLICABLE TO THE ABOVE DESCRIBED PROPERTY, WHICH SAID COVENANTS ARE RECORDED ON PAGE _____ OF BOOK _____, MISCELLANEOUS RECORDS OF SAID COUNTY.

OWNER: ADALBERTO CABALLERO ALVO DEVELOPMENT LLC
ACKNOWLEDGMENT
STATE OF NEW MEXICO
COUNTY OF LEA
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2019 A.D., BY ADALBERTO CABALLERO, ALVO DEVELOPMENT LLC.

NOTARY PUBLIC
MY COMMISSION EXPIRES

CERTIFICATE OF MUNICIPAL APPROVAL:
I, JAN FLETCHER, THE DULY APPOINTED AND ACTING CITY CLERK OF THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING PLAT OF TANGLEWOOD UNIT FOUR AT RANCHVIEW ESTATES SUBDIVISION, WAS APPROVED BY THE COMMISSION OF THE CITY OF HOBBS BY RESOLUTION No. _____ ON THE _____ OF _____, 2019 A.D.

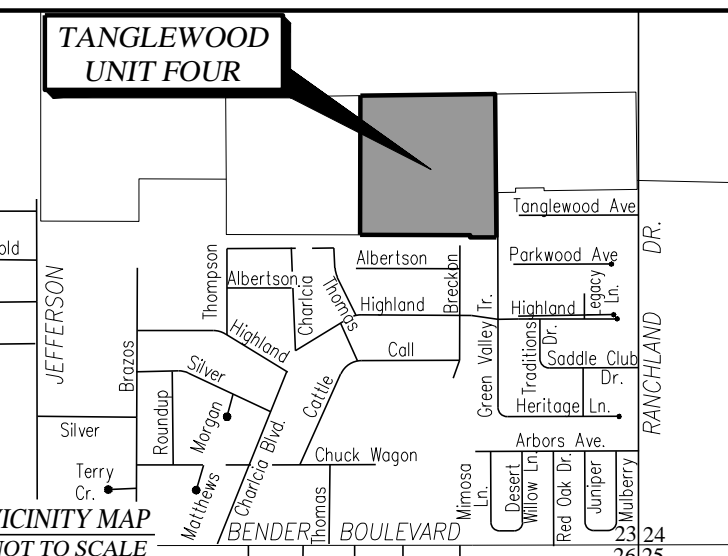
ACKNOWLEDGMENT:
STATE OF NEW MEXICO
COUNTY OF LEA
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2019 A.D., BY JAN FLETCHER.

NOTARY PUBLIC
MY COMMISSION EXPIRES

CERTIFICATE OF APPROVAL BY THE CITY PLANNING BOARD:
THE PLAT, RESTRICTIONS AND DEDICATION REVIEWED AND APPROVED ON THE _____ DAY OF _____, 2019 A.D., BY THE CITY PLANNING BOARD OF HOBBS, NEW MEXICO.

ACKNOWLEDGMENT:
STATE OF NEW MEXICO
COUNTY OF LEA
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2019 A.D., BY WILLIAM M. HICKS III.

NOTARY PUBLIC
MY COMMISSION EXPIRES



Scale: One Inch = Sixty Feet
CAD Drafter & Date: DSS - 07/23/19
JWSC W.O. No.: 19.11.0521
JWSC File No.: E-3546
STATE OF NEW MEXICO
COUNTY OF LEA - FILED.



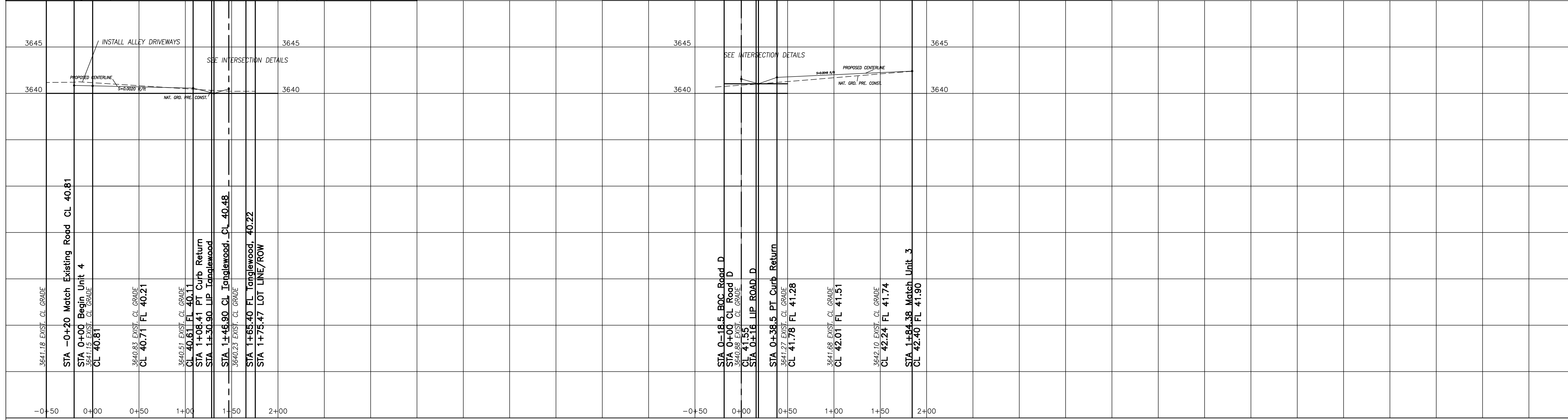
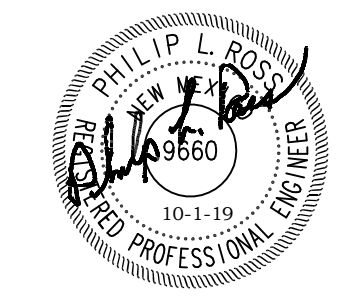
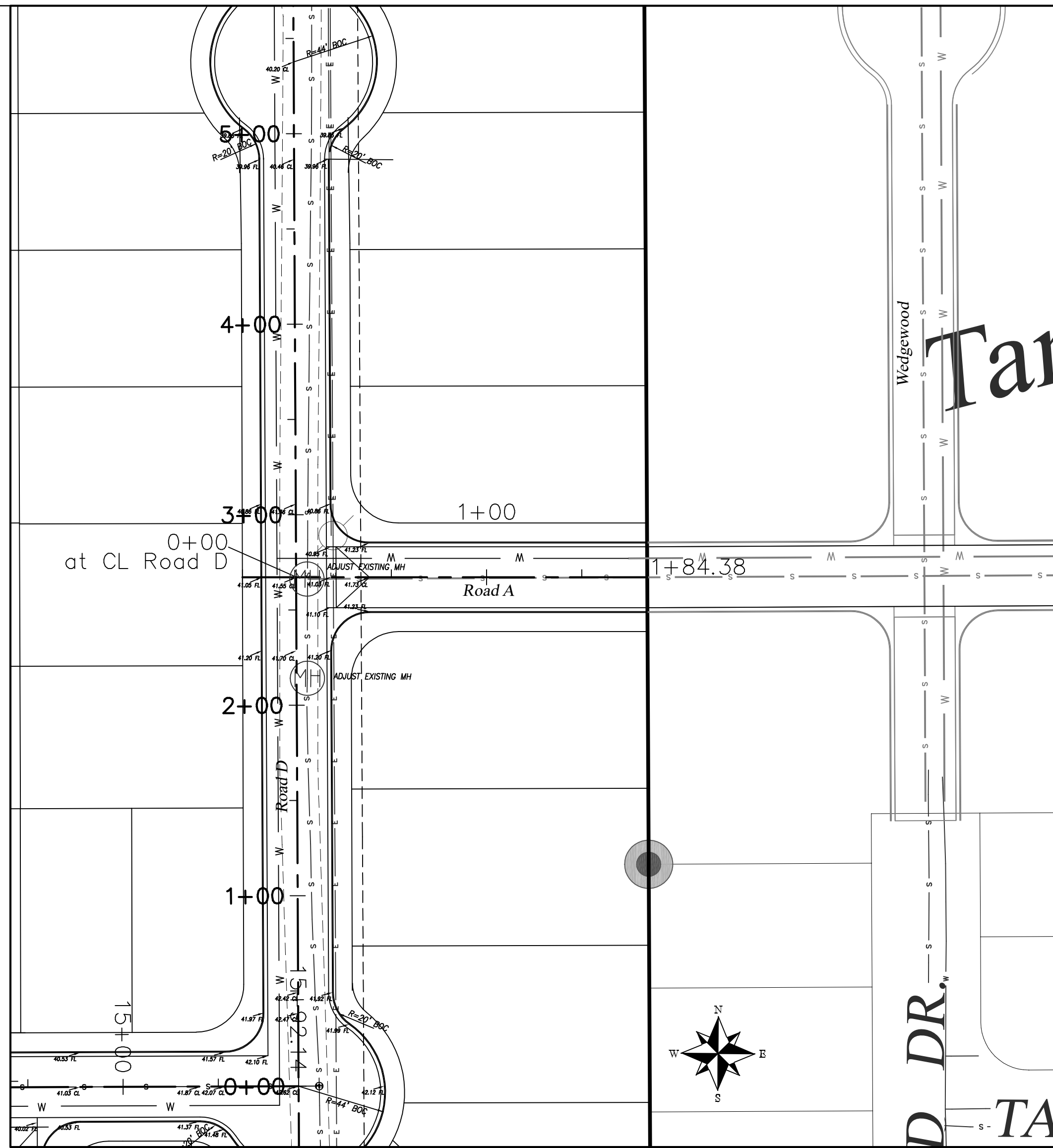
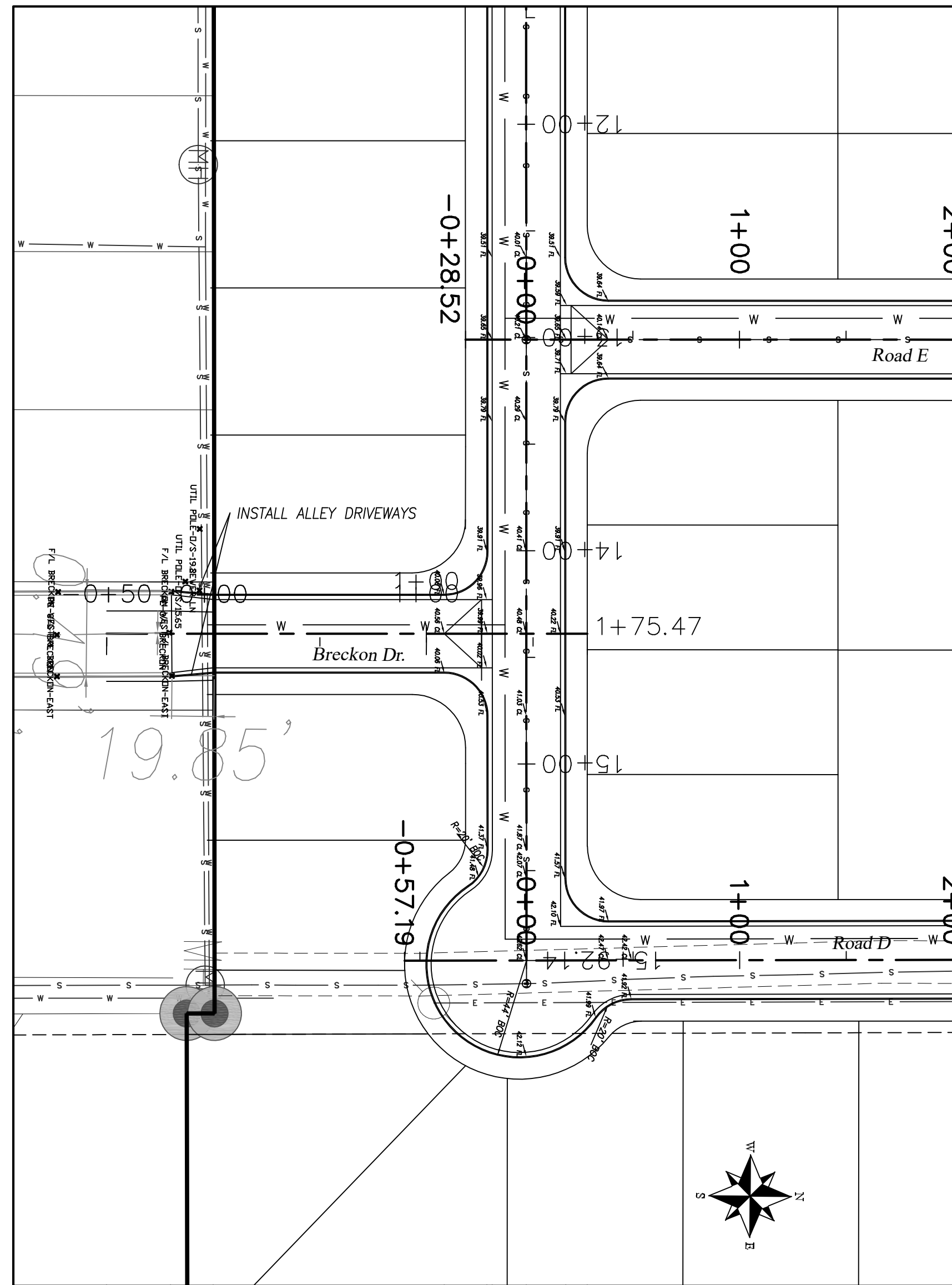
LEGEND:
● - DENOTES FOUND 1/2" STEEL ROD W/CAP MARKED "JWSC PS 12641"
○ - DENOTES SET 1/2" STEEL ROD W/CAP MARKED "JWSC PS 12641"
○ - DENOTES FOUND 5/8" STEEL ROD
• - DENOTES DIMENSION POINT
--- - DENOTES BUILDING SETBACK LINE (SEE NOTE #2)
- - - - - DENOTES CENTERLINE OF ROADWAY

NOTES:
1) BEARINGS SHOWN HEREON ARE MERCATOR GRID AND CONFORM TO THE NEW MEXICO COORDINATE SYSTEM "NEW MEXICO EAST ZONE" NORTH AMERICAN DATUM 1983. DISTANCES ARE SURFACE VALUES.
2) LOT SIDE AND REAR SETBACK LINES ARE 5.0 FEET EXCEPT ALONG RIGHTS-OF-WAY, WHERE 10.00 FOOT SIDE SETBACK LINES APPLY. LOT FRONT SETBACK LINES ARE 21.00 FEET.
3) A TWO FOOT UTILITY & FENCE EASEMENT IS HEREBY RESERVED ALONG LOT LINES ADJOINING THE NORTH LINE OF THIS SUBDIVISION PARCEL. A ONE FOOT EASEMENT IS HEREBY RESERVED AROUND AND WITHIN ALL OTHER LOTS ADJOINING RIGHTS-OF-WAY. ALL RIGHTS-OF-WAY ARE DEDICATED THIS PLAT.
4) WITH RESPECT TO THE FLOOD INSURANCE RATE MAP FOR LEA COUNTY, NEW MEXICO AND INCORPORATED AREAS, PANEL 1355 OF 2150, MAP No. 35025C1355D, EFFECTIVE DATE, DECEMBER 16, 2008, THE ABOVE DESCRIBED PROPERTY LOCATED IN THE SOUTH HALF OF SECTION 23, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., CITY OF HOBBS, LEA COUNTY, NEW MEXICO, IS LOCATED IN ZONE D, BEING DEFINED AS AREAS IN WHICH FLOOD HAZARDS ARE UNDETERMINED, BUT POSSIBLE.

CURVE TABLE with columns for Curve No., Stationing, Curve Data, and Stationing.

SURVEYOR'S CERTIFICATE:
I, GARY G. EDSON, NEW MEXICO PROFESSIONAL SURVEYOR No. 12641, DO HEREBY CERTIFY THAT THIS SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
GARY G. EDSON _____ DATE: _____
PROVIDING SURVEYING SERVICES SINCE 1948
JOHN WEST SURVEYING COMPANY
412 N. DAL PASO BOBBS, N.M. 88240
(575) 393-1117 www.jwsc.biz
TBPLS# 10021000

PRELIMINARY - 09/25/19
REVIEW PURPOSES ONLY



NO.	REVISIONS	BY	DATE	DES
				DRN
				CHK
				APPD

DATE
4/11/2019

SCALE
H: 1" = 50'
V: 1" = 5'

the ROSS GROUP
CONSULTING ENGINEERS

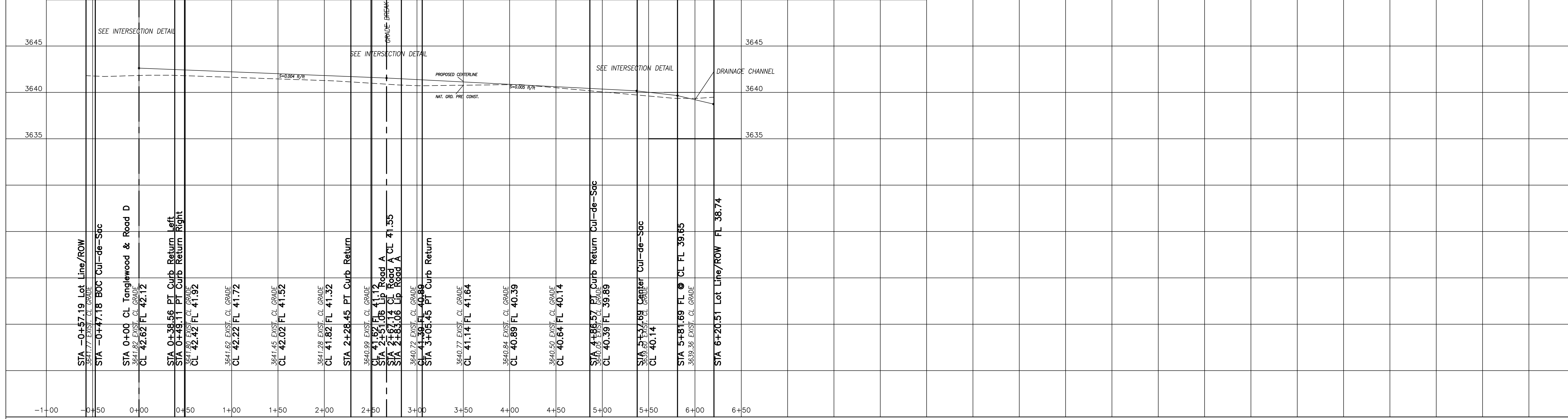
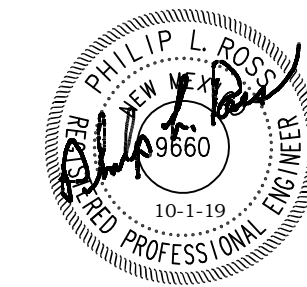
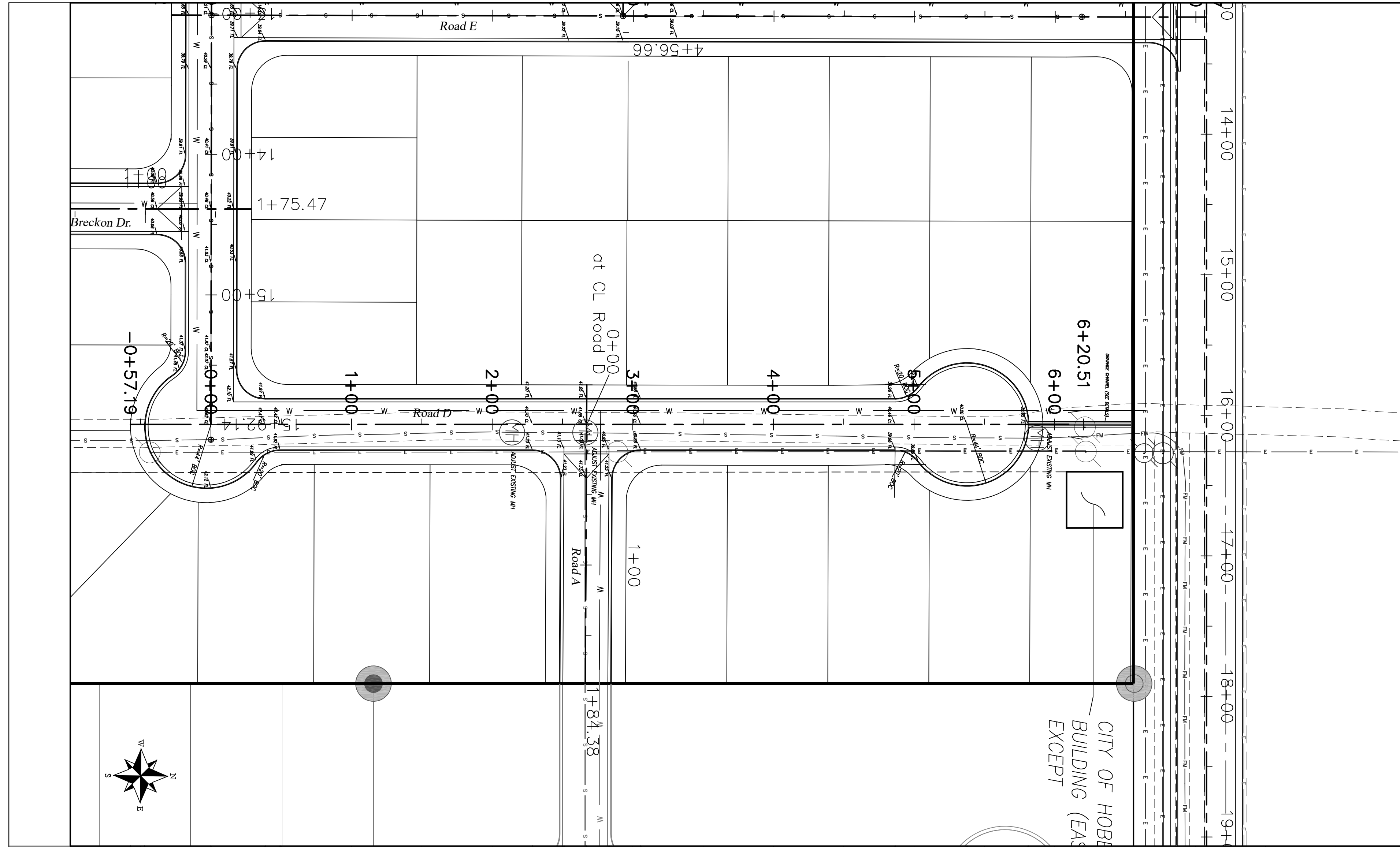
410 N. Dal Paso
Hobbs, New Mexico 88240
Telephone (575) 392-7918
Fax (575) 392-9114

ALJO DEVELOPMENT, LLC
TANGLEWOOD UNIT IV

BRECKON and ROAD A Extension from Unit 3
PLAN and PROFILES

SHEET
5
OF
19

ORIGINAL DRAWING 24" X 36"



NO.	REVISIONS	BY	DATE	DES
				DRN
				CHK
				APPD

DATE
4/12/2019

SCALE
H: 1" = 50'
V: 1" = 5'

the ROSS GROUP
CONSULTING ENGINEERS

410 N. Dal Paso
Hobbs, New Mexico 88240
Telephone (575) 392-7918
Fax (575) 392-9114

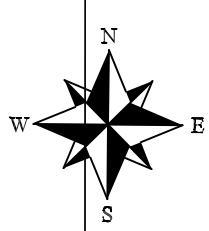
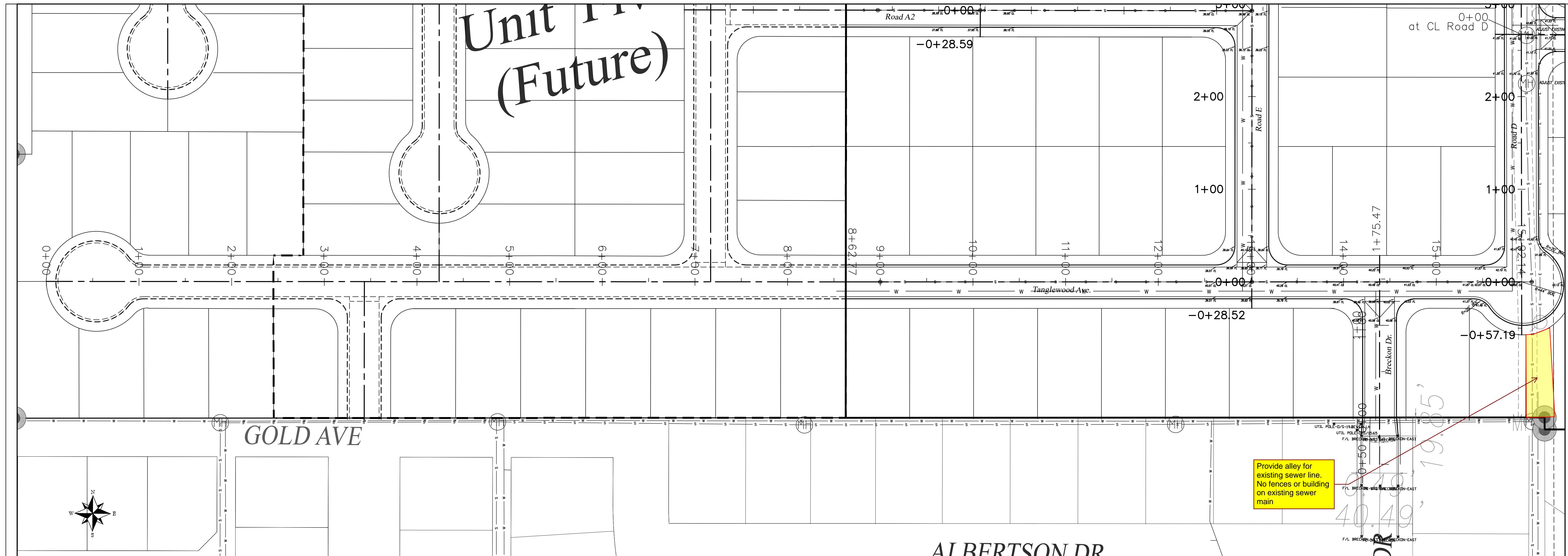
ALJO DEVELOPMENT, LLC
TANGLEWOOD UNIT IV

ROAD D PLAN AND PROFILE

SHEET
6
OF
19

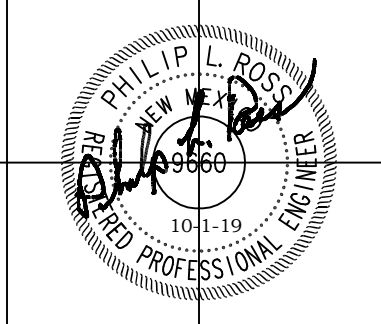
ORIGINAL DRAWING 24" X 36"

Unit 1
(Future)



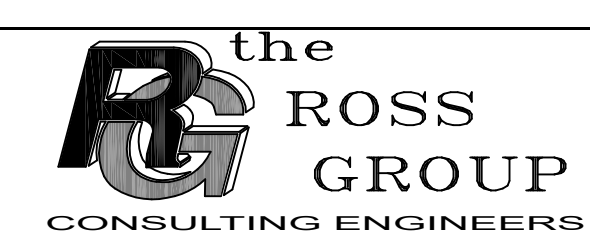
Provide alley for existing sewer line. No fences or building on existing sewer main

Station	Description	Grade	Notes
0+00	STA 0+00 LOT LINE/ROW	3634.38 EXIST. CL GRADE	
0+00	CL XX.XX		
0+10	STA 0+10 BOC Cui-de-Soc		
0+50	CL XX.XX		
0+54	STA 0+54 CL Cui-de-Soc	3634.51 EXIST. CL GRADE	
1+00	CL XX.XX		
1+00	3634.78 EXIST. CL GRADE		
1+50	CL XX.XX		
1+50	3635.05 EXIST. CL GRADE		
2+00	CL XX.XX		
2+00	3635.37 EXIST. CL GRADE		
2+50	CL XX.XX		
2+50	3635.61 EXIST. CL GRADE		
3+00	CL XX.XX		
3+00	3635.87 EXIST. CL GRADE		
3+27.18	STA 3+27.18 LIP Future Curb Return		
3+43.19	STA 3+43.19 CL Future Charlebia		
3+59.18	STA 3+59.18 LIP Future Charlebia		
3+81.66	STA 3+81.66 PT Future Curb Return		
4+07.86	STA 4+07.86 LIP Future Road		
4+39.86	STA 4+39.86 LIP Future Road		
4+59.86	STA 4+59.86 LIP Future Road		
4+62.37	STA 4+62.37 PT Future Curb Return		
5+00	CL XX.XX		
5+00	3636.67 EXIST. CL GRADE		
5+50	CL XX.XX		
5+50	3636.75 EXIST. CL GRADE		
6+00	CL XX.XX		
6+00	3636.83 EXIST. CL GRADE		
6+50	CL XX.XX		
6+50	3636.93 EXIST. CL GRADE		
7+00	CL XX.XX		
7+00	3637.09 EXIST. CL GRADE		
7+00	3637.09 EXIST. CL GRADE		
7+00	3637.09 EXIST. CL GRADE		
7+32.86	STA 7+32.86 LIP Future Road		
7+55.37	STA 7+55.37 PT Curb Return		
8+00	CL XX.XX		
8+00	3637.41 EXIST. CL GRADE		
8+50	CL XX.XX		
8+50	3637.54 EXIST. CL GRADE		
8+62.77	STA 8+62.77 Begin Unit 4		
9+00	CL 38.36 FL 37.86 INV 34.19		
9+50	CL 38.80 EXIST. CL GRADE		
9+50	CL 38.49 FL 37.99 INV 34.07		
10+00	CL 38.63 FL 38.13 INV 33.94		
10+50	CL 38.90 FL 38.40 INV 33.82		
11+00	CL 39.16 FL 38.66 INV 33.69		
11+50	CL 39.43 FL 38.93 INV 33.57		
12+00	CL 39.69 FL 39.19 INV 33.44		
12+50	CL 39.96 FL 39.46 INV 33.32		
12+62.47	STA 12+62.47 PT Curb Return		
12+84.96	STA 12+84.96 LIP Road E		
13+00	CL 40.21 FL 39.71 INV 33.19		
13+00.95	STA 13+00.95 CL Road E		
13+16.96	STA 13+16.96 LIP Road E		
13+39.47	STA 13+39.47 PT Curb Return		
13+50	CL 40.30 FL 39.80 INV 33.07		
14+00	CL 40.56 FL 40.06 INV 32.94		
14+06.21	STA 14+06.21 PT Curb Return		
14+28.71	STA 14+28.71 LIP Breckon		
14+44.72	STA 14+44.72 CL Breckon		
14+56.71	STA 14+56.71 LIP Breckon		
14+83.21	STA 14+83.21 PT Curb Return		
15+00	CL 41.29 FL 40.79 INV 32.69		
15+40.39	STA 15+40.39 PT Cui-de-Soc		
15+53.59	STA 15+53.59 PT Road D		
15+76.12	STA 15+76.12 LIP Road D		
15+92.14	STA 15+92.14 CL Road D & Cui-de-Soc		
16+02.96	STA 16+02.96 CL EXISTING SEWER INV. 32.44 VERIFY		



NO.	REVISIONS	BY	DATE	DES
				DRN
				CHK
				APPD

DATE: 4/11/2019
SCALE: H: 1" = 50'
V: 1" = 5'



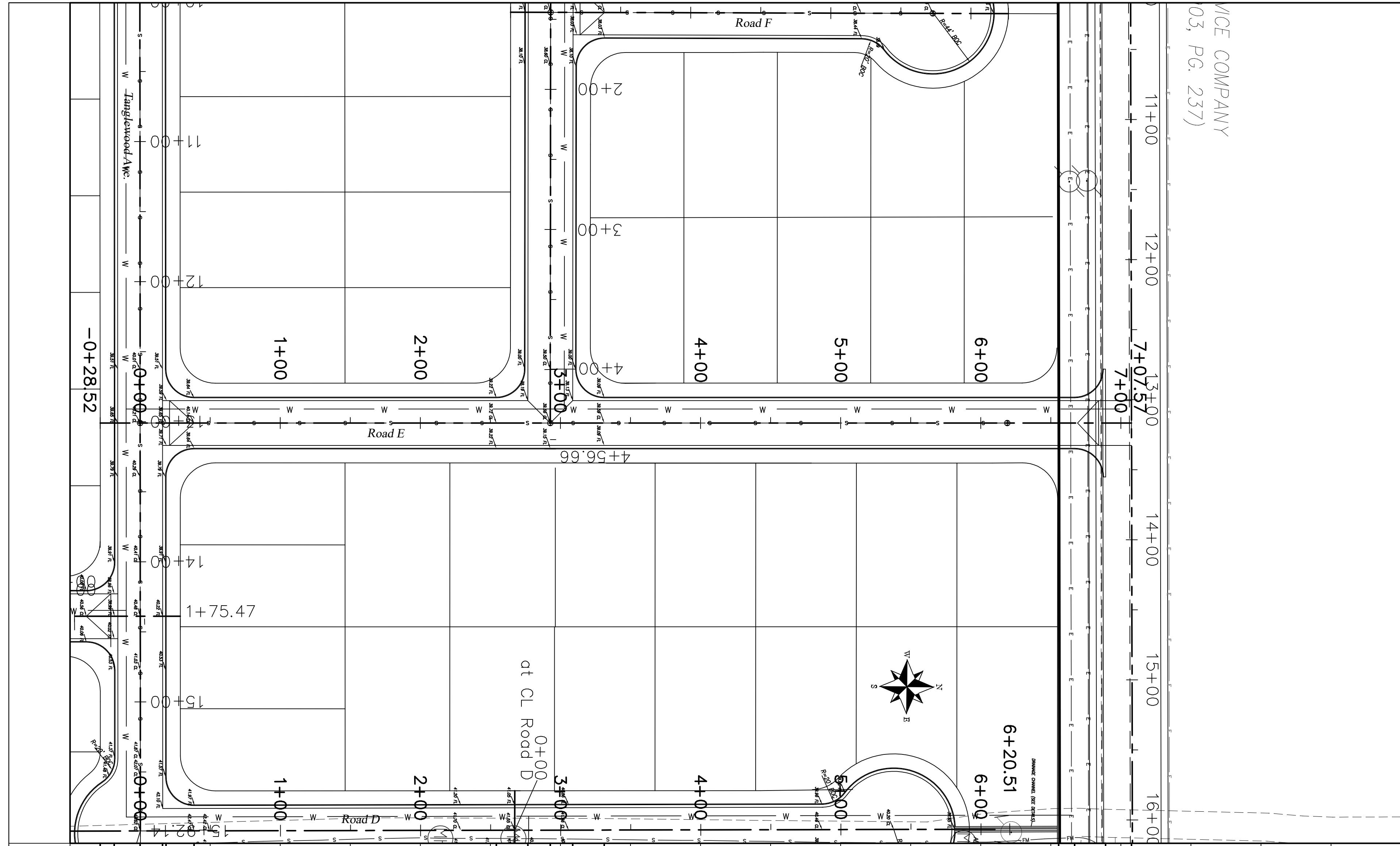
410 N. Dal Paso
Hobbs, New Mexico 88240
Telephone (575) 392-7918
Fax (575) 392-9114

ALJO DEVELOPMENT, LLC
TANGLEWOOD UNIT IV

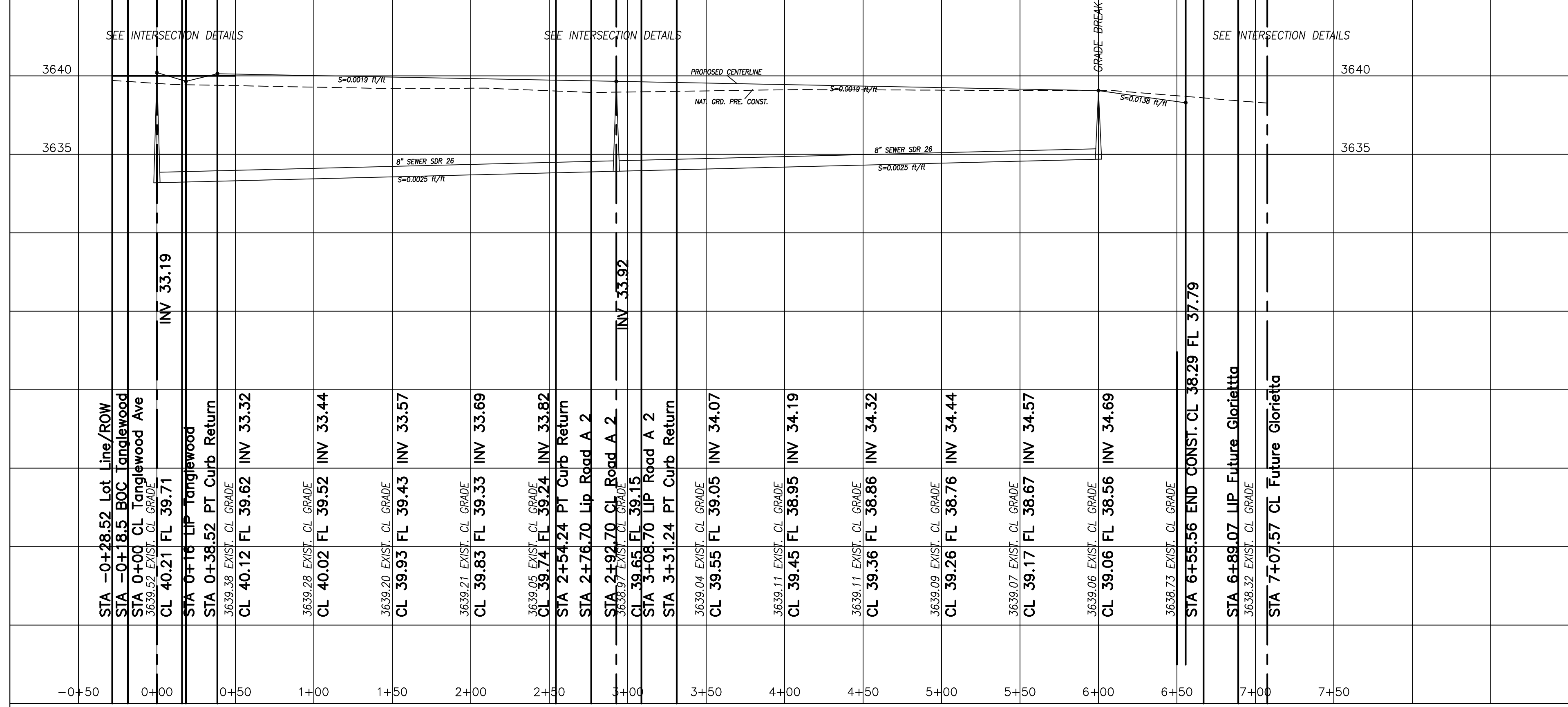
TANGLEWOOD AVE. PLAN & PROFILE
Future Unit 5 and Unit 4

SHEET 7 OF 19

ORIGINAL DRAWING 24" X 36"



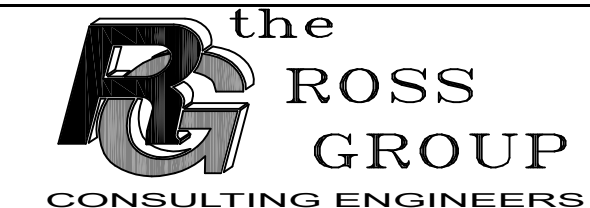
ICE COMPANY
03, PG. 237)



NO.	REVISIONS	BY	DATE	DES
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				CHK
				APPD

DATE
4/12/2019

SCALE
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V: 1" = 5'



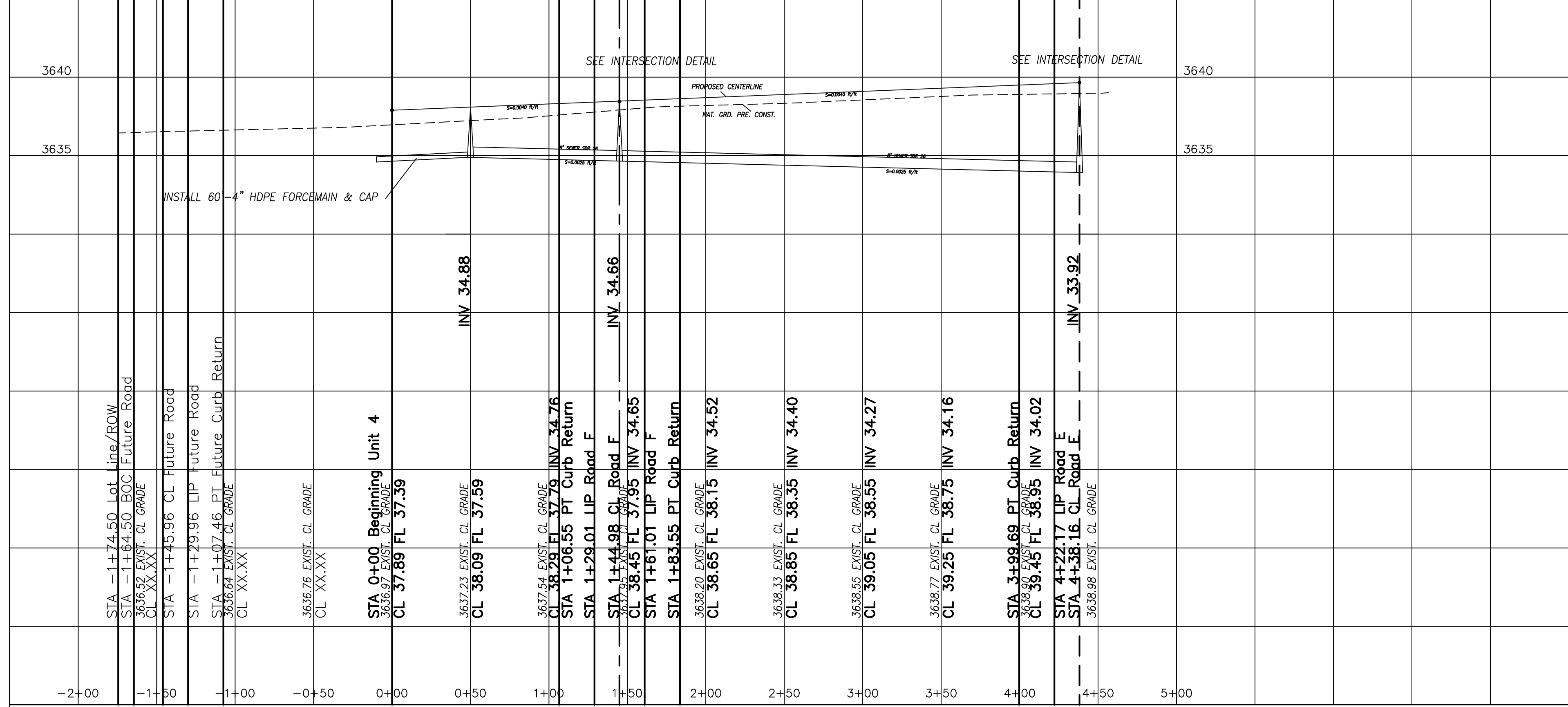
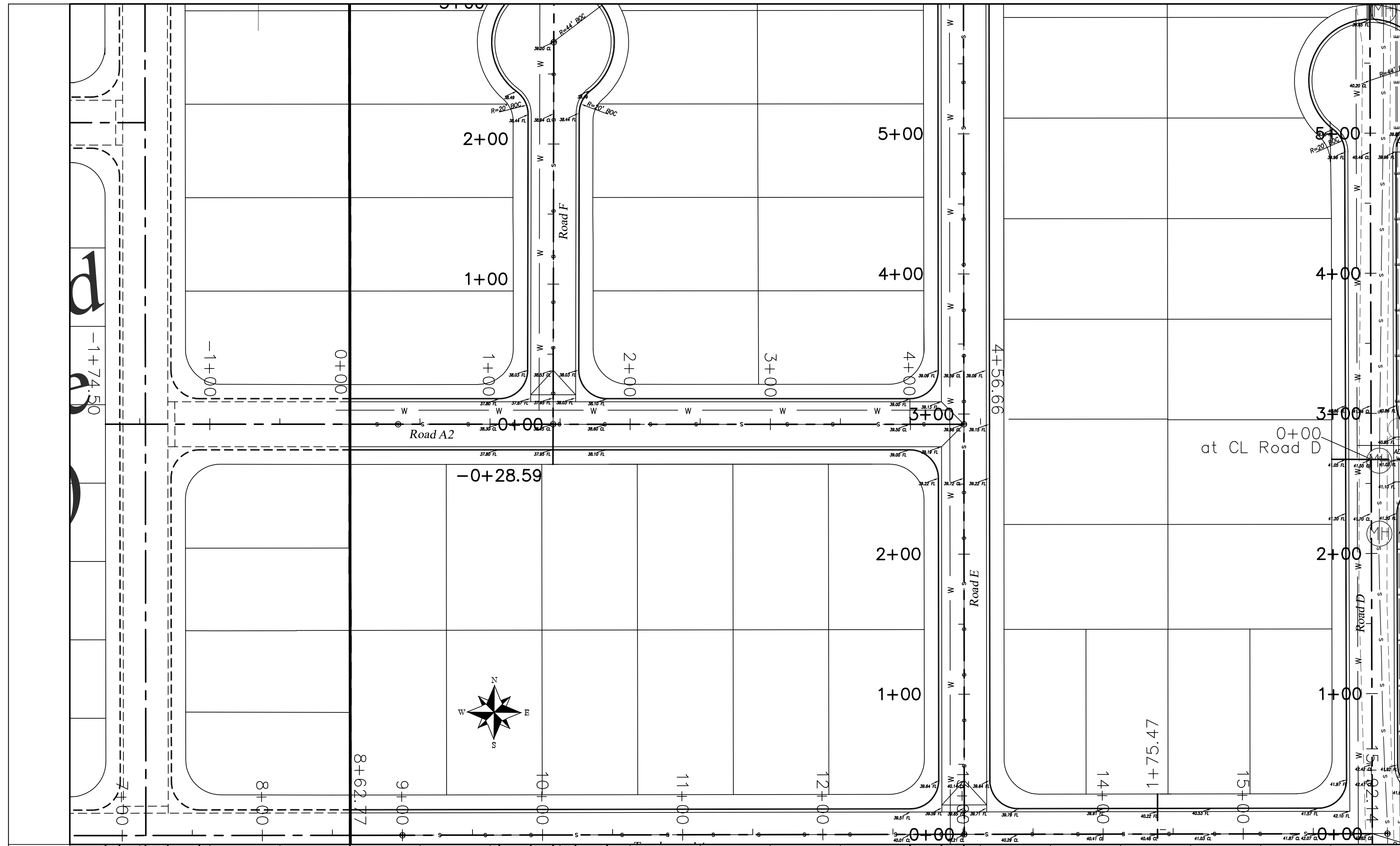
410 N. Dal Paso
Hobbs, New Mexico 88240
Telephone (575) 392-7918
Fax (575) 392-9114

ALJO DEVELOPMENT, LLC
TANGLEWOOD UNIT IV

ROAD E PLAN AND PROFILE

SHEET
9
OF
19

ORIGINAL DRAWING 24" X 36"



NO.	REVISIONS	BY	DATE	DES
				DRN
				CHK
				APPD

DATE
4/11/2019

SCALE
H: 1" = 50'
V: 1" = 5'



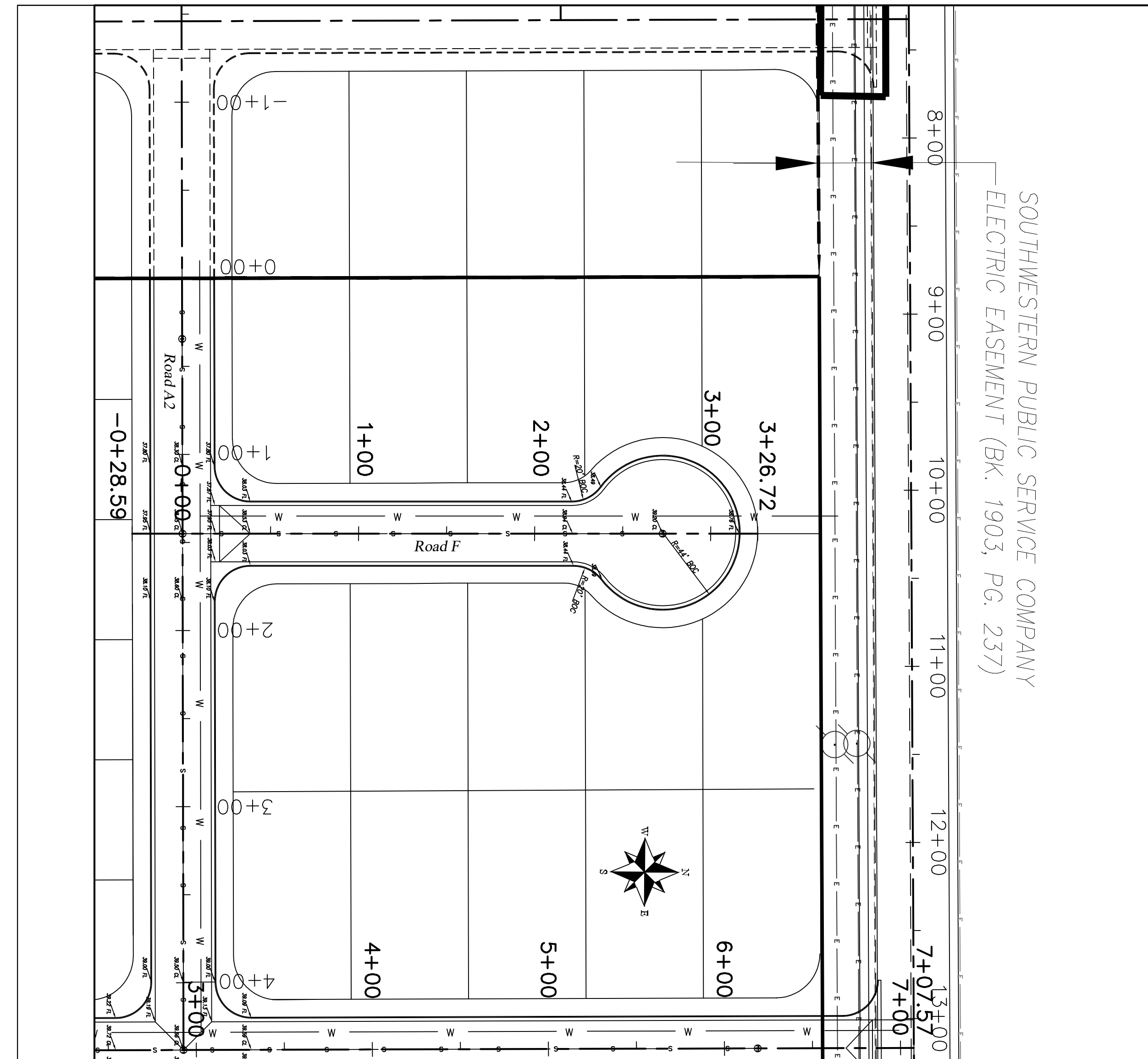
410 N. Dal Paso
Hobbs, New Mexico 88240
Telephone (575) 392-7918
Fax (575) 392-9114

ALJO DEVELOPMENT, LLC
TANGLEWOOD UNIT IV

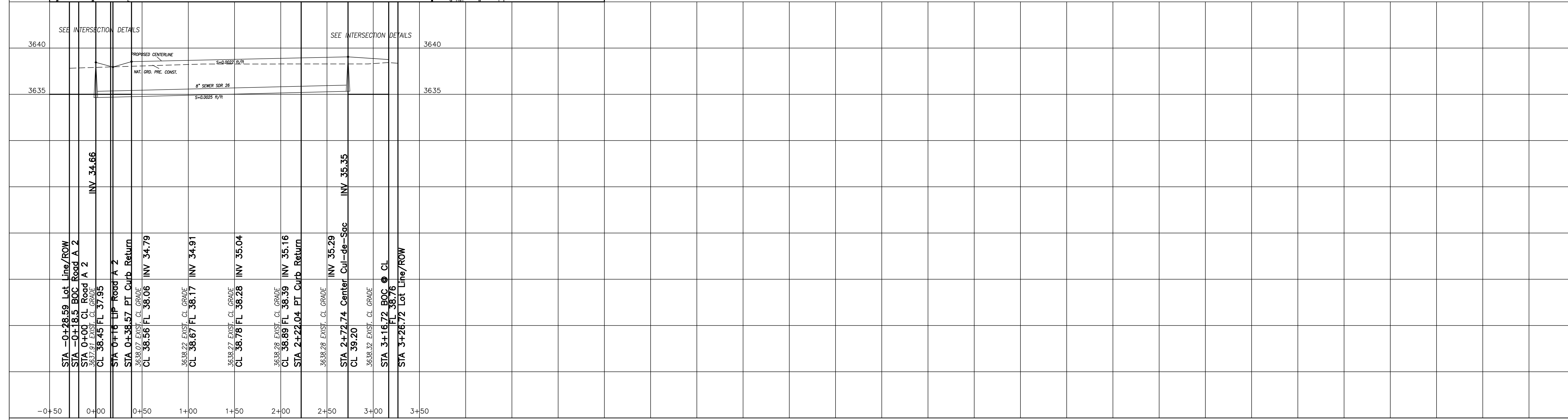
ROAD A 2 PLAN & PROFILE
Future Unit 5 & Unit 4

SHEET
10
OF
19

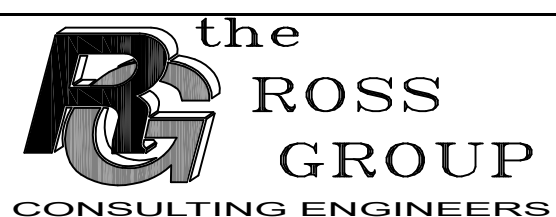
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SOUTHWESTERN PUBLIC SERVICE COMPANY
ELECTRIC EASEMENT (BK. 1903, PG. 237)



NO.	REVISIONS	BY	DATE	DES	DATE	SCALE
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				CHK		V: 1" = 5'
				APPD		



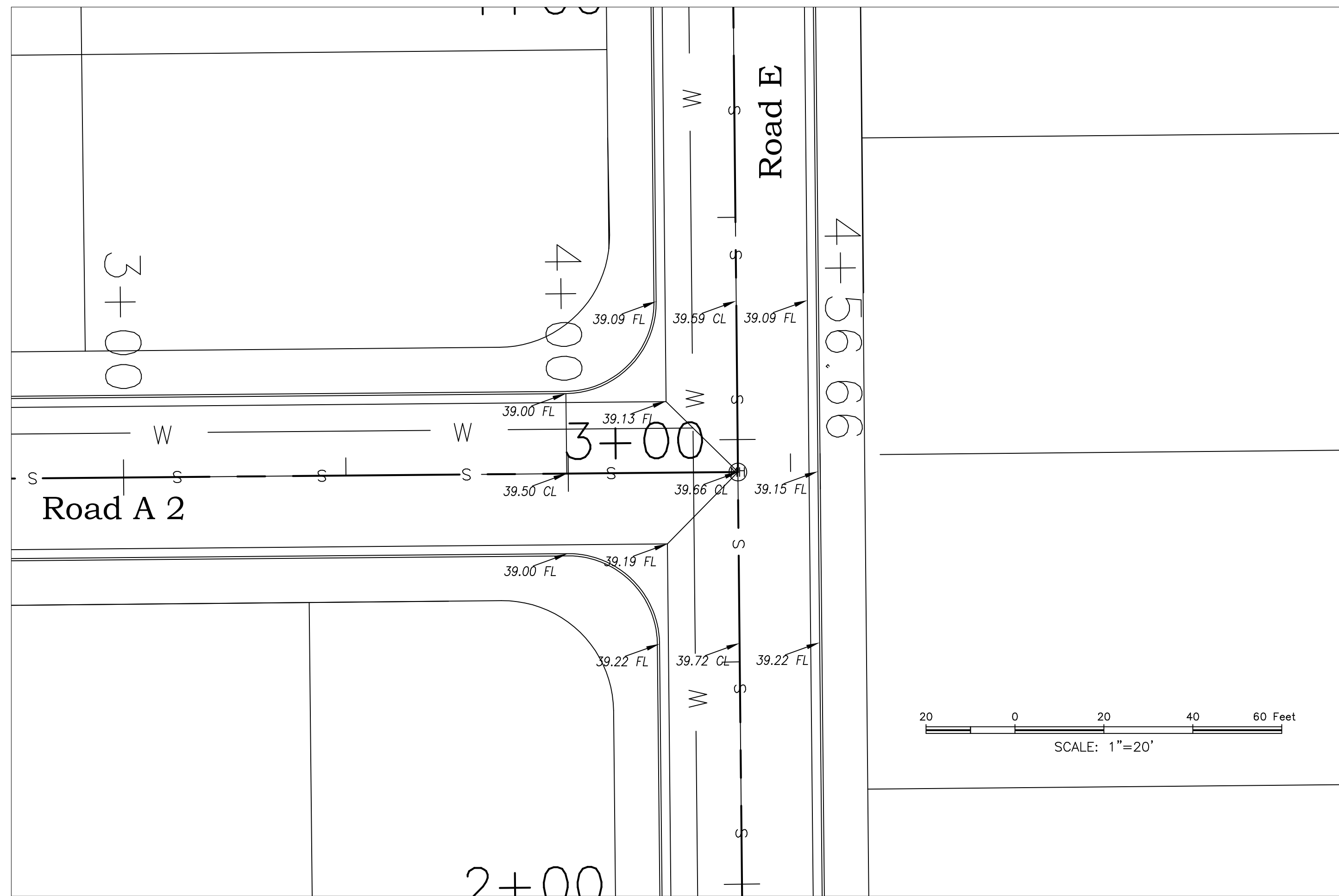
410 N. Dal Paso
Hobbs, New Mexico 88240
Telephone (575) 392-7918
Fax (575) 392-9114

ALJO DEVELOPMENT, LLC
TANGLEWOOD UNIT IV

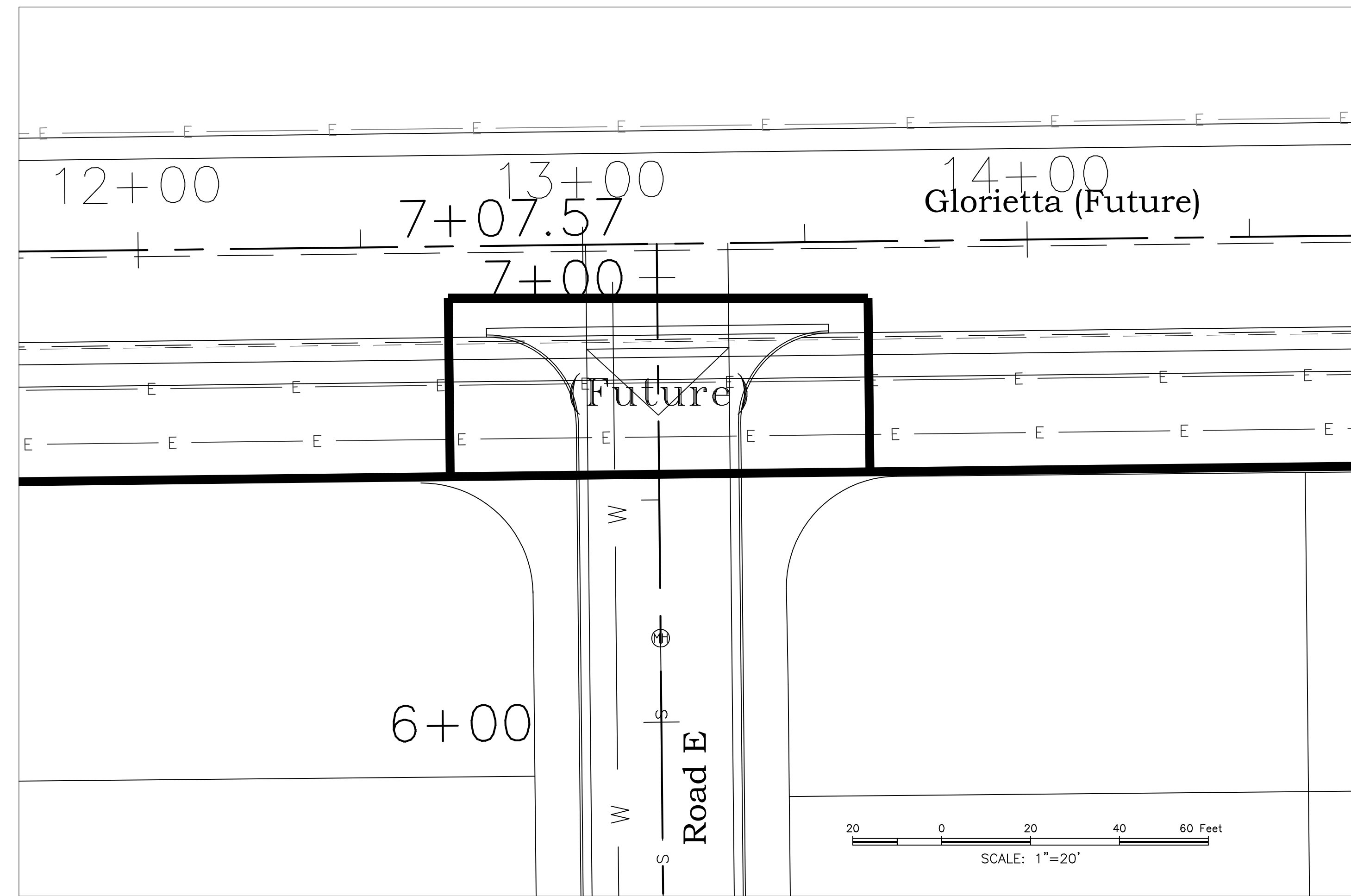
ROAD F PLAN AND PROFILE

SHEET
11
OF
19

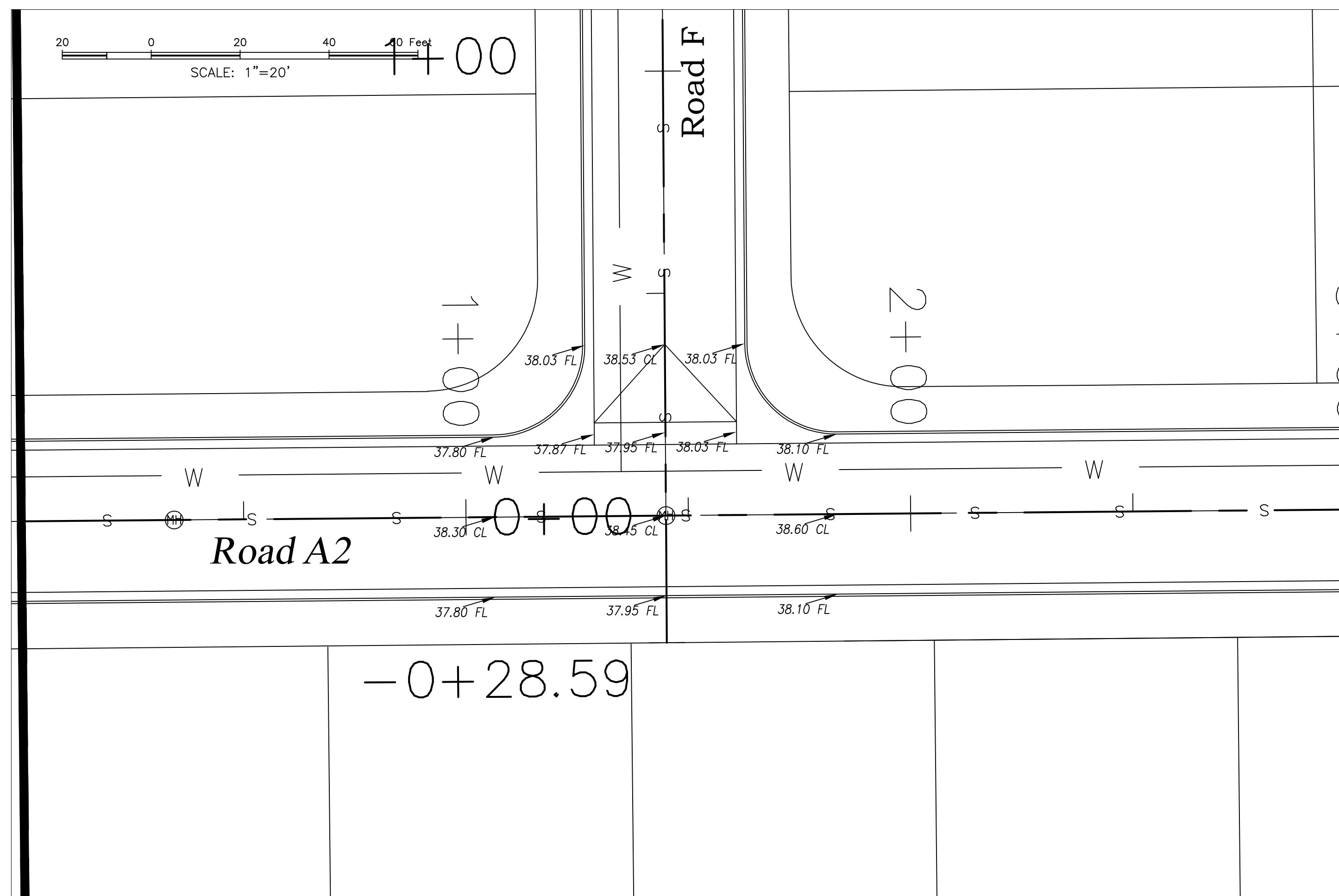
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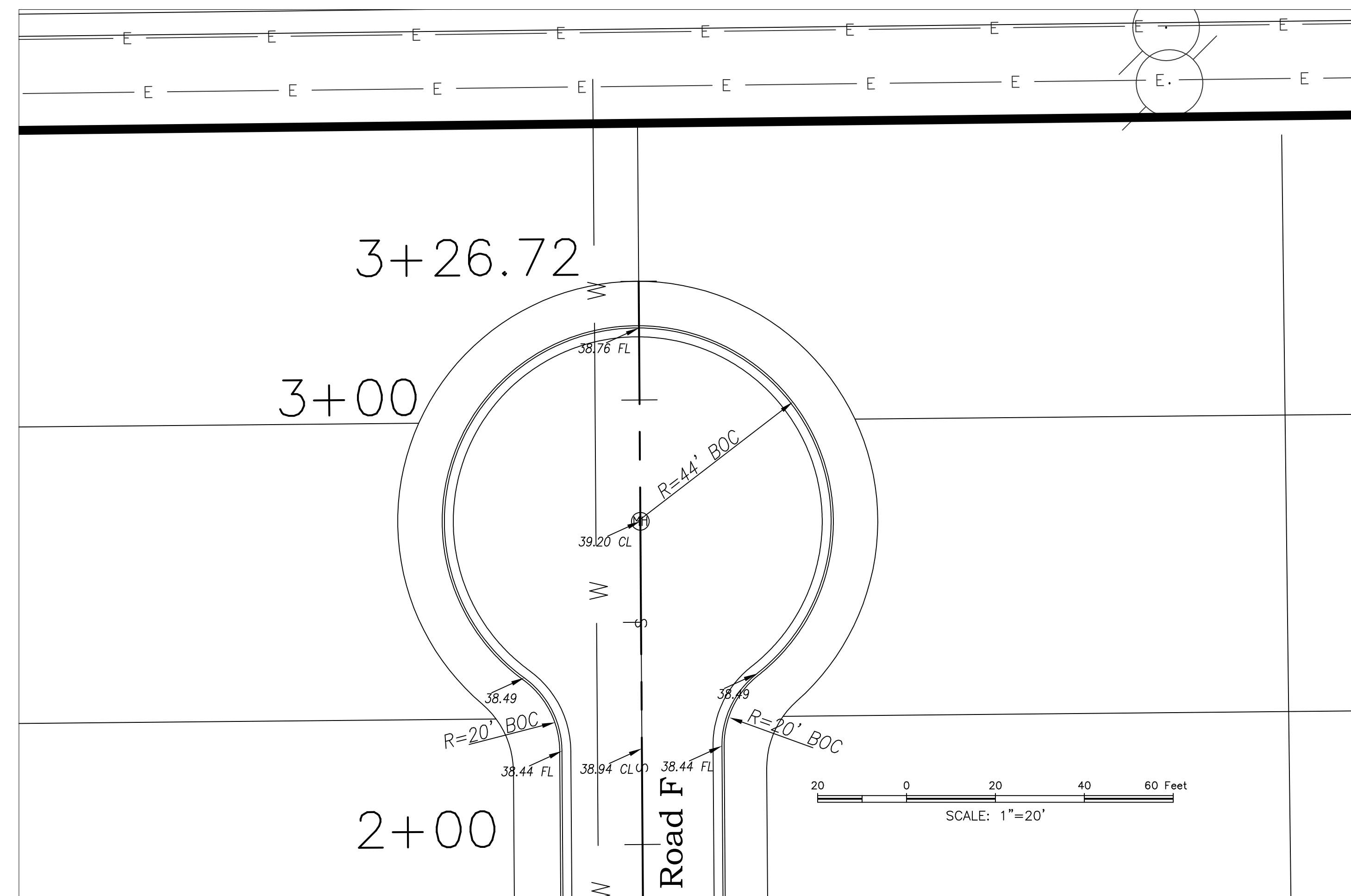
Road E & Road A 2



Road E & Glorietta (Future)



Road A 2 & Road F



Road F Cul-de-Sac

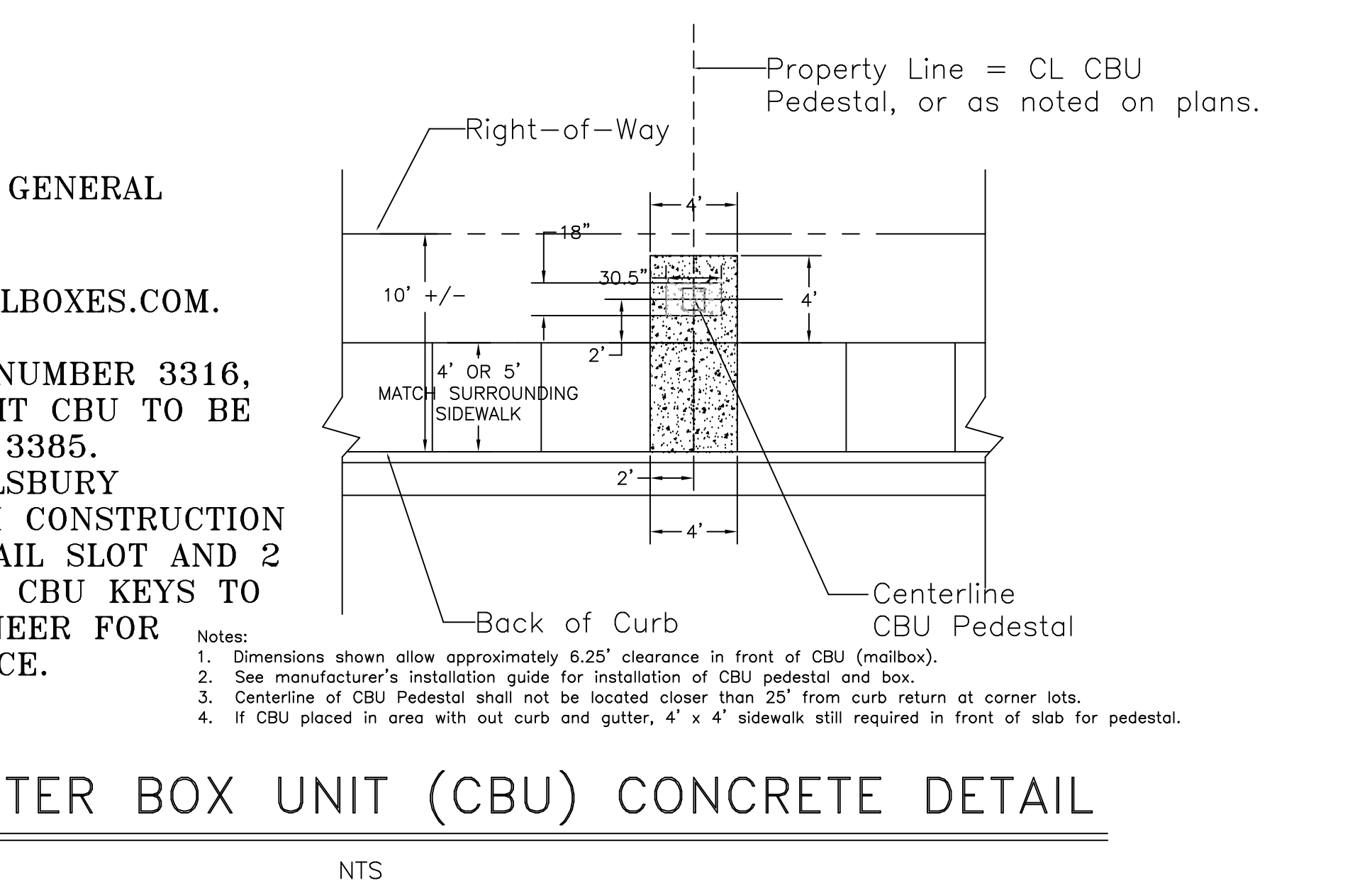
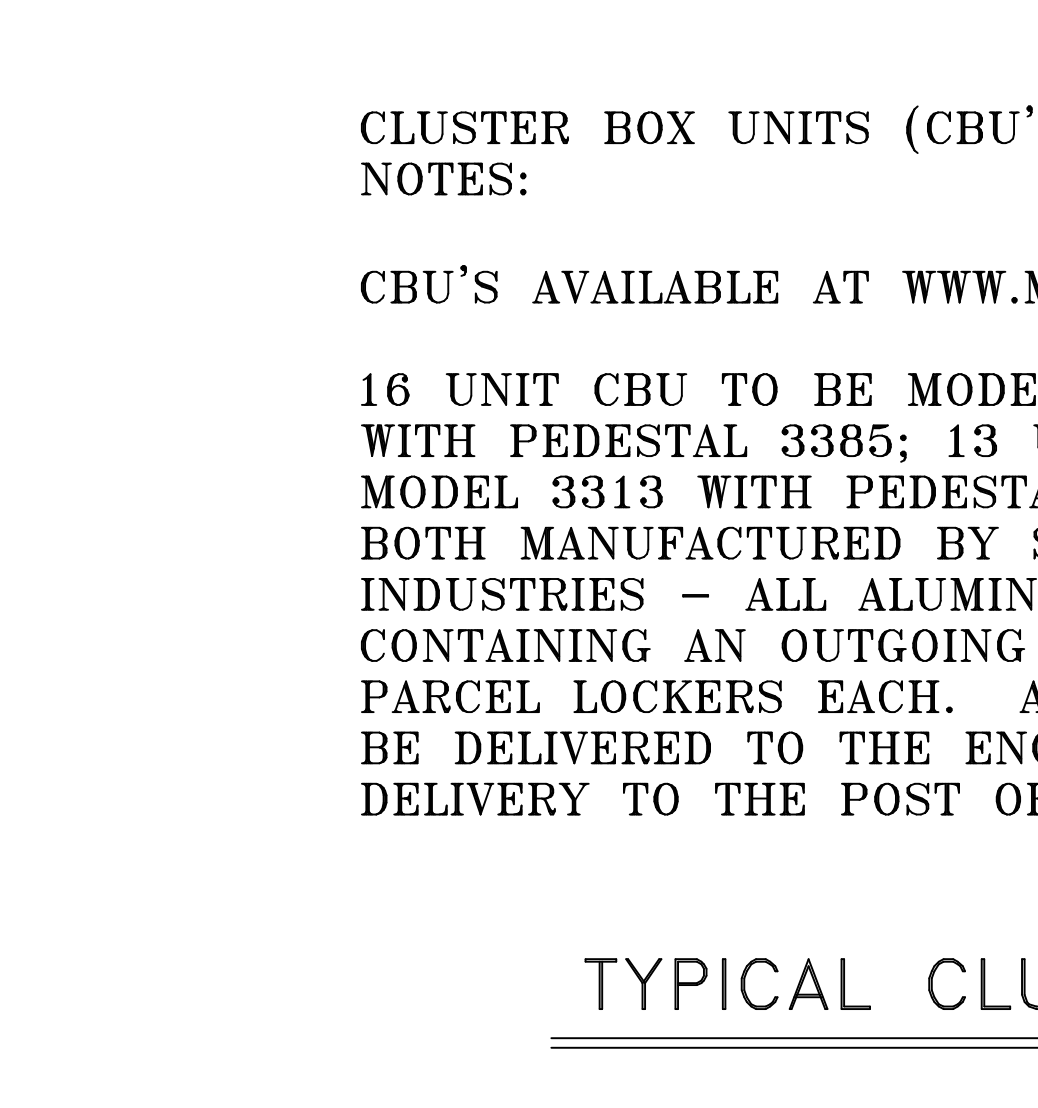
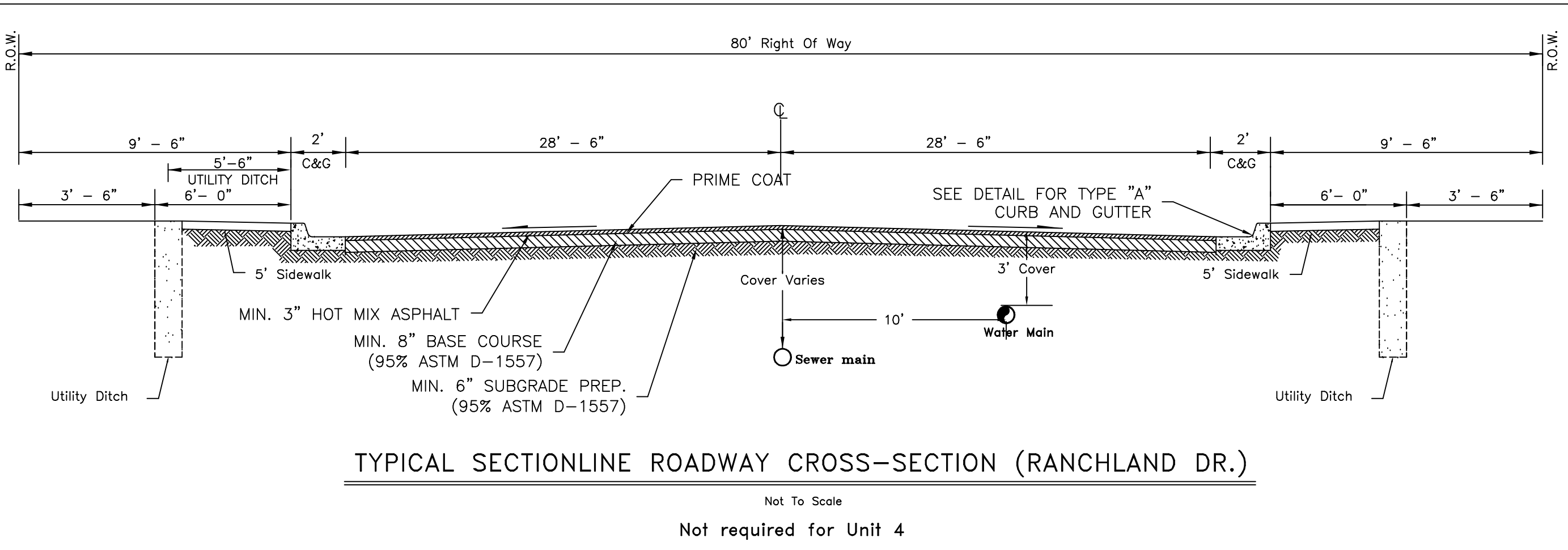
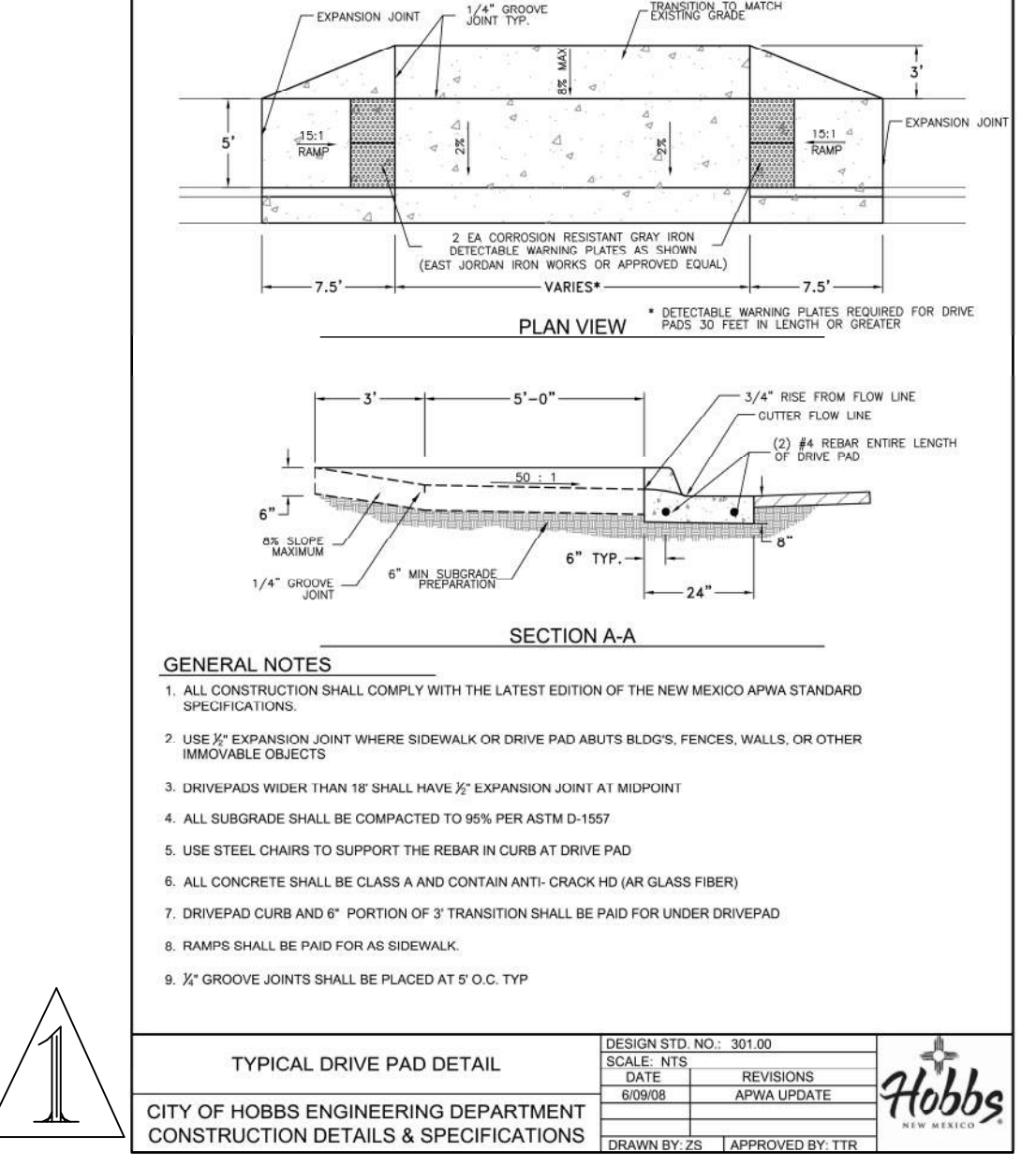
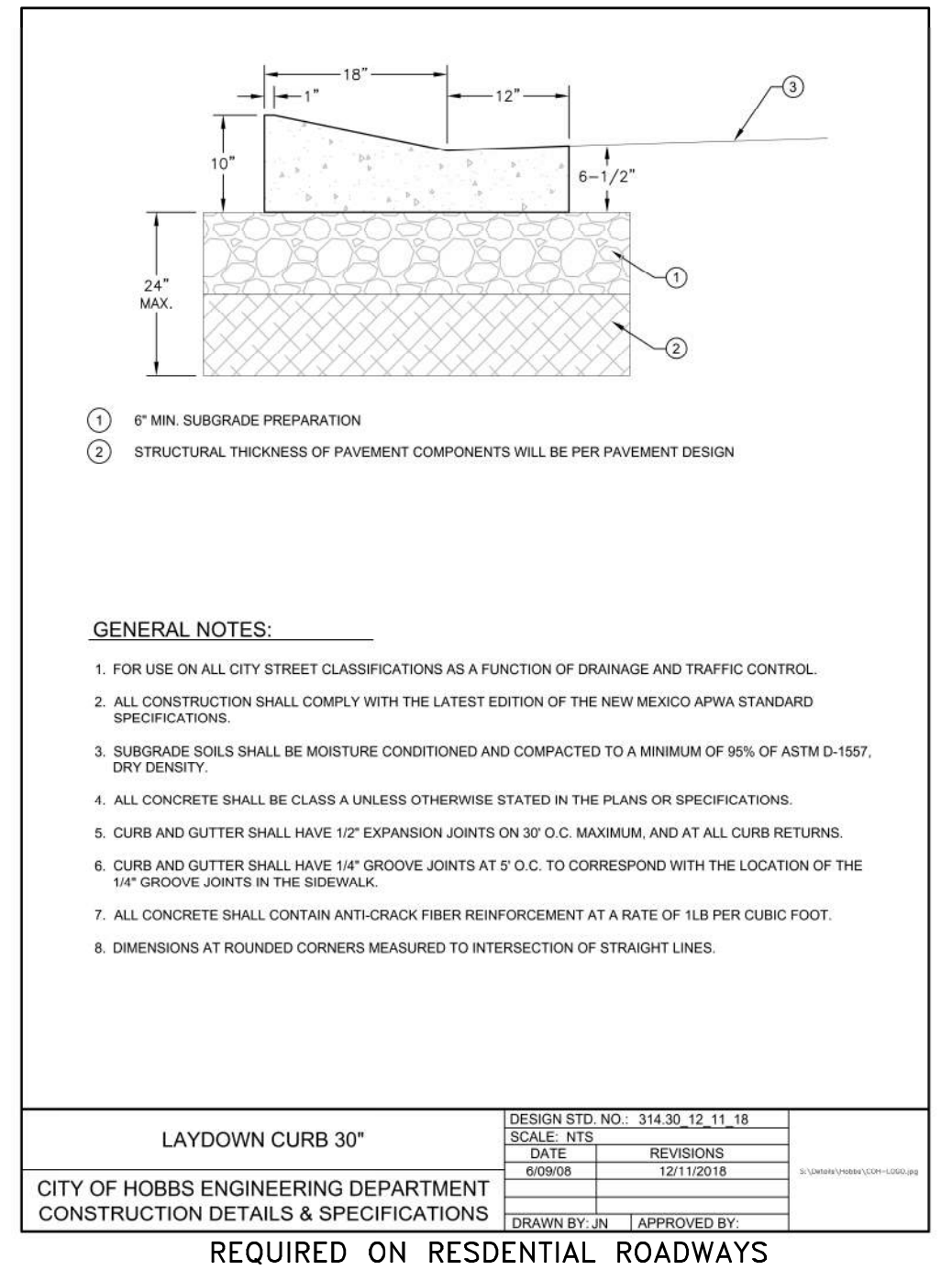
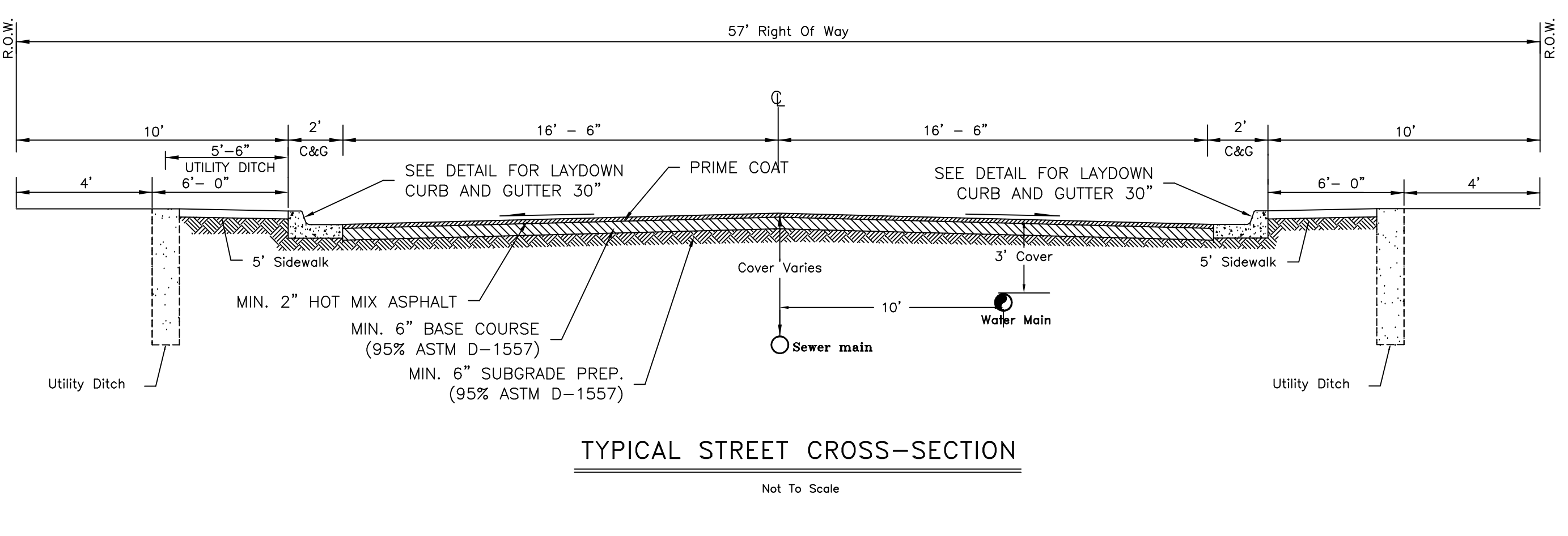
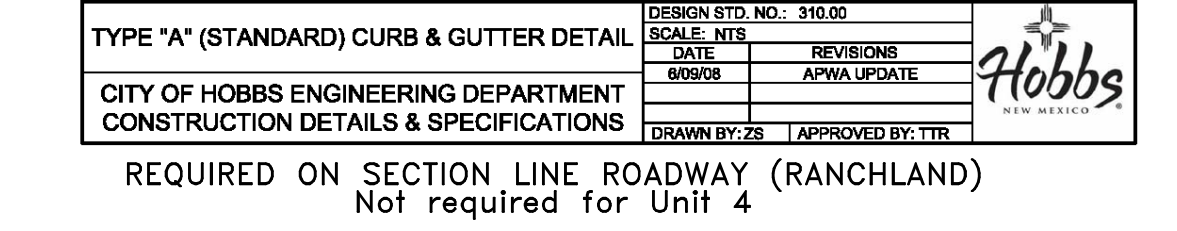
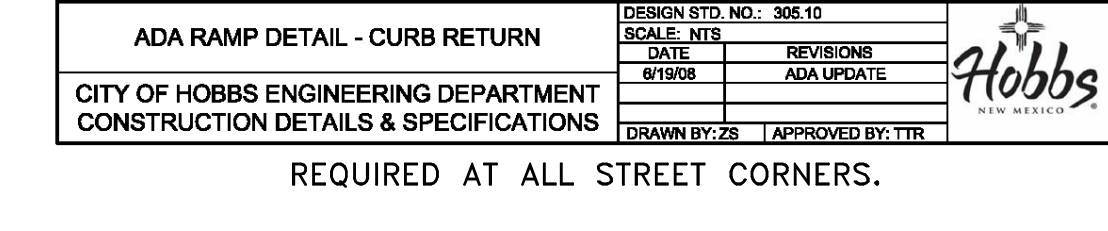
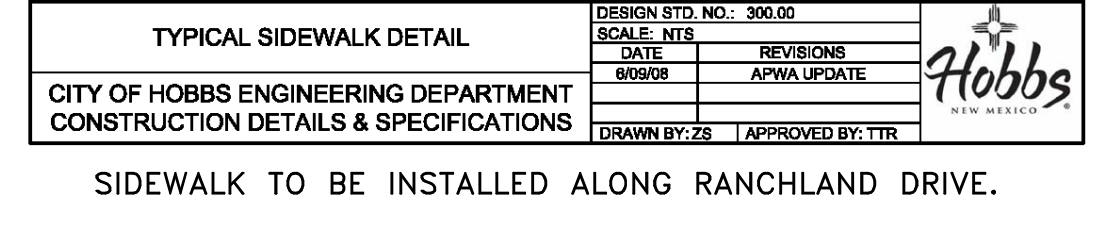
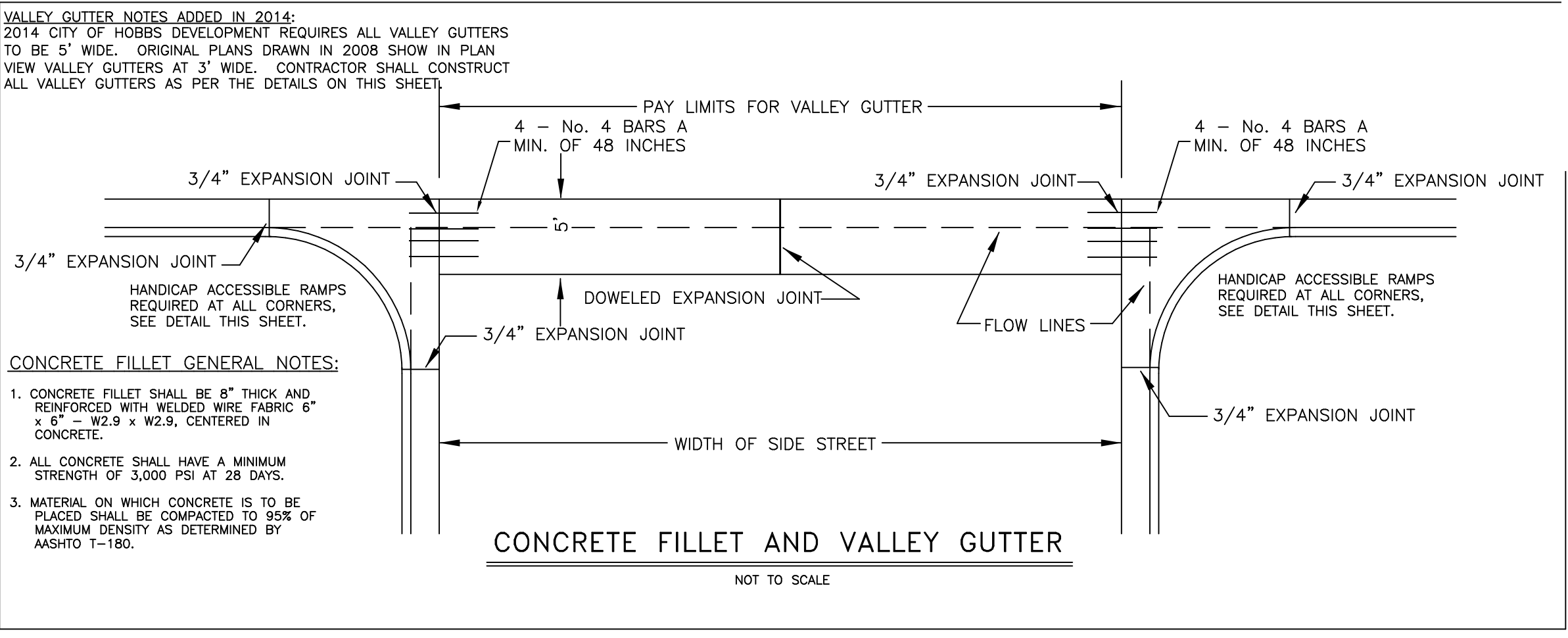
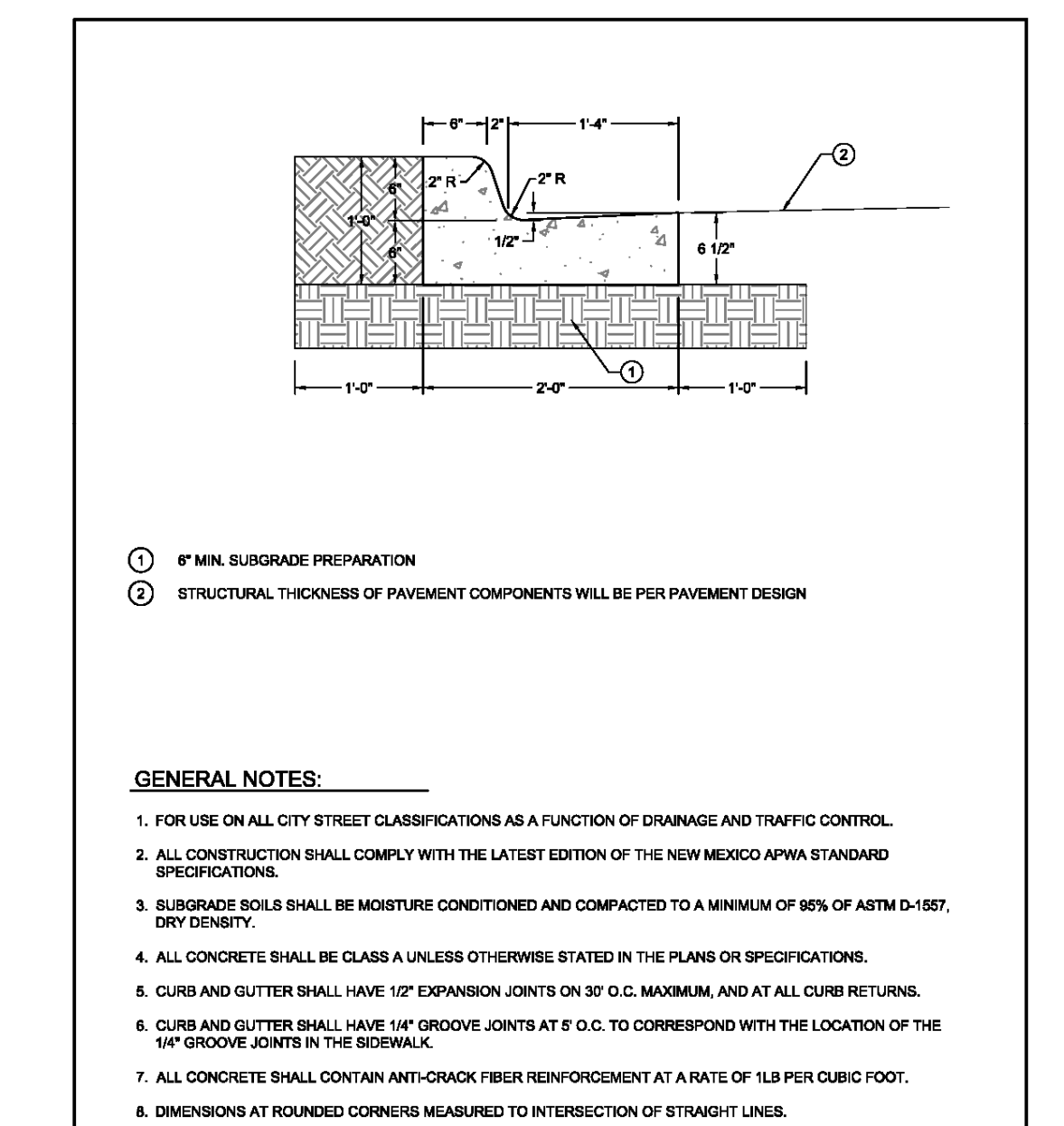
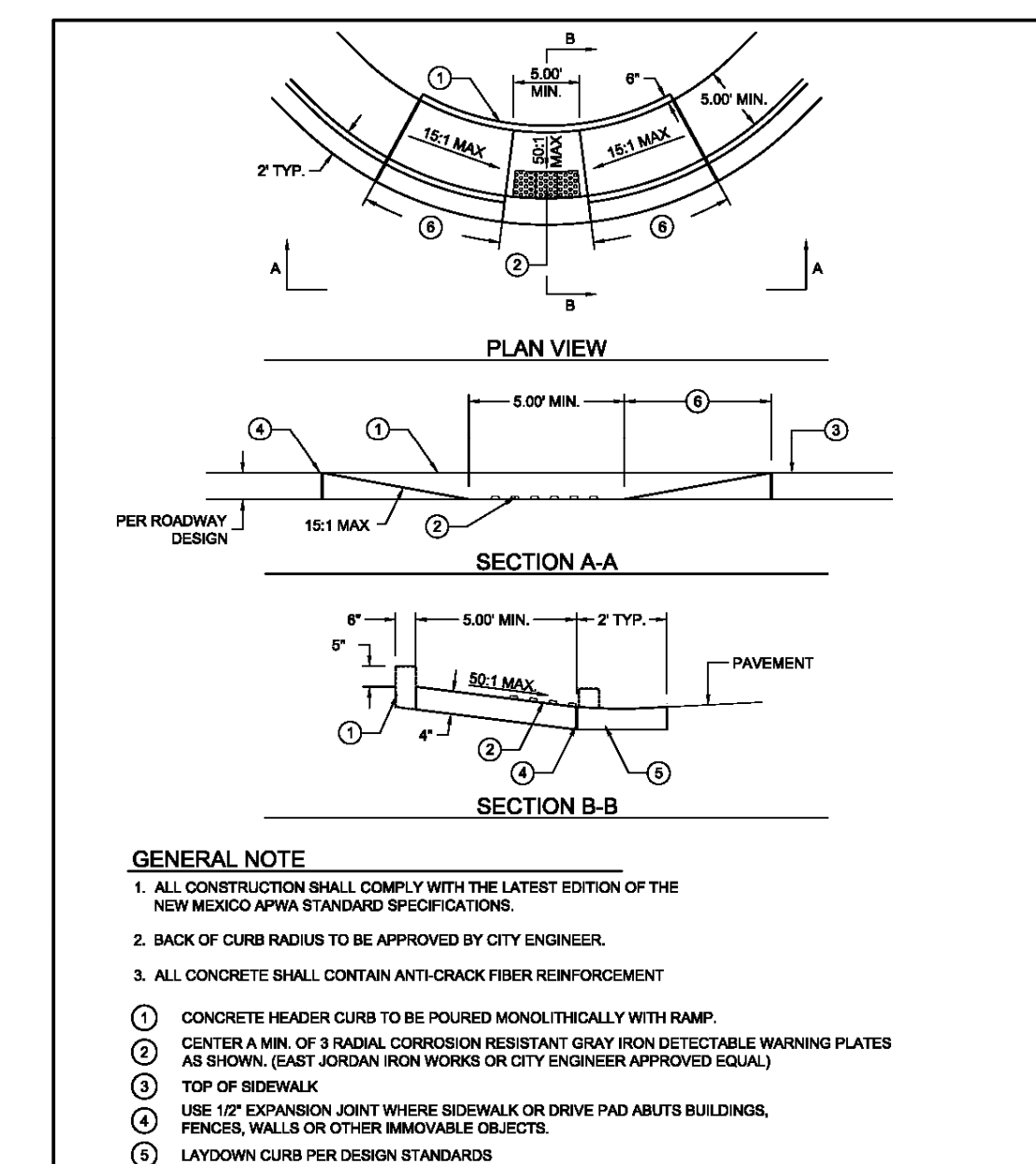
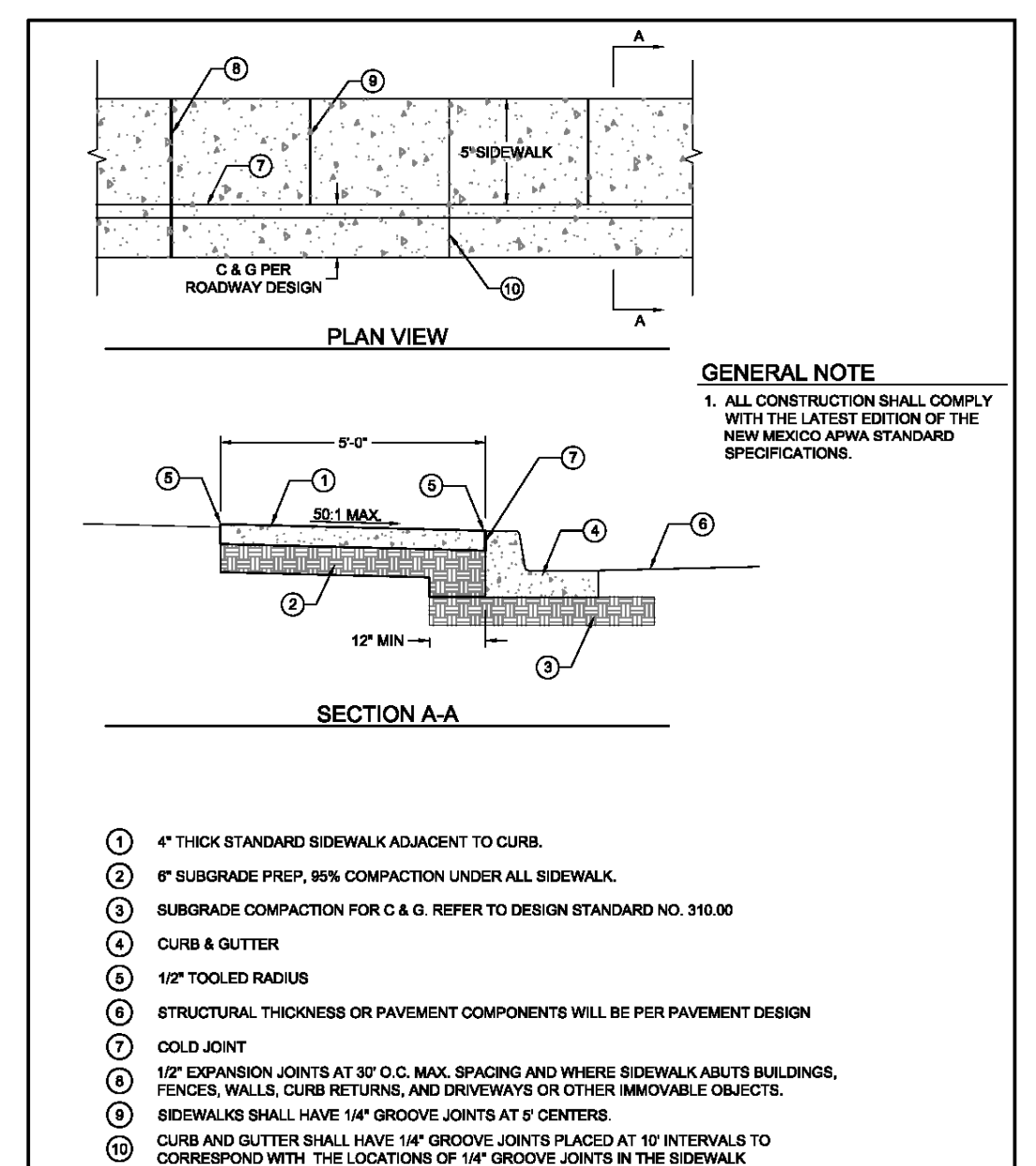
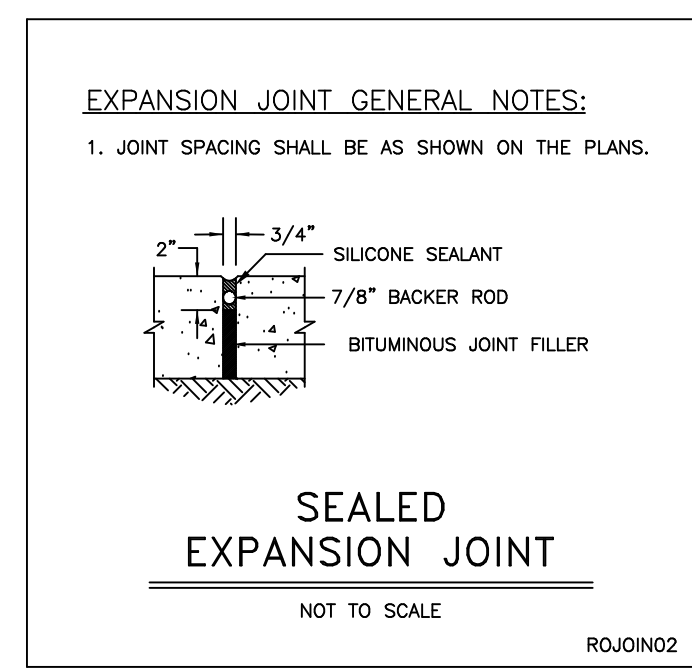
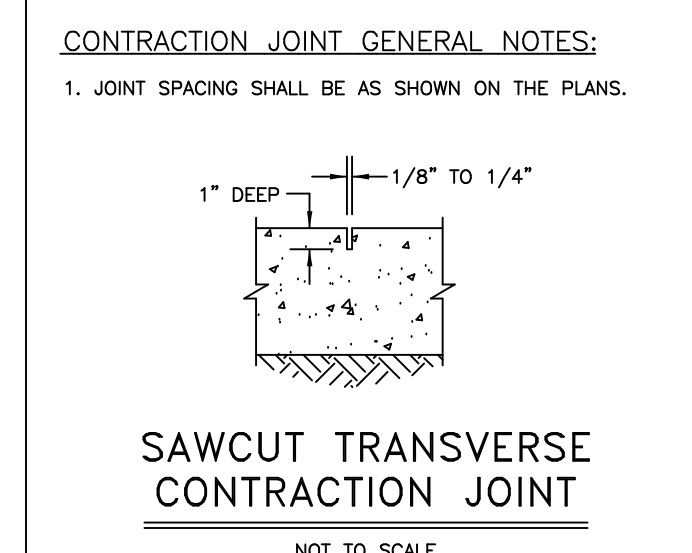
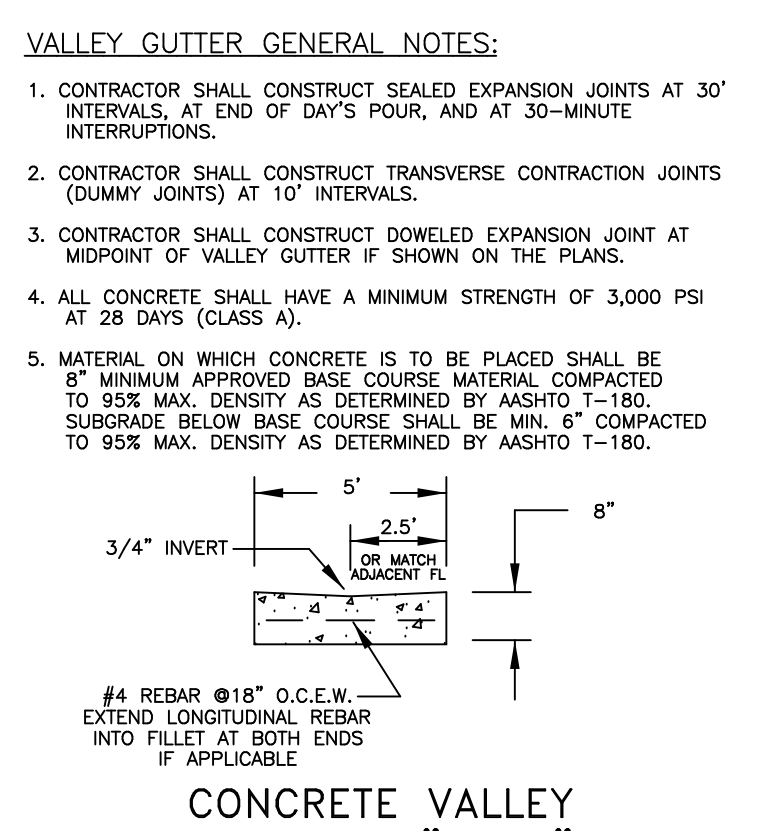
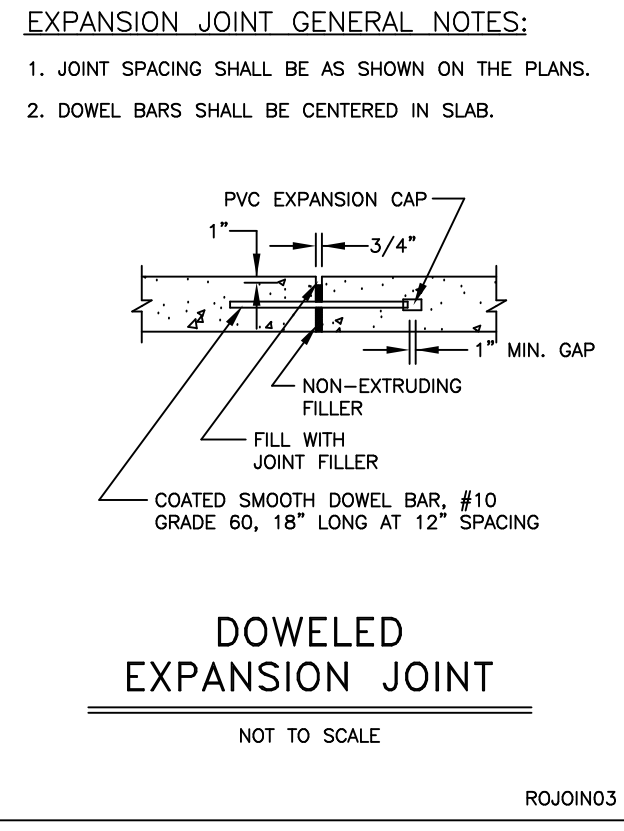


NO.	DATE	REVISIONS:	BY	CHK	ENGR	APP.
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ALJO DEVELOPMENT, LLC
TANGLEWOOD UNIT 4
INTERSECTION DETAILS



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Date: 10-1-19	Disk:
File Name: INTERSEC	Job No.:

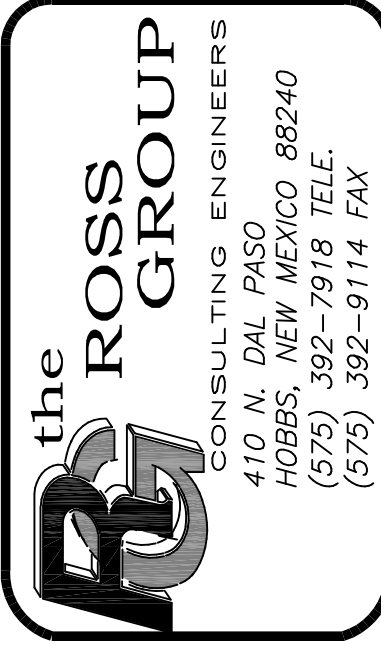


ROADWAY CONSTRUCTION GENERAL NOTES:

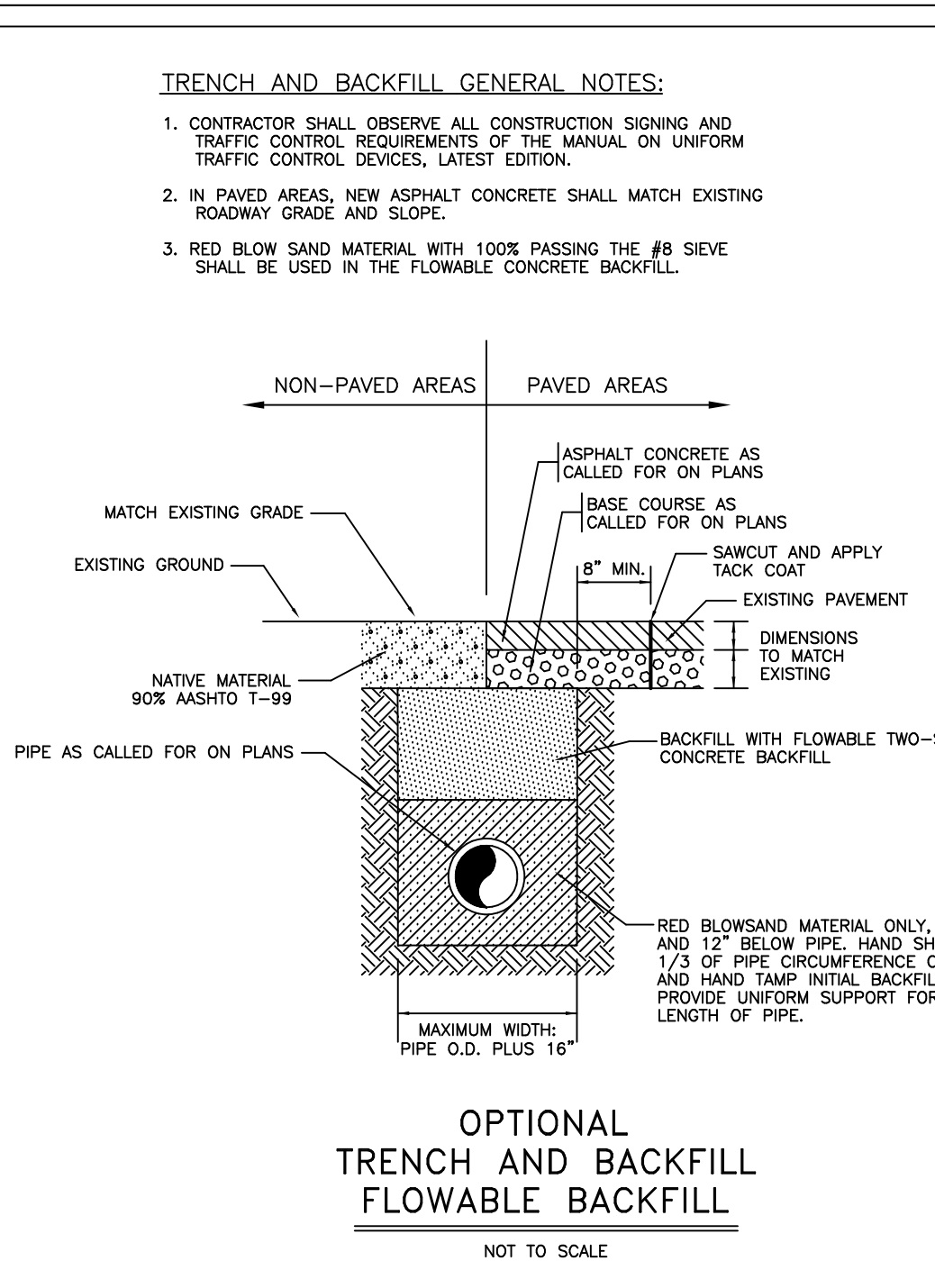
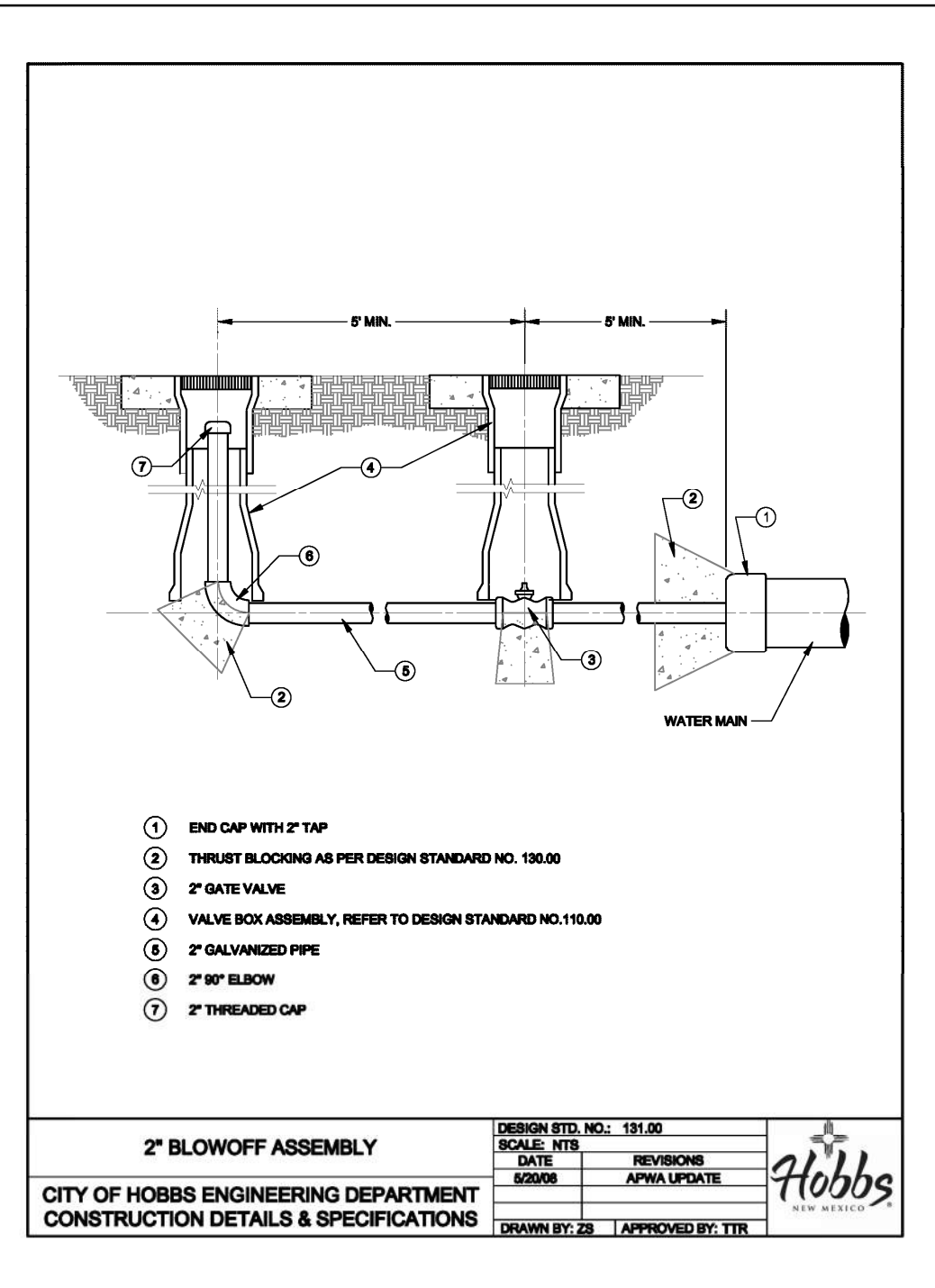
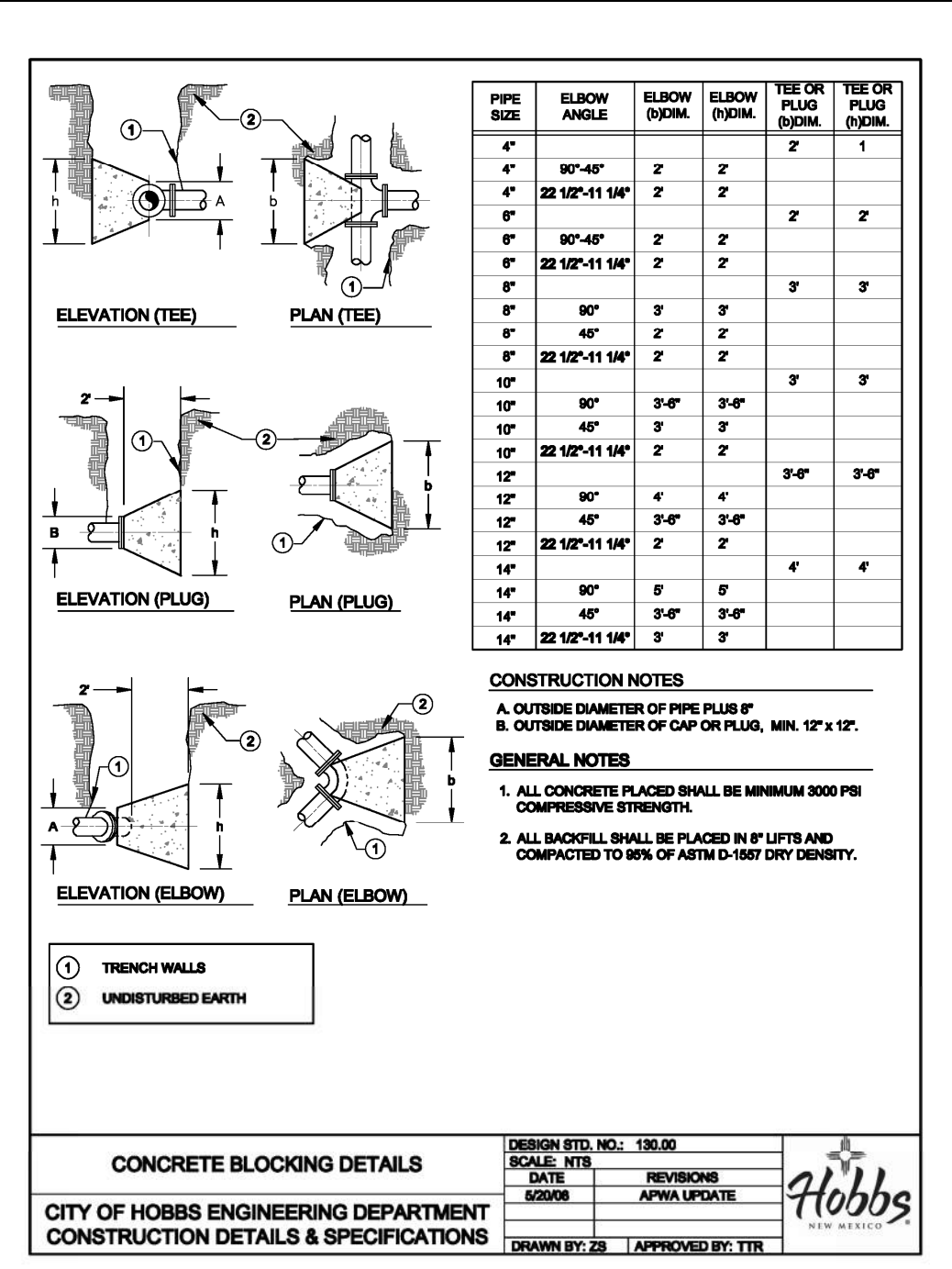
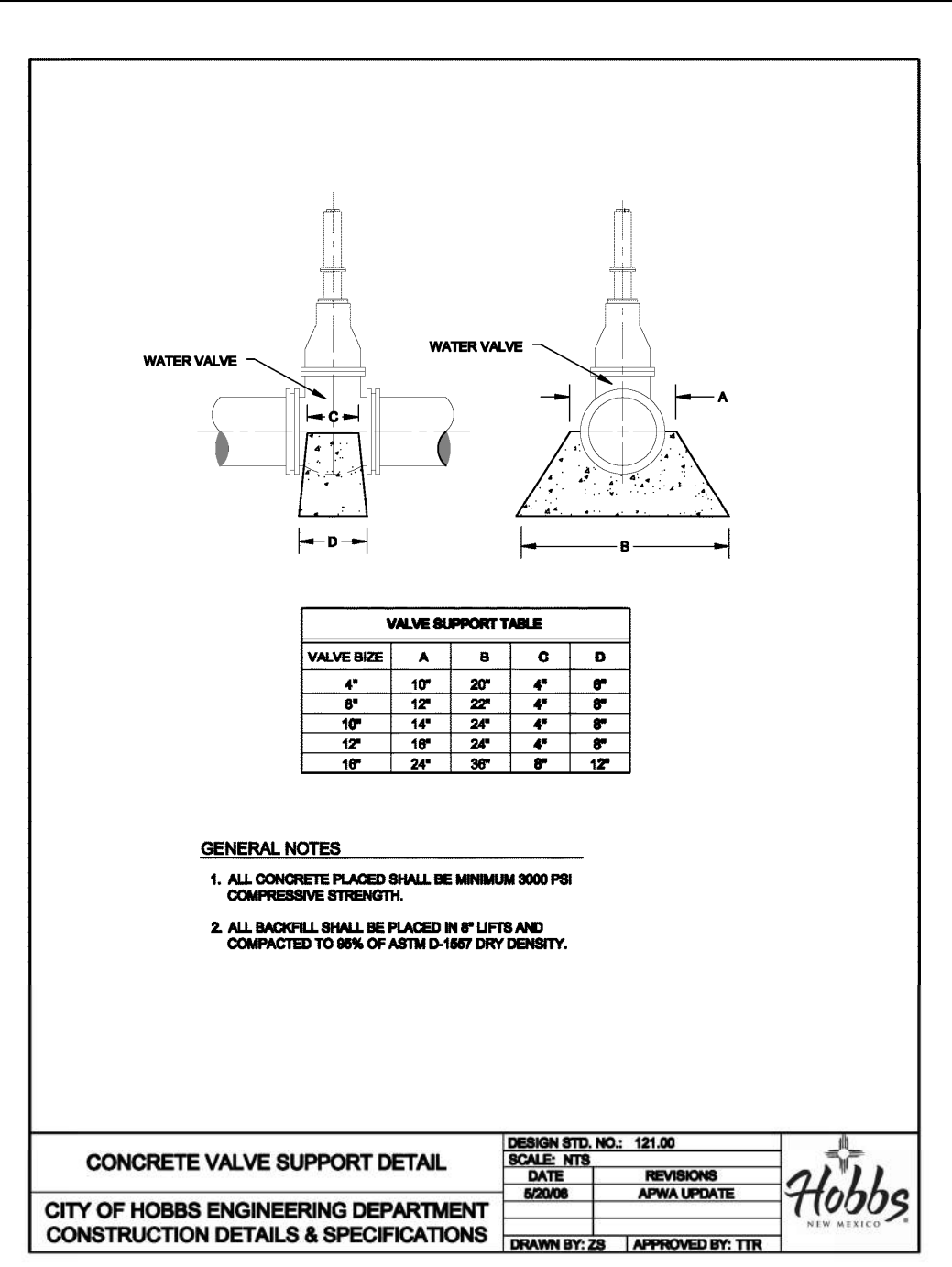
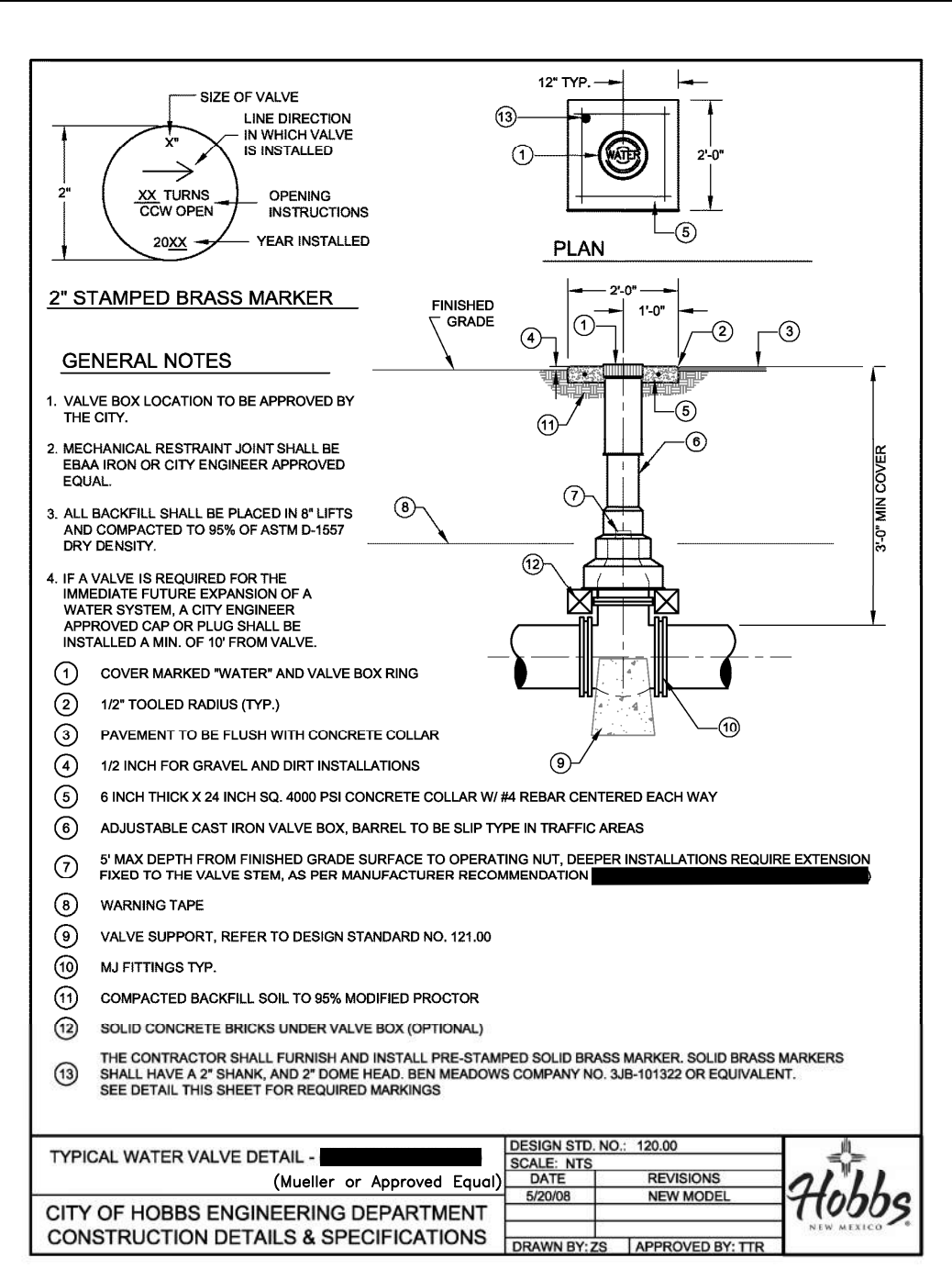
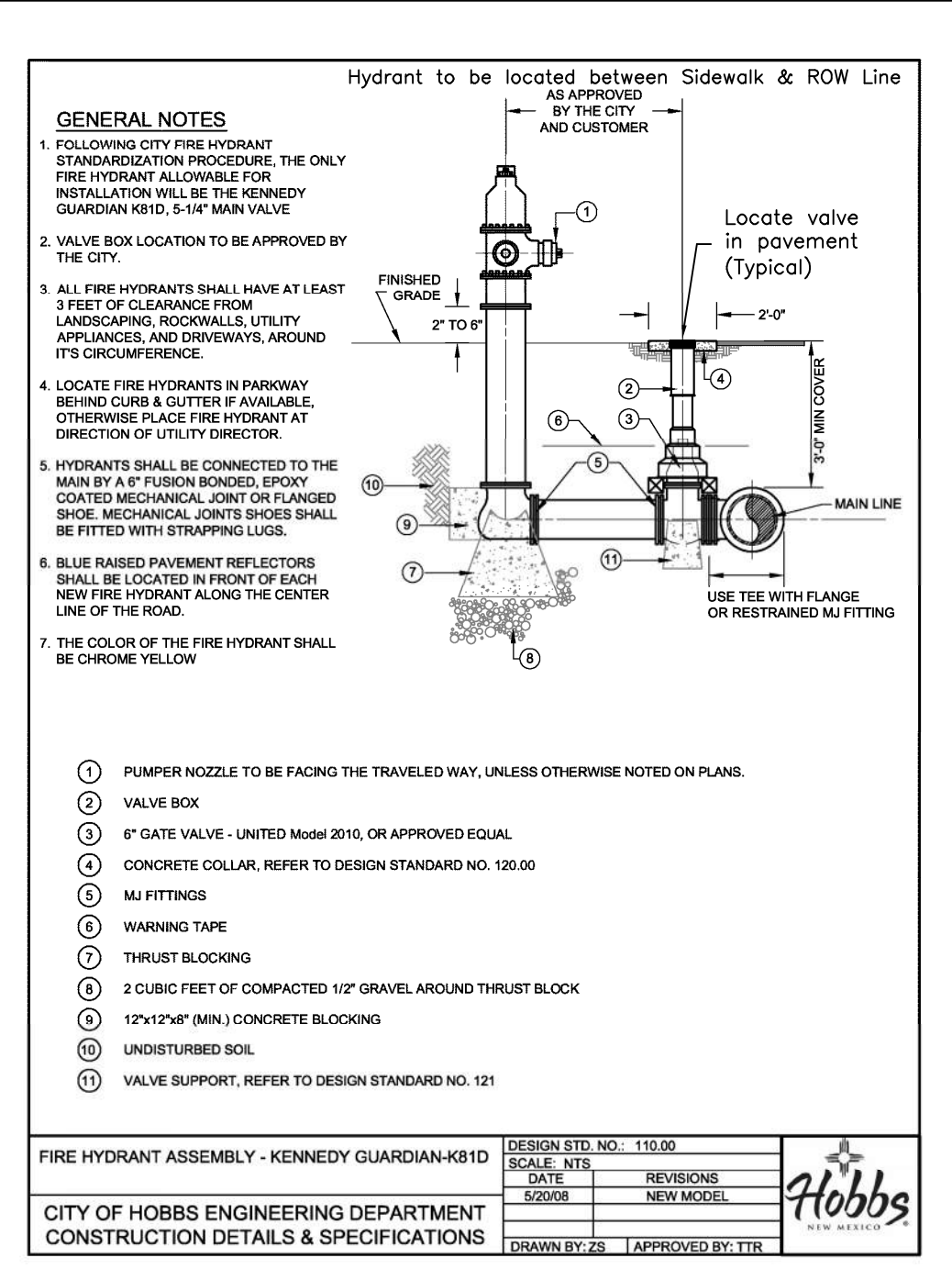
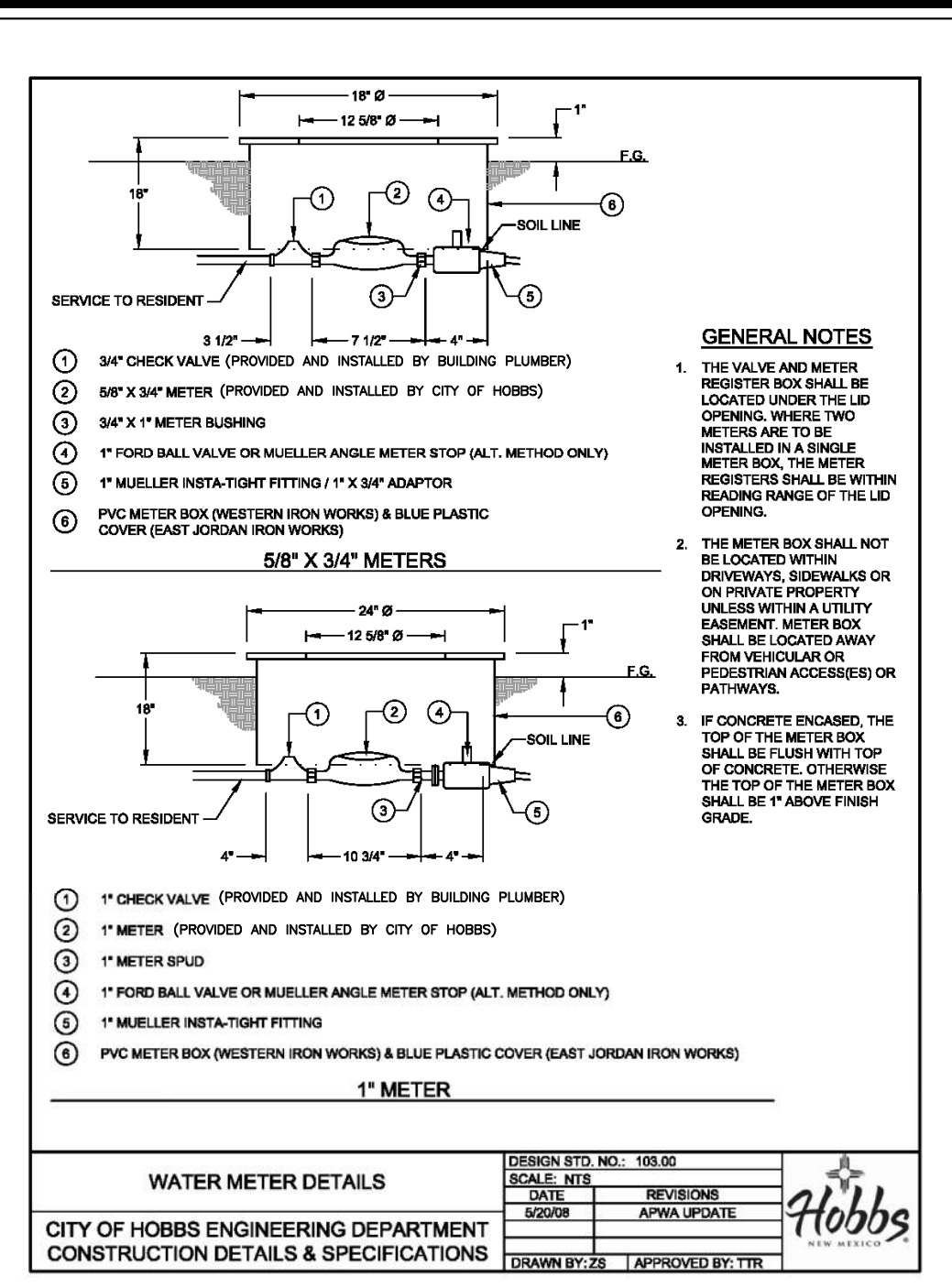
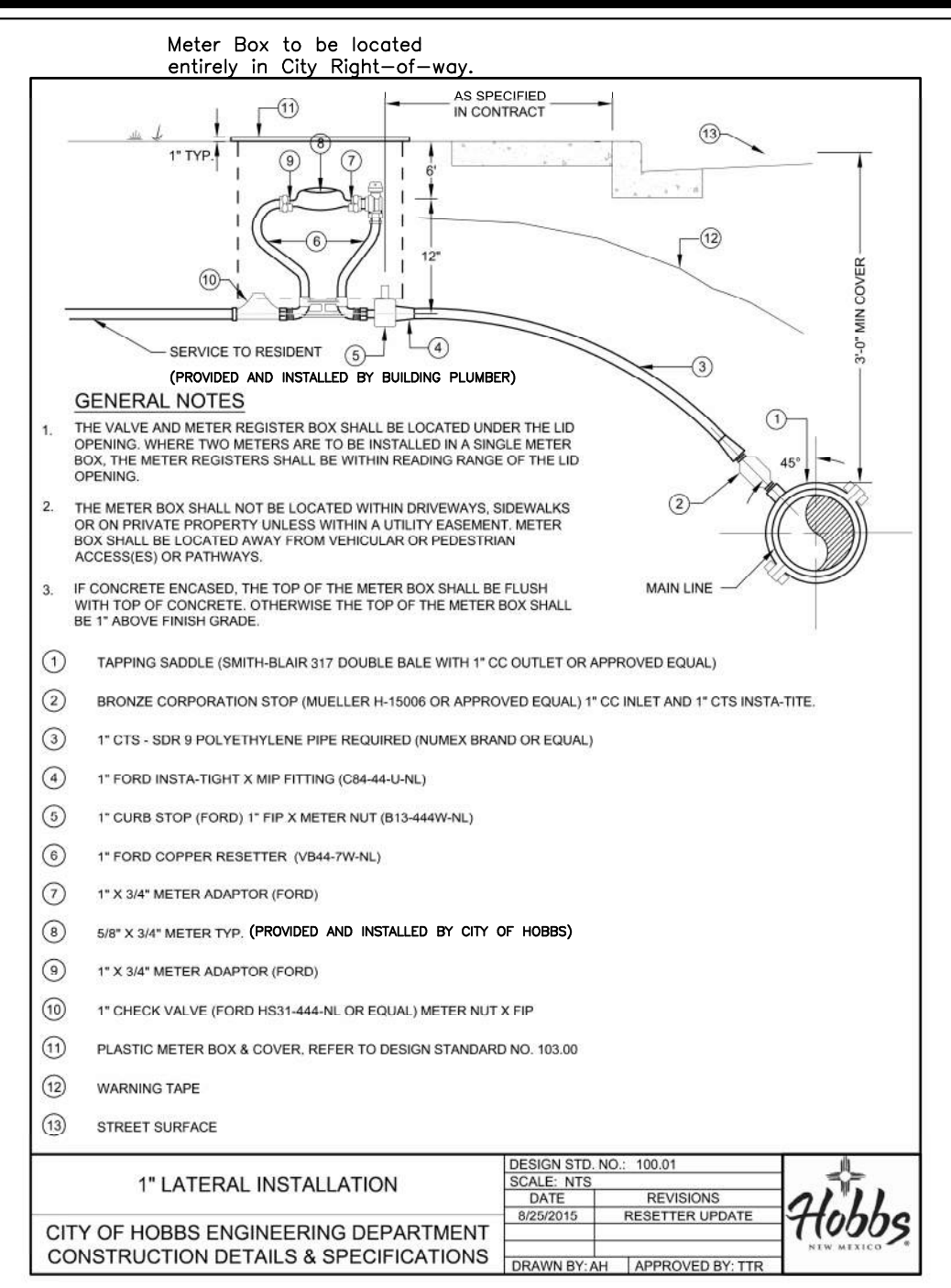
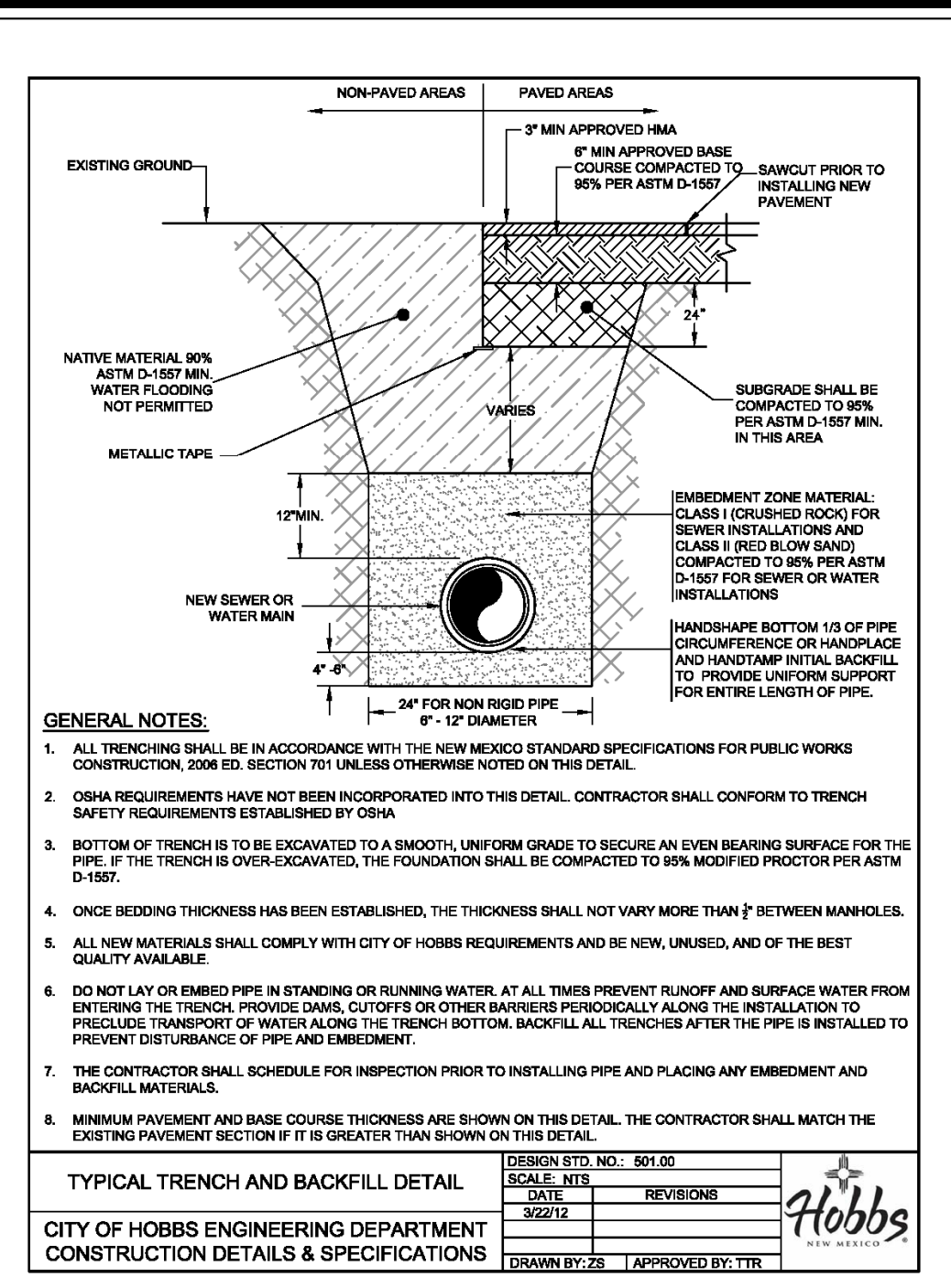
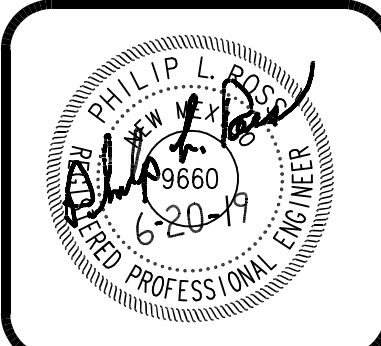
ALL CONCRETE WORK SHALL INCLUDE FIBER REINFORCEMENT. FIBERS SHALL BE VIRGIN POLYPROPYLENE STRANDS (APPROX. 3/4 inches IN LENGTH). ALL CONCRETE SHALL CONTAIN APPROXIMATELY 1.5 LBS. OF FIBER PER CUBIC YARD OF CONCRETE. NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR SUCH WORK AND SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION. FIBER REINFORCEMENT DOES DELETE REQUIREMENT FOR STEEL REINFORCEMENT WHEN REQUIRED BY DETAILS ON THIS SHEET.

ORIGINAL DRAWING SIZE 24" X 36"

ALJO DEVELOPMENT, LLC
TANGLEWOOD UNIT IV
ROADWAY DETAILS



Drawn By:	Checked by:
SMM	PLR
Date:	Disk:
6/20/19	GENERAL
File Name:	Job No.:
ROAD	



NO.	DATE	REVISIONS:	BY	CHK	ENGR	APP.
1						
2						
3						
4						
5						

ALJO DEVELOPMENT, LLC
TANGLEWOOD UNIT IV
WATER DETAILS

the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBES, NEW MEXICO 88240
(575) 392-7918 TELE.
(575) 392-9114 FAX

Drawn By: Checked by:
SMM PLR
Date: Disk:
6/20/19 GENERAL
File Name: Job No.:
WATER

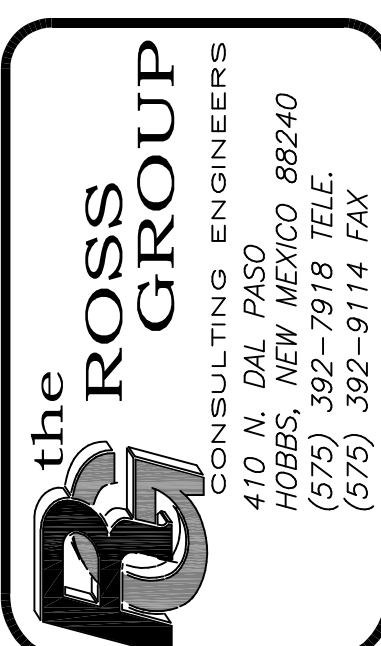
SHEET
15
15 of 19 sheets

ORIGINAL DRAWING SIZE 24" X 36"



NO.	DATE	REVISIONS:	BY	CHK	ENGR	APP.
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ALJO DEVELOPMENT, LLC
TANGLEWOOD UNIT IV
SEWER DETAILS



Drawn By:	Checked by:
SMM	PLR
Date:	Disk:
6/20/19	GENERAL
File Name:	Job No.:
SEWER	

ORIGINAL DRAWING SIZE 24" X 36"

KEYED NOTES:

- TIE ALL STEEL WITH WIRE. PLACE ON 3" CHAIRS
- CLASS A CONCRETE 4000 PSI
- #4 REBAR AT 4" O.C. EACH WAY AS SHOWN, 2" MIN. CLEAR COVER TYP.
- CONCRETE EDGES SHALL BE PARALLEL TO CURB LINE OF ROADWAY.
- PRECAST CONCRETE RINGS

INSTALLATION NOTES:

- LEVEL SUB GRADE MATERIAL, ENSURE FOUNDATION MEETS COMPACTION REQUIREMENTS, AND PLACE 4EA 6"x8"x16" HOLLOW CINDER BLOCKS AS SHOWN.
- MAKE CUTOUT FOR PIPE PENETRATION TO FOLLOW CURVATURE OF THE PIPE AND WITH A MAXIMUM OF 1" CLEARANCE. SEAL CUT EDGES WITH RESIN. PIPE PENETRATION CUTOUT MAY EXTEND TO THE BARREL BOTTOM (AS SHOWN IN SECTION B), PLACE MANHOLE LEVEL, ON BLOCKS.
- FORM FLOW SURFACE AND MOUND CONCRETE AROUND PIPE PENETRATIONS, TO FORM A SEAL, IN ONE CONTINUOUS PLACEMENT OPERATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE FIBERGLASS MANHOLE AND CONE SECTION DURING ALL CONSTRUCTION OPERATIONS INCLUDING PAVING AND MANHOLE ADJUSTMENT. THE CONTRACTOR SHALL SCHEDULE FOR INSPECTION PRIOR TO PLACING CONCRETE BASE, BACKFILL, AND MANHOLE ADJUSTMENT.
- REBAR IN BASE SHALL EXTEND 10" MINIMUM BEYOND MANHOLE WALL.

STANDARD PRECAST MANHOLE PLAN
DESIGN STD. NO.: 212.00
SCALE: NTS
DATE: 5/20/08
REVISIONS: APWA UPDATE
DRAWN BY: ZS | APPROVED BY: TTR

KEYED NOTES:

- 30" FRAME & COVER. REFER TO DESIGN STANDARD NO. 209.00
- 4000 PSI CONCRETE COLLAR, REFER TO DESIGN STANDARD NO. 205.00 FOR PAVED AREAS (NON PAVED AREAS SHOWN THIS DETAIL)
- ADJUSTMENT RINGS (MAX. HEIGHT OF 18")
- MANHOLE SHALL CONFORM TO ASTM D-3753 (LATEST EDITION) AND CERTIFIED TO BE H-20 LOAD RATED
- PIPE CUTOUT IN MANHOLE BARREL, MAX. OF 1" CLEARANCE BETWEEN MANHOLE AND O.D. OF PIPE

INSTALLATION NOTES:

- LEVEL SUB GRADE MATERIAL, ENSURE FOUNDATION MEETS COMPACTION REQUIREMENTS, AND PLACE 4EA 6"x8"x16" HOLLOW CINDER BLOCKS AS SHOWN.
- MAKE CUTOUT FOR PIPE PENETRATION TO FOLLOW CURVATURE OF THE PIPE AND WITH A MAXIMUM OF 1" CLEARANCE. SEAL CUT EDGES WITH RESIN. PIPE PENETRATION CUTOUT MAY EXTEND TO THE BARREL BOTTOM (AS SHOWN IN SECTION B), PLACE MANHOLE LEVEL, ON BLOCKS.
- FORM FLOW SURFACE AND MOUND CONCRETE AROUND PIPE PENETRATIONS, TO FORM A SEAL, IN ONE CONTINUOUS PLACEMENT OPERATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE FIBERGLASS MANHOLE AND CONE SECTION DURING ALL CONSTRUCTION OPERATIONS INCLUDING PAVING AND MANHOLE ADJUSTMENT. THE CONTRACTOR SHALL SCHEDULE FOR INSPECTION PRIOR TO PLACING CONCRETE BASE, BACKFILL, AND MANHOLE ADJUSTMENT.
- REBAR IN BASE SHALL EXTEND 10" MINIMUM BEYOND MANHOLE WALL.

TYPE "C" FIBERGLASS MANHOLE
DESIGN STD. NO.: 211.50
SCALE: NTS
DATE: 3/22/12
REVISIONS: 30" FRAME & COVER
DRAWN BY: ZS | APPROVED BY: TTR

KEYED NOTES:

- 30" FRAME & COVER. COVER MARKED "SANITARY SEWER" AND CITY OF HOBBS LOGO, REFER TO DESIGN STANDARD NO. 209.00
- 4000 PSI CONCRETE COLLAR, REFER TO DESIGN STANDARD NO. 205.00
- STANDARD PRE CAST CONCRETE CONE.
- 6" MIN. PRE CAST REINFORCED CONCRETE RINGS, MASTIC SEAL AT ALL JOINTS.
- ALL GROUT IN ALL MANHOLES SHALL START AT A LINE EQUAL TO THE TOP OF SEWER PIPE THEN SLOPE AT 1" PER FOOT UP TO WALLS.
- 4000 PSI CONCRETE BASE TO BE POURED IN PLACE USING #6 REBAR AT 8" O.C. EACH WAY. FOR MANHOLE DEPTH, FROM RIM TO INVERT, OF UP TO 16" AND MAXIMUM PIPE DIAMETER OF 24".
- COMPACT BACKFILL UNDER ALL MANHOLES TO 95% MODIFIED PROCTOR DENSITY.
- CONCRETE PIPE SUPPORTS SHALL EXTEND OUTSIDE OF M.H. TO BELL OF FIRST JOINT AND SHALL CRADLE PIPE TO SPRING LINE.
- APPROVED WATERSTOP TO BE COMPATIBLE WITH TYPE OF PIPE.
- 6" GROUT FILLET ON UPPER HALF OF PIPE AND AROUND BASE.
- INVERT ELEVATION OF STUB OR LATERAL AS SHOWN ON PLANS.
- USE PRECAST ADJUSTMENT RINGS OR MAX. 4 COURSES GR. MS BRICK FOR FUTURE ADJUSTMENT OF MANHOLE FRAME TO PAVEMENT GRADE. GROUT INSIDE WITH 1/2" MORTAR.
- REFER TO DESIGN STANDARD DRAWING NO. 212.00 FOR CROSS SECTIONS A-A AND B-B

ALTERNATE PRECAST TYPE "C" MANHOLE
DESIGN STD. NO.: 211.00
SCALE: NTS
DATE: 12/20/11
REVISIONS: 30" FRAME AND COVER
DRAWN BY: ZS | APPROVED BY: TTR

PROXIMITY OF WATER AND SEWER LINES

WHENEVER POSSIBLE, IT IS DESIRABLE TO LAY PARALLEL WATER AND SEWER LINES AT LEAST 10 FEET APART HORIZONTALLY, AND THE WATER LINE SHOULD BE AT A HIGHER ELEVATION THAN THE SEWER. IF THIS IS NOT POSSIBLE, SEPARATE TRENCHES SHALL BE REQUIRED IN ALL CASES (THIS SHALL BE EFFECTIVE EVEN THOUGH ONE LINE HAS BEEN INSTALLED PRIOR TO THE OTHER) AND THE WATER LINE SHALL BE AT LEAST TWO (2) FEET ABOVE THE SEWER. WHEN WATER AND SEWER LINES CROSS EACH OTHER, THE WATER LINE SHALL BE AT LEAST TWO (2) FEET ABOVE THE SEWER; OTHERWISE, THE SEWER SHALL BE OF DUCTILE PIPE, OR AS DESCRIBED IN THIS DETAIL, FOR 10 FEET EACH SIDE OF THE WATER LINE.

KEYED NOTES:

- CONCRETE ENCASEMENT
- NO. 4 REBAR STIRRUPS AT 36" O.C. TYP.
- 4 - NO. 4 CONTINUOUS REBAR WITH 3" MINIMUM CLEAR COVER TYP.

SEWER LINE ENCASEMENT DETAIL
DESIGN STD. NO.: 281.00
SCALE: NTS
DATE: 5/20/08
REVISIONS: APWA UPDATE
DRAWN BY: ZS | APPROVED BY: TTR

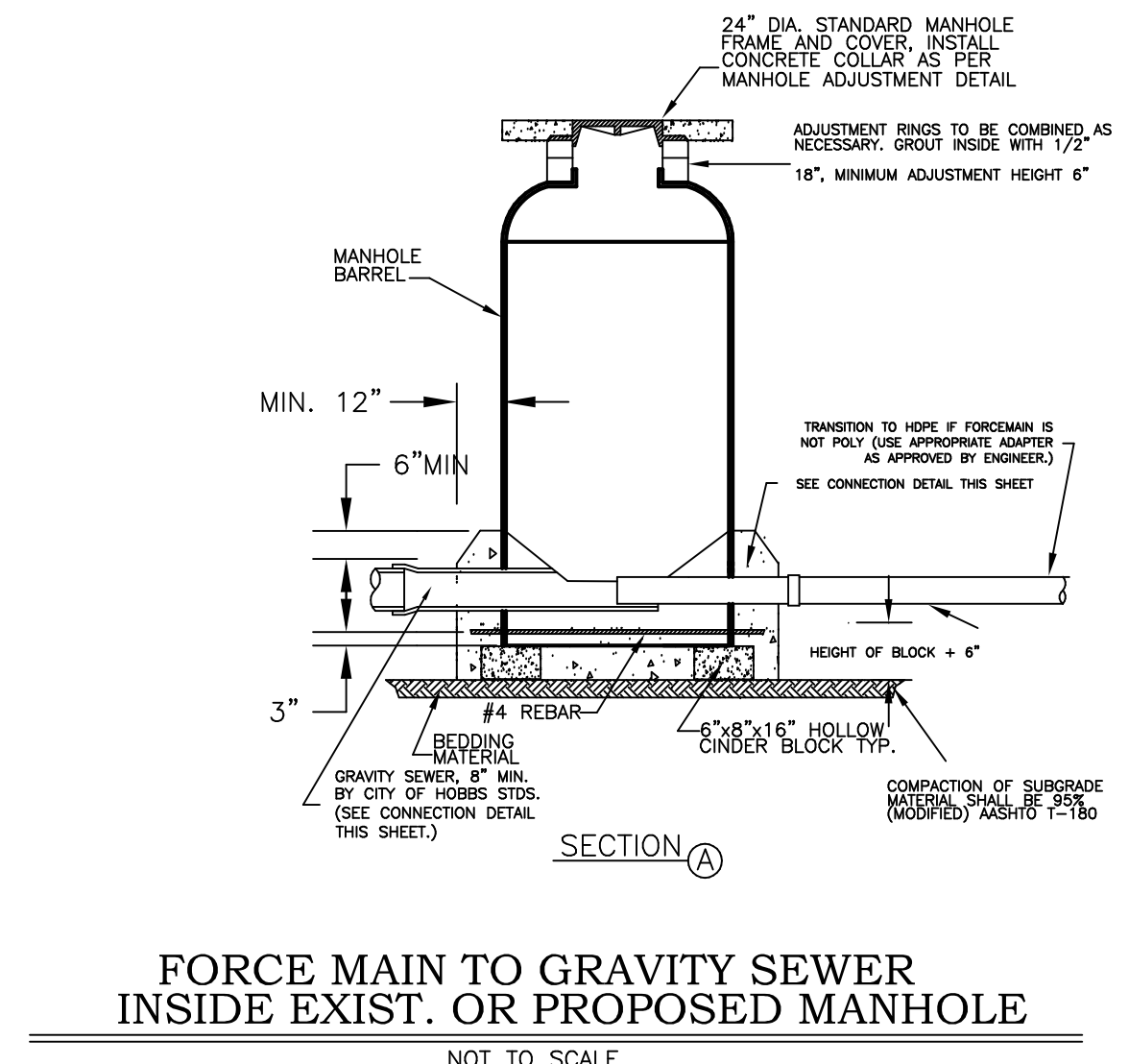
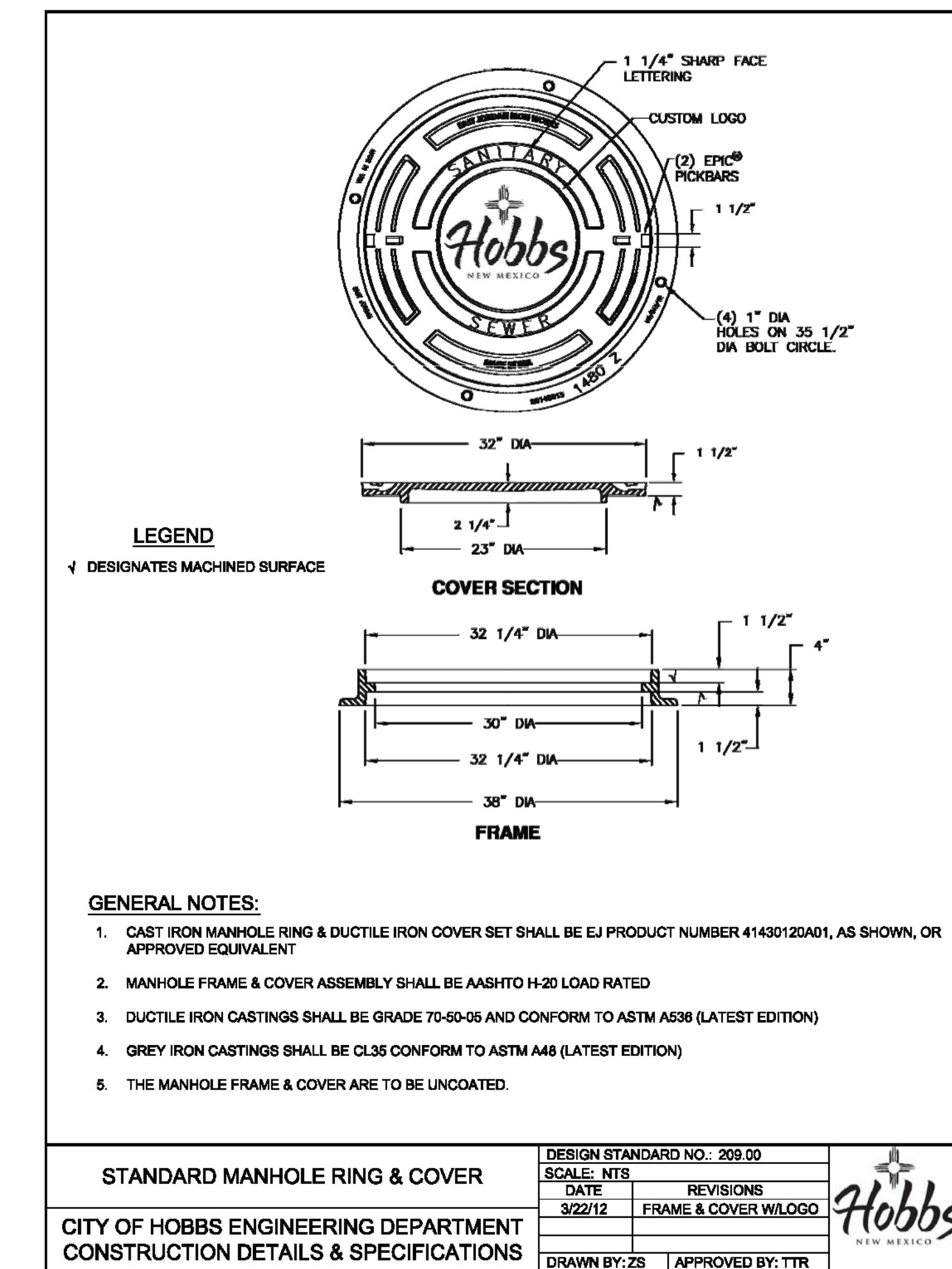
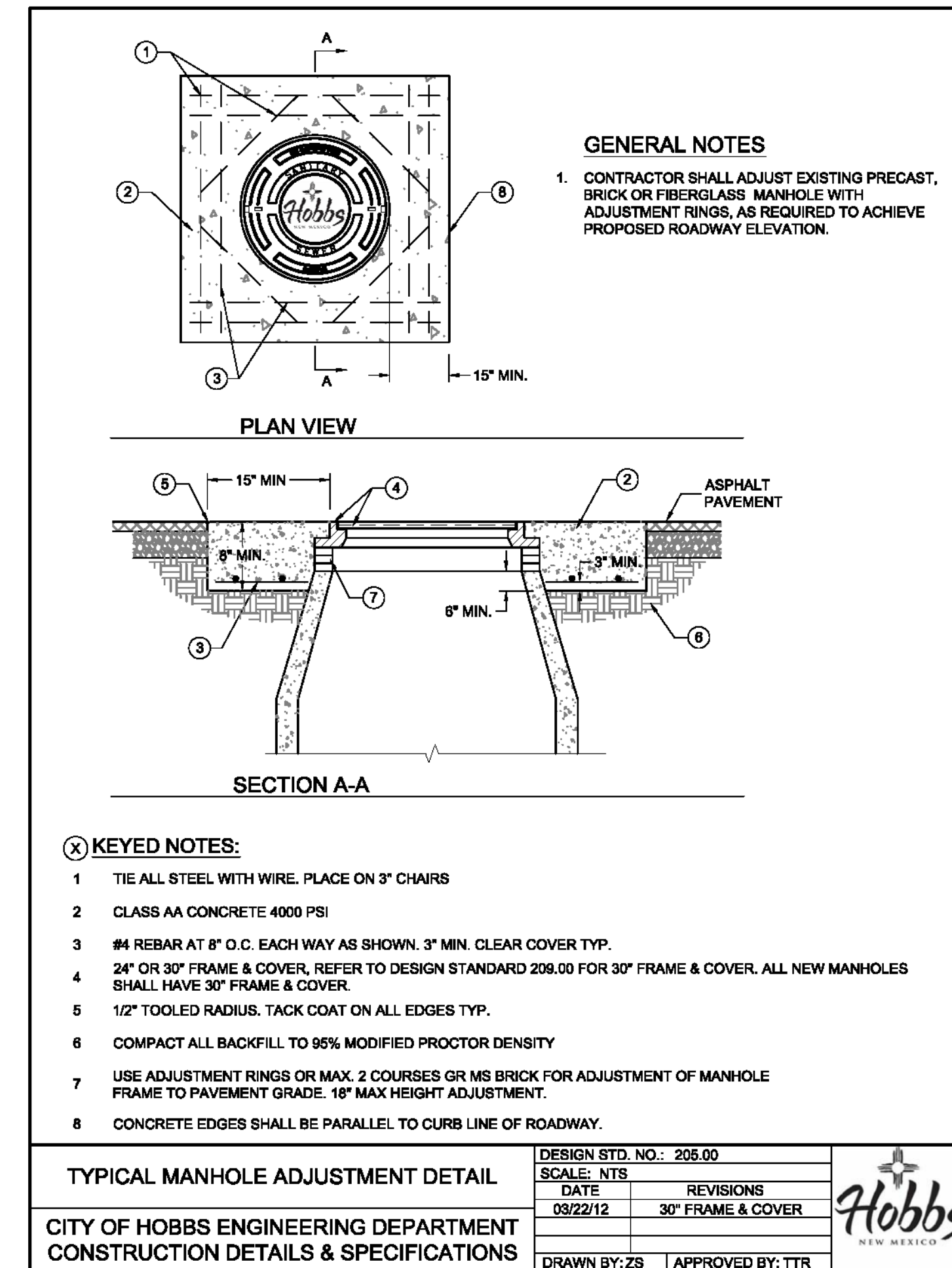
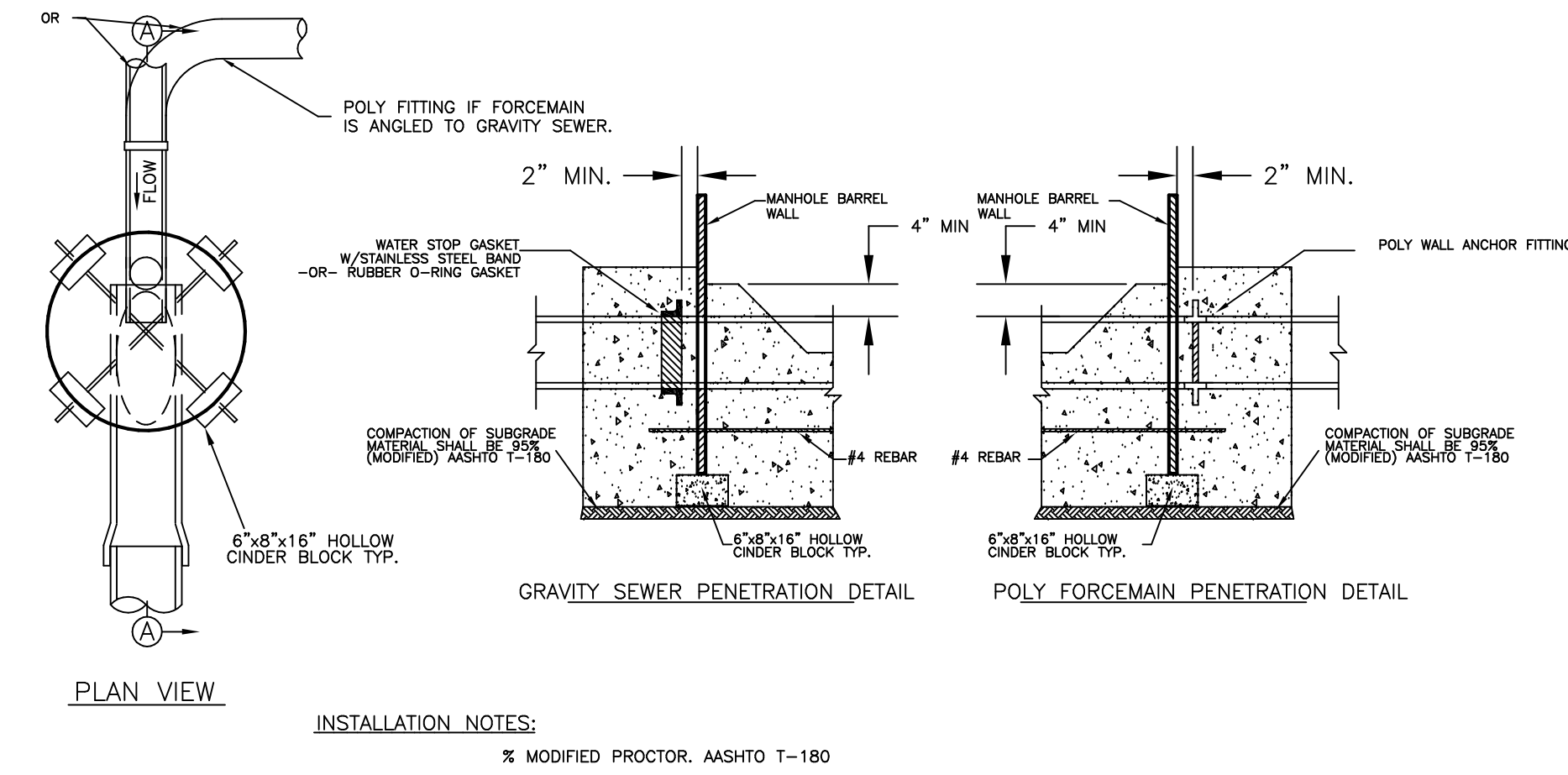
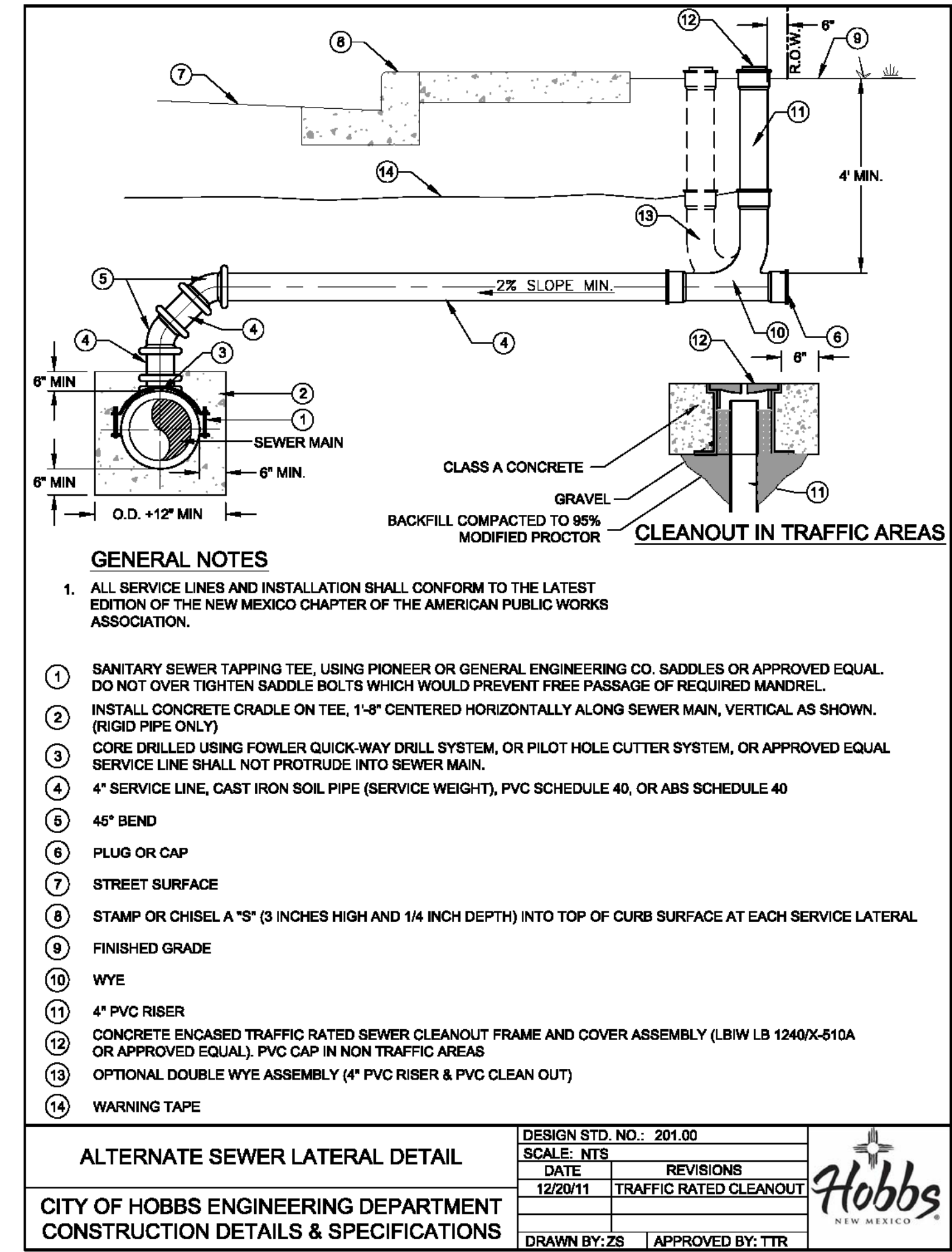
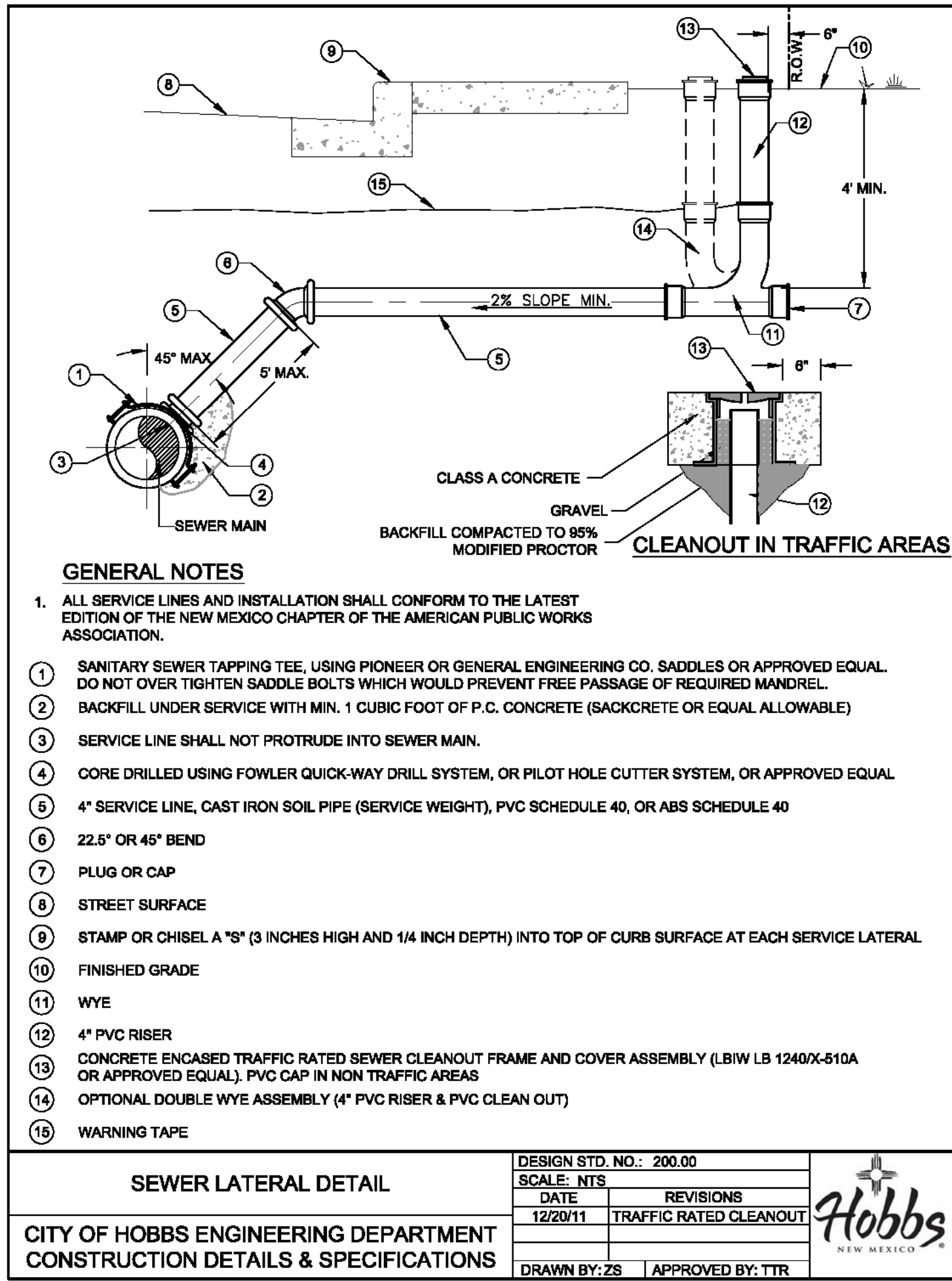
NOTE
A DROP INLET IS REQUIRED FOR VERTICAL DROPS EQUAL TO OR GREATER THAN 3 FEET.

KEYED NOTES:

- USE D.I. OR P.V.C. (SDR 21) PIPE THROUGHOUT DROP.
- USE BELL AND SPIGOT 48" SHORT OR LONG RADIUS BEND.
- FOR NEW DROP ON EXISTING MANHOLE CONSTRUCT A 3' X 3' CONCRETE BASE BEFORE CONSTRUCTING DROP SUPPORT.
- 6" MIN. PRE CAST REINFORCED CONCRETE RINGS, MASTIC SEAL AT ALL JOINTS.
- ALL GROUT IN ALL MANHOLES SHALL START AT A LINE EQUAL TO THE TOP OF SEWER PIPE THEN SLOPE AT 1" PER FOOT UP TO WALLS.
- 4000 PSI CONCRETE BASE TO BE POURED IN PLACE USING #6 REBAR AT 8" O.C. EACH WAY. FOR MANHOLE DEPTH OF UP TO 16" AND MAX. PIPE DIAMETER OF 30".
- COMPACT BACKFILL UNDER ALL MANHOLES TO 95% MODIFIED PROCTOR DENSITY.
- INVERT ELEVATION OF STUB OR LATERAL AS SHOWN ON PLANS.
- MANHOLE TYPE FOR UPPER PORTION WILL BE SPECIFIED ON DESIGN PROFILE
- CORE DRILL FOR ALL WALL PENETRATIONS ON EXISTING MANHOLES.

VERTICAL DROP AT MANHOLE
DESIGN STD. NO.: 220.00
SCALE: NTS
DATE: 5/20/08
REVISIONS: APWA UPDATE
DRAWN BY: ZS | APPROVED BY: TTR

SEE SHEET 15 (WATER DETAILS) FOR TYPICAL TRENCH DETAILS, MECHANICAL COMPACTION AND OPTIONAL FLOWABLE FILL.



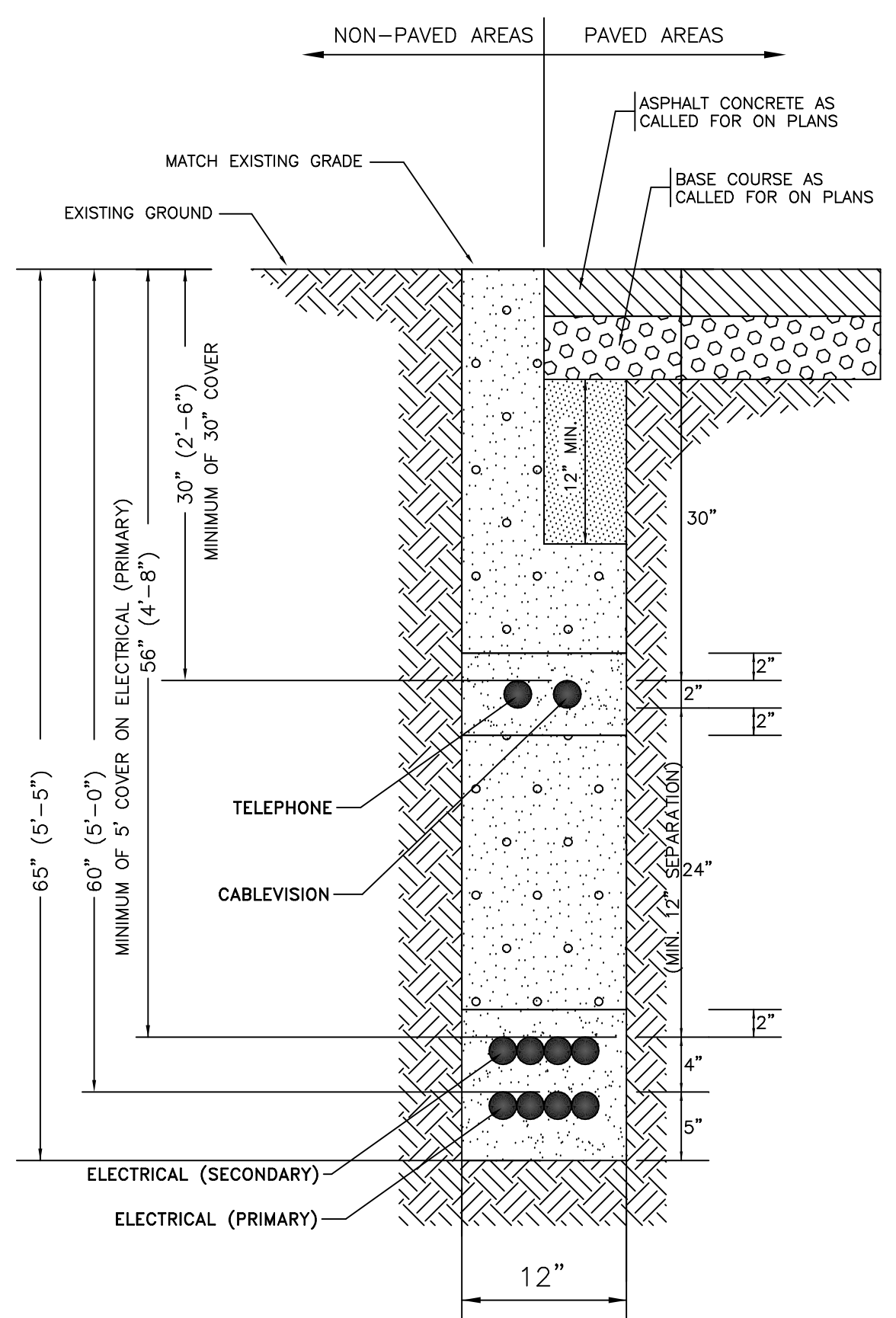
CHK	ENGR	APP.	PLR	PLR
BY	SMM	PLR	PLR	PLR
NO.	9/24/19	ADDED FORCEMAIN TO MANHOLE DETAIL		
DATE				
REVISIONS:				

ALJO DEVELOPMENT, LLC
TANGLEWOOD UNIT IV
SEWER DETAILS CONTINUED

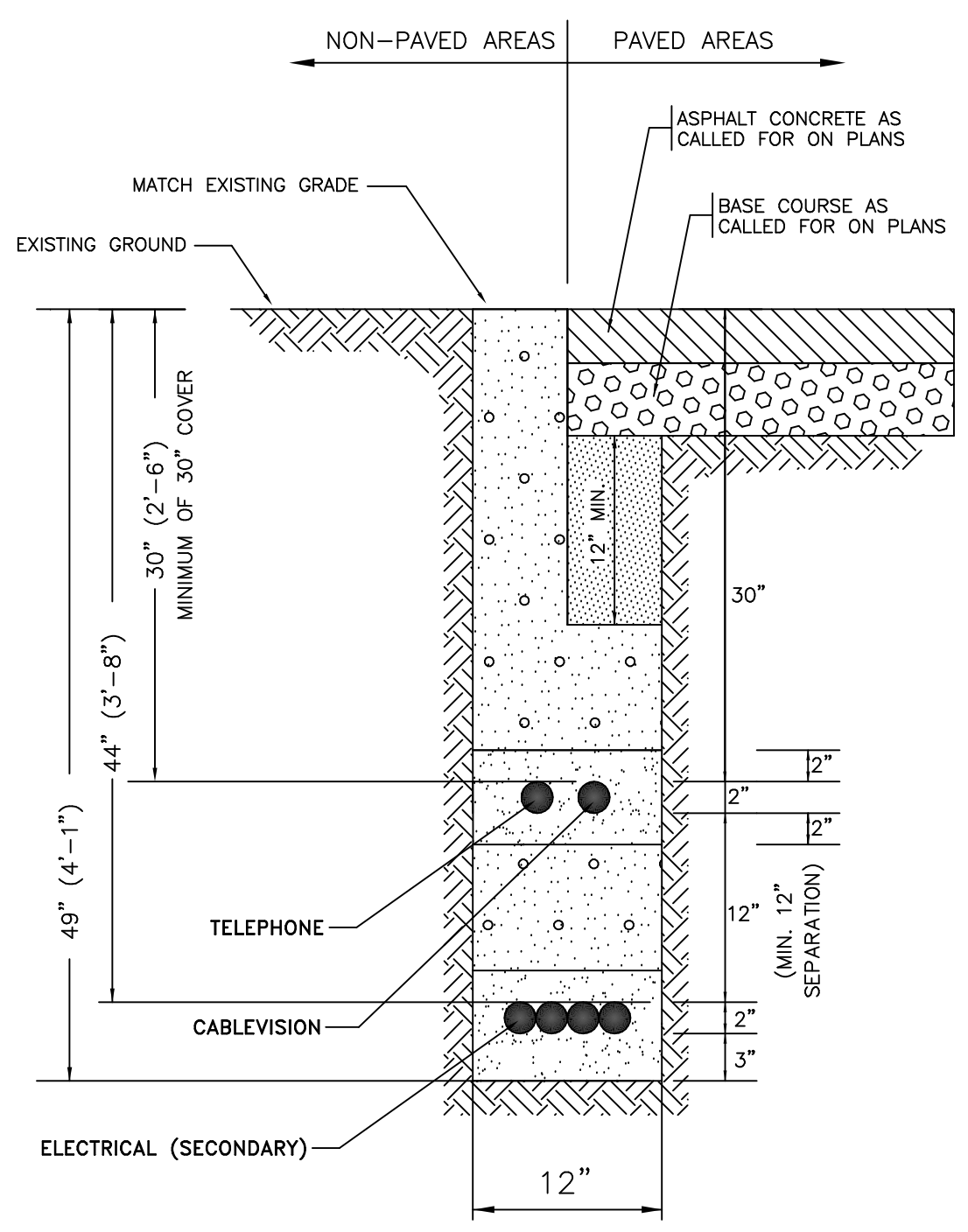
the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBS, NEW MEXICO 88240
(575) 392-7918 TELE.
(575) 392-9114 FAX

Drawn By:	Checked by:
SMM	PLR
Date:	Disk:
6/20/19	GENERAL
File Name:	Job No.:
SEWER	

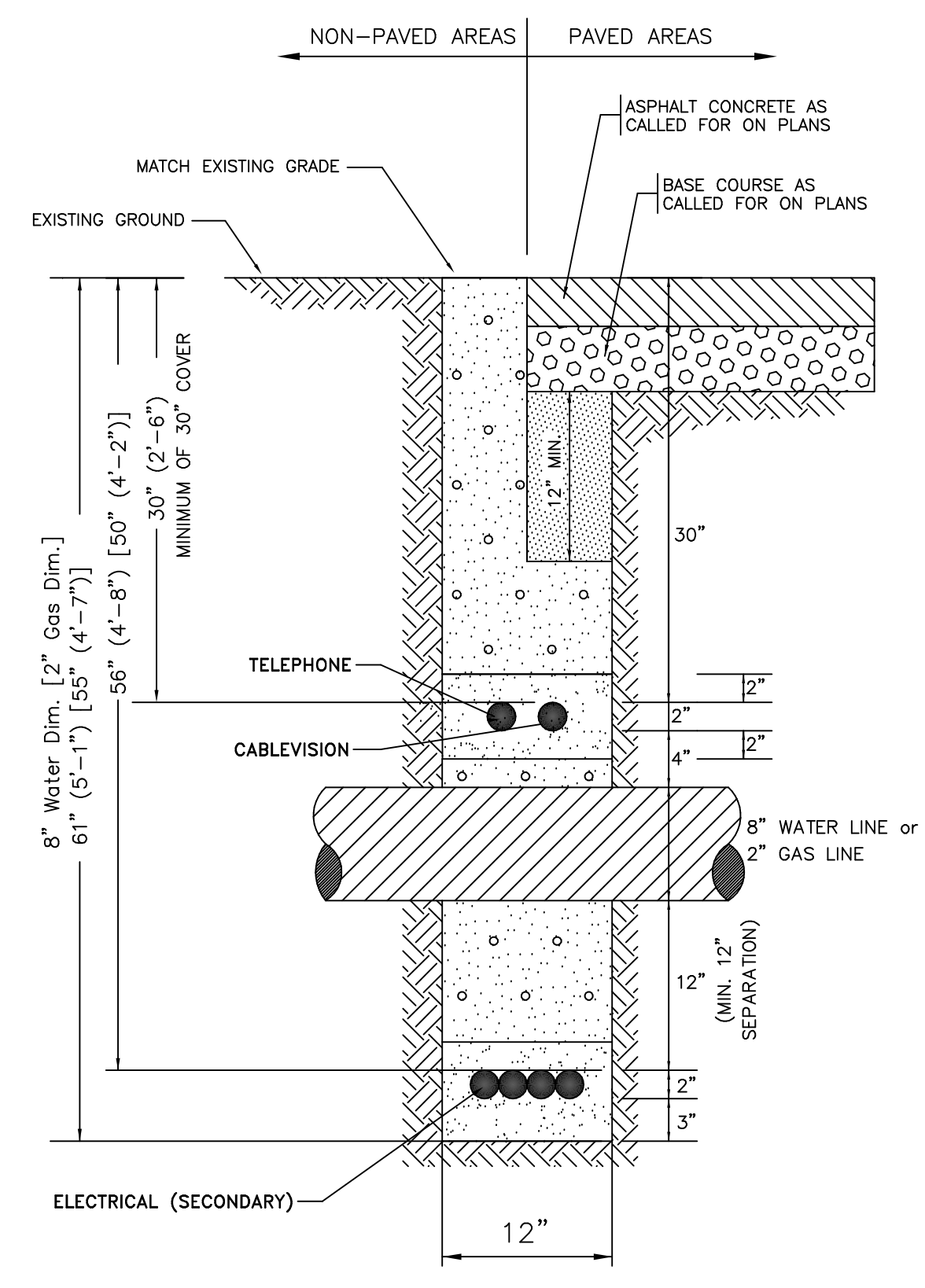
ORIGINAL DRAWING SIZE 24" X 36"



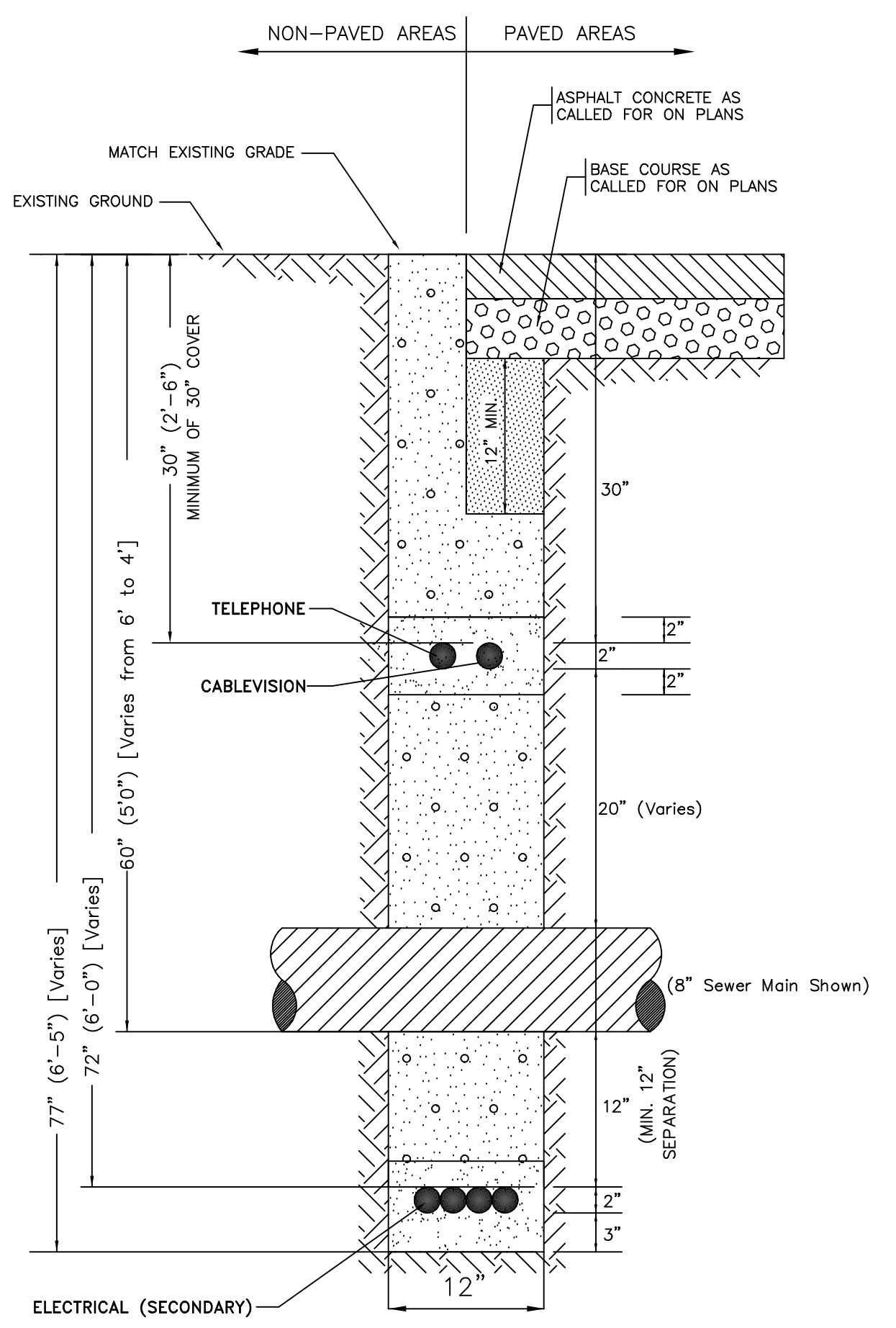
TYPICAL UTILITY DITCH
ELECTRICAL / TELEPHONE / CABLEVISION
(ELECTRICAL PRIMARY)
NTS



TYPICAL UTILITY DITCH
ELECTRICAL / TELEPHONE / CABLEVISION
(ELECTRICAL SECONDARY)
NTS



TYPICAL UTILITY DITCH AT WATER/GAS CROSSING
ELECTRICAL / TELEPHONE / CABLEVISION
(ELECTRICAL SECONDARY)
NTS



TYPICAL UTILITY DITCH AT SEWER CROSSING
ELECTRICAL / TELEPHONE / CABLEVISION
(ELECTRICAL SECONDARY)
NTS

LEGEND
UTILITY DITCH COMPACTION AND MATERIAL REQUIREMENTS

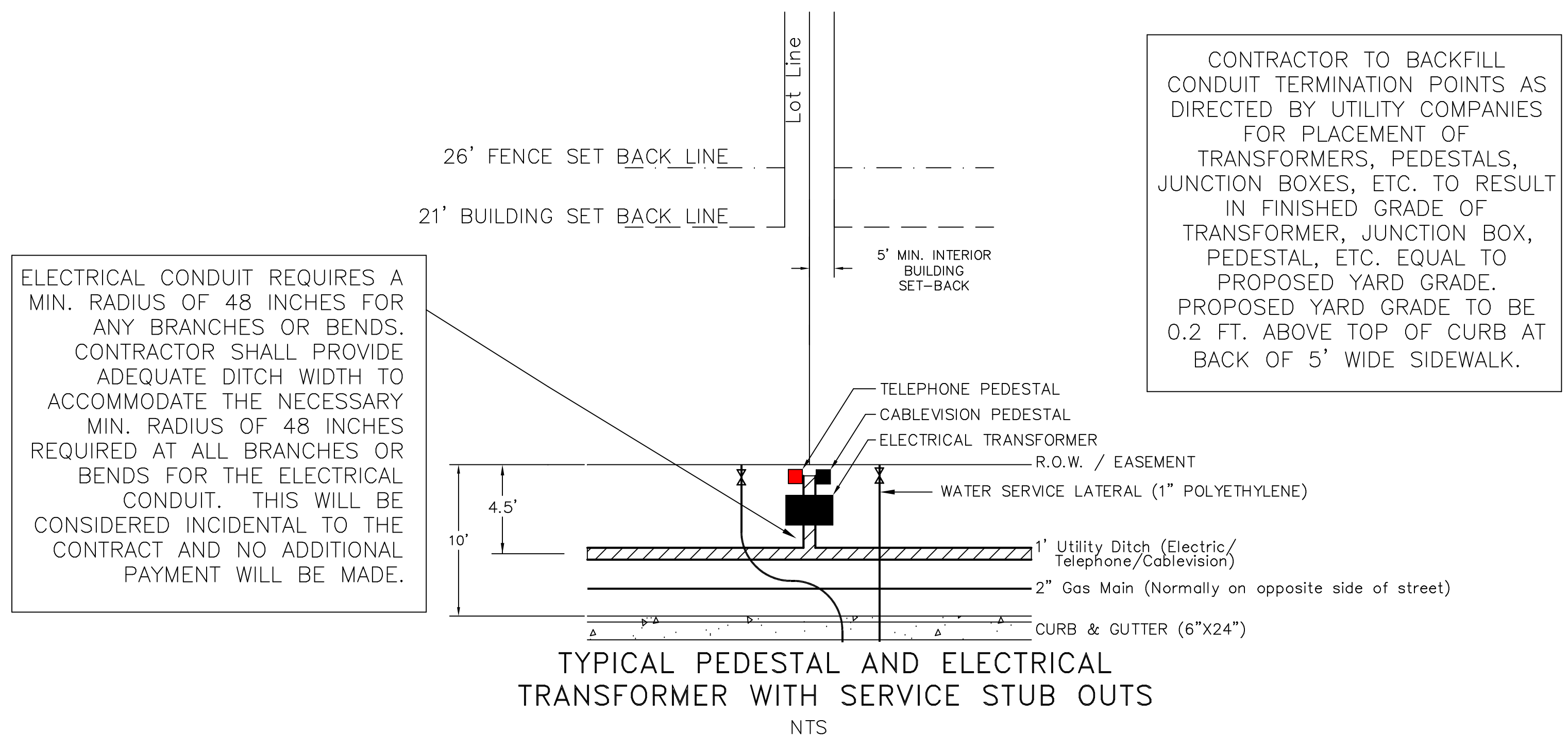
CONSTRUCTION NOTES: DITCHING (UTILITY) CONTRACTOR

- DITCHES, BACKFILL MATERIALS, BACKFILL & COMPACTION PROVIDED BY DITCHING CONTRACTOR.
- DITCHING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY OWNERS AND FOR THE PROTECTION OF ALL FACILITIES AFTER THEIR INSTALLATION. IF APPLICABLE, GAS COMPANY SHALL DITCH, INSTALL, BACKFILL AND COMPACT THEIR OWN UTILITIES.
- ANY UTILITIES DAMAGED BY THE DITCHING CONTRACTOR DURING TRENCHING, COMPACTION, OR INSTALLING SERVICE LATERALS SHALL BE REPAIRED AND/OR REPLACED AT THE EXPENSE OF THE DITCHING CONTRACTOR.
- EXTRA DEPTH NECESSARY FOR THE ELECTRICAL PRIMARY AND SECONDARY TO CROSS UNDER WATER or SEWER LINES AS SHOWN IN THE TYPICAL DETAILS IS CONSIDERED INCIDENTAL AND NO EXTRA PAYMENT WILL BE MADE.
- ELECTRICAL CONDUIT REQUIRES A MINIMUM RADIUS OF 48 INCHES FOR ANY BRANCHES / BENDS. CONTRACTOR SHALL PROVIDE ADEQUATE DITCH WIDTH TO ACCOMMODATE THE NECESSARY MINIMUM RADIUS OF 48 INCHES REQUIRED AT ALL BRANCHES / BENDS FOR ELECTRICAL CONDUIT. THIS WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL PAYMENT WILL BE MADE.

NOTE:

SEWER LATERALS TO BE INSTALLED IN THE CENTER OF THE LOT, WATER SERVICES TO BE INSTALLED WITHIN 5' OF LOT LINES.

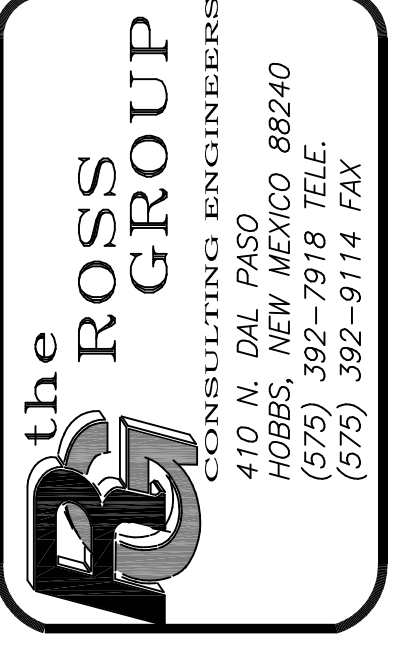
OWNER'S REPRESENTATIVE WILL INSTRUCT CONTRACTOR IF CHANGES IN THESE GUIDELINES OCCUR DUE TO HOUSING CONTRACTOR'S NEEDS.



TYPICAL PEDESTAL AND ELECTRICAL
TRANSFORMER WITH SERVICE STUB OUTS
NTS

NO.	DATE	REVISIONS:
1		
2		
3		
4		
5		

ALJO DEVELOPMENT, LLC
TANGLEWOOD UNIT IV
MISCELLANEOUS DETAILS AND
UNDERGROUND UTILITY DETAILS



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SMM	PLR
Date:	Disk:
6/20/19	General
File Name:	Job No.:
MISC	

ORIGINAL DRAWING SIZE 24" X 36"

October 15, 2019
Planning Board Regular Meeting

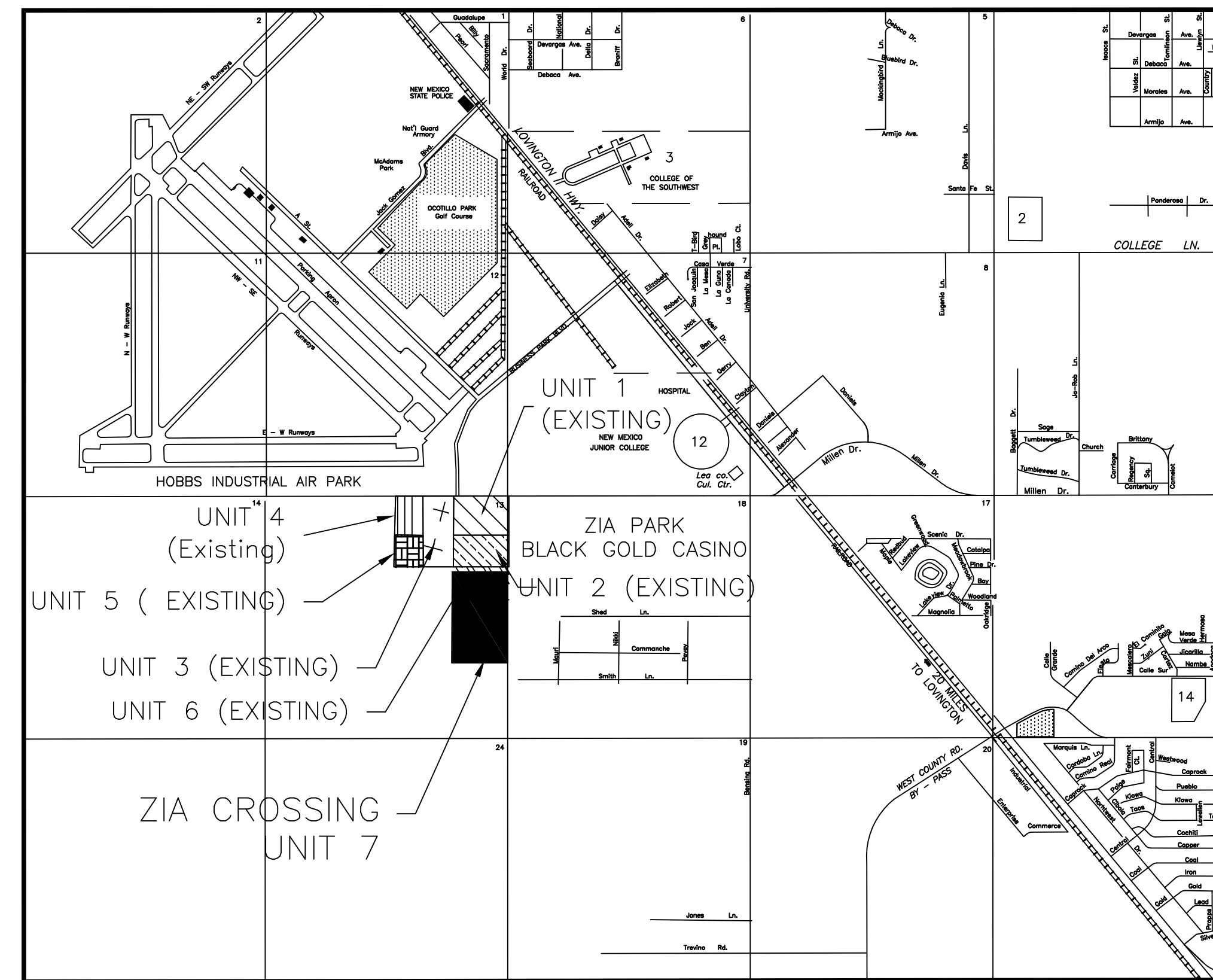
- 6) **Review and Consider Preliminary Plan for Zia Crossing Unit 7, as submitted by property owner, Black Gold Estates, LLC.**

SUBDIVISION PLANS ZIA CROSSING, UNIT 7

CITY OF HOBBS
LEA COUNTY, NEW MEXICO
NE/4 OF SECTION 13, TOWNSHIP 18 SOUTH RANGE 37 EAST

INDEX OF SHEETS

SHEET	DESCRIPTION
A1	COVER SHEET, INDEX OF DRAWINGS & LOCATION MAP
A2	GENERAL NOTES & MATERIALS SPECIFICATIONS
A3	PRELIMINARY PLAT PROVIDED BY FOUR CORNERS SURVEYING
A4	UTILITY LAYOUT PLAN
B1	ZIA CROSSING PARKWAY ROAD PLAN & PROFILE
B2	KING KELLY PLAN & PROFILE
B3	BIG CY PLAN & PROFILE
B4	MIGHTY ATOM PLAN & PROFILE
B5	MIGHTY ATOM CIRCLE PLAN & PROFILE
B6	THE COUNT PLAN & PROFILE
B7	BACKSTRETCH PLAN & PROFILE
I1	INTERSECTION DETAILS
I2	INTERSECTION DETAILS CONT.
I3	INTERSECTION DETAILS CONT.
W1	WATER DETAILS
R1	ROADWAY DETAILS
S1	SEWER DETAILS
U1	UNDERGROUND ELECTRIC/TELEPHONE/CABLE TRENCH LAYOUT <small>(Provided by Xcel Energy)</small>
U2	ELEC/TELE/CABLE TRENCH DETAILS & USPS CLUSTER BOX DETAILS



LOCATION MAP

Not to Scale

410 n. dal paso
hobbs, new mexico 88240
(575) 392-7918 bus
(575) 392-9114 fax

SPECIFICATIONS: Street Construction

- All work shall meet or exceed the applicable requirements of the "New Mexico Standard Specifications for Public Works Construction" 1987 Edition (herein—after abbreviated NMSS), except as otherwise specified herein.
- Earthwork shall be considered incidental to the street construction unless otherwise indicated in the bid proposal. All roots and other vegetation shall be removed from areas to be covered by asphalt or concrete. The subgrade shall be accurately shaped to lines and grades as indicated on the drawings and compacted as indicated on the details. Minimum compaction in areas not otherwise shown shall be 90% of the maximum density as determined by ASTM D-1557, Method A.
- All Portland Cement Concrete for pavement shall conform to NMSH&TD Specification— Section 451 or Section 503, for structures. The contractor shall submit a proposed job mix for the engineer's approval in ample time before placing any concrete.
- Base course materials and placement shall conform to the requirements of NMSH&TD Specification, Section 304—Base Course. The contractor shall submit an aggregate analysis for the engineer's approval in ample time before placing any base course material.
- Prime coat material and placement shall conform to the requirements of NMSH&TD Specifications, Section 408—Prime Coat. The contractor shall submit certification of quality for his proposed material for the engineer's approval in ample time before placing any prime coat.
- Asphaltic concrete surface course material and placement shall conform to the requirements of NMSH&TD Specification, Section 420 OR 422—Plant Mix Bituminous Pavement (Dense Graded or Super Pave). The contractor shall submit a proposed mix design for the engineer's approval in ample time before placing any surface course.
- The water and sewer contractor shall complete his work, including trench compaction and clean-up, in any one street before the paving contractor starts final subgrade preparation for the street construction. Final adjustment to grade of valve boxes and manhole covers, pouring concrete collars, etc., shall be left for the paving contractor.
- All construction, including compaction, shall be guaranteed for a period of 12 months after completion of construction.

SPECIFICATIONS – Water and Sewer Systems

- All work shall meet or exceed the applicable requirements of the "New Mexico Standard Specifications for Public Works Construction", 1987 Edition (herein—after abbreviated NMSS), except as otherwise specified herein.
- Manufacturer's brochure cuts, and certificates of quality where applicable, shall be submitted for the engineer's approval for all items installed on the job.
- Water mains shall be PVC Water Pressure Pipe, Class 150, DR 18, C-900 water pipe as specified in NMSS Section 121, joints may be either mechanical or push-on type except where otherwise specifically indicated, or shall be Polyethylene Water Pressure Pipe, DR 17 as specified by AWWA C-906.
- The use of tapping sleeves for connection to existing mains or repair sleeves will not be permitted except with the express permission of the engineer for each instance.
- Water service lines shall be 1" diameter, polyethylene tubing and accessories shall conform with NMSS Section 560.2 – Water Service Pipe.
- All sections of new water mains shall be hydrostatically tested in accordance with AWWA C-600, Sec. 13, in the presence of the engineer and a city representative. The contractor shall furnish all equipment and labor required to make the tests. The mains shall be tested with the service connections complete in place. The leakage shall not exceed the calculated allowable leakage as specified in test sheet 801.16.2 in NMSS Section 801. The contractor shall locate and repair all leaks until there are no visible leaks and the overall leakage is within the specified maximum.
- Sanitary sewer pipe shall be Polyvinyl Chloride (PVC) pipe, DR 35, as specified in the NMSS Section 121.
- Manholes shall be constructed with precast reinforced concrete sections conforming to ASTM C-478. Block manholes are expressly prohibited. All portland cement concrete and mortar used in manhole construction shall utilize Type II cement. Care shall be taken to properly finish manhole inverts.
- The water and sewer contractor shall complete his work, including trench compaction and clean-up, in any one street before the paving contractor starts final subgrade preparation for the street construction. Final adjustment to grade of valve boxes and manhole covers, pouring concrete collars, etc., shall be left for the paving contractor.
- All water mains shall be chlorinated as specified in NMSS Section 801.17. Each service connection shall be operated to thoroughly flush the lines on completion.
- All construction, including compaction, shall be guaranteed for a period of 12 months after completion of construction.
- All service line connections for water and sewer shall be made with fittings specifically for the material used, and as per the manufacturer's installation requirements.

NOTES – Water and Sewer Construction

- Sewer services shall be located 5 feet ± down-stream from the center of the lot frontage except where otherwise indicated on the plans. Opposing connections shall be spaced at least 4 feet apart along the sewer mains. Water services shall be located 5 feet ± upstream from the common lot lines except where otherwise indicated on the plans, and 10 feet minimum away from the sewer services. Water taps shall be spaced at least 2 feet apart on the water mains.
- Stationing is as shown on the plan and profile sheets.
- Water mains shall not be located less than 10 feet away from sewer lines nor closer than 3 feet to the lip of the curb and gutter, except where lines cross.
- Where a water line passes beneath or less than 18 inches above a sewer line, the sewer line shall be encased in concrete 6 inches thick as shown in the "Standard Details" for at least 10 feet on each side of the water line, or the sewer line shall be Ductile or Cast Iron Pipe with pressure-type joints for 10 feet on each side of the water line. This shall also apply where a parallel water line is less than 10 feet horizontally and less than 2 feet above the sewer.

GENERAL NOTES:

- Testing of construction materials, including subgrade compaction, shall be performed as required by the engineer and at the expense of the owner, except that the contractor shall pay for any re-testing required. The contractor shall cooperate in allowing opportunity for testing and furnishing samples and job site assistance as required. The contractor shall furnish manufacturer's certificates of quality as required.
- The contractor shall maintain a reasonably clean job site throughout the construction period and at completion shall remove all debris and dress up all areas disturbed by his operations.
- Measurement and payment of the various items of construction shall be made by the units indicated in the bid proposal and at the unit prices bid, work and materials not specifically called out in the bid proposal shall be considered incidental to the nearest associated item listed in the proposal.
- The contractor shall do his own layout and construction staking from bench marks and centerline reference points furnished by the owner. The contractor shall be responsible for properly referencing all triangulation stations, bench marks, monuments, and grant markers, section corners, or other permanent reference marker, that may be destroyed during the construction of this project. The Project Manager, at the contractor's expense, shall reference and reset destroyed monuments according to government regulations and state law. Design survey for Owner provided by John West Surveying Company.
- Haul shall be considered incidental to construction, and no direct payment shall be made.
- For estimating purposes only, earthwork quantities are based on a shrinkage factor of 0% in roadway embankment and 0% swell in roadway excavation.
- No underground utilities (water or sewer) shall be backfilled prior to inspection and approval by the ENGINEER. Any backfill placed prior to inspection and approval will be removed at the contractor's expense.
- Locations of all existing utilities shown were taken from record drawings or field surveys and are located as accurately as possible from information available. It will be the contractor's responsibility to protect, maintain in service, and at points required, verify exact locations of these utilities during construction operations of this project.
- The contractor shall never unnecessarily interfere with or interrupt the services of any public utility having property within or adjacent to the construction area. He shall give all public utility companies a reasonable notice in writing, in no event less than 48 hours, for any work that he contemplates would interfere in any what whatsoever with the service of any existing public utility and city-owned facility.
- When construction under this project connects to existing improvements the contractor shall build an easy-riding connection.
- When abutting new pavement to edges of existing pavement, the existing pavement shall be cut a straight neat edge and tack coat shall be applied to edges of existing pavement prior to beginning of new pavement operations.
- The Contractor shall coordinate any work required by others in the construction area with the construction of this project.
- No underground utilities (water or sewer) shall be backfilled prior to inspection and approval by the CITY OF HOBBS. Any backfill placed prior to inspection and approval will be removed at the contractor's expense.
- Where proposed elevations in the plans are shown with two digits preceding the decimal, it shall be assumed that 3600 feet is to be added.
- All concrete shall contain fiber reinforcement. Fiber reinforcement shall be virgin polypropylene strands approximately 3/4 inches in length, mixed into the concrete at a rate of 1.5 pounds per cubic yard or fibers shall be Anti-Crack HD (AR glass fibers) as manufactured by Saint-Gobain Vetrotex America and mixed into the concrete at a rate of 1.0 pounds per cubic yard (fiber length 3/4 inch). Use of fiber reinforcement does NOT substitute for any structural reinforcement required by the project drawings and contract documents. No separate measurement or payment will be made for fiber reinforcement, it shall be considered incidental to the item being installed.
- Construction will not be considered complete until all drainage structures, including new curband gutter, are tested flowing and found satisfactory by the project manager. Finished concrete grade tolerance shall not deviate from those shown on the plans by more than =/– 0.002 feet. This shall be considered incidental to the construction of this project.

MATERIAL SPECIFICATION:

Materials and equipment used in the installation of water and sewer improvements shall be in accordance with the City of Hobbs standards and shall be new and unused, manufactured in compliance with standards published by the American Society for Testing and Materials (ASTM), the American Water Works Association (AWWA) or other published applicable standards.

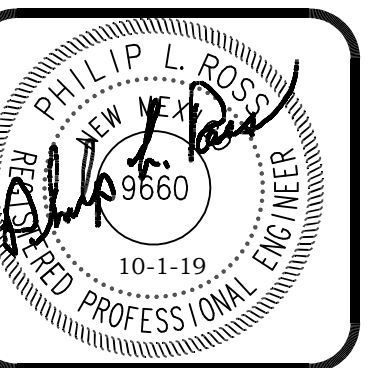
Where specific items are called for by name, make, or catalog number such reference shall be interpreted as establishing a standard quality and not construed as limiting competition. The use of substitutes is permissible in most cases, provided written requires and proper certification are submitted to the ENGINEER for review and approval prior to Bid Opening for City of Hobbs approval.

SANITARY SEWER

Collector: PVC, SDR 26 (under 18" Dia.) (Stiffness of 46 for over 18" Dia.), push-on, gasketed (or glued) sewer pipe.
 Service: PVC, SCH 40 or SDR 21, push-on, gasketed (or glued) sewer pipe.
 Fittings: PVC, SCH 40, push-on, gasketed sewer pipe.
 Manholes: Fiberglass (preferred) or Precast reinforced concrete, 4 ft. inside diameter, type "C" Concentric manholes.
 Manhole rim and Lid: A. Vented in pavement areas, East Jordan Iron Works #41430120A01 or approved equal. Frame & cover shall be AASHTO H-20 load rated, Ductile iron castings shall be grade 70-50-05 conforming to ASTM A536 (latest edition), Grey iron castings shall be CL35 conforming to ASTM A448 (latest edition), frame & cover to be uncoated. (See Details)
 B. Sealing in drainage swale and bar-ditch areas, shall be as required by the City of Hobbs.
 Force Mains: HDPE DR 13.4 C-906 (WPR 130 psi) or PVC DR 14 Class 200 C-900 (WPR 145 psi).

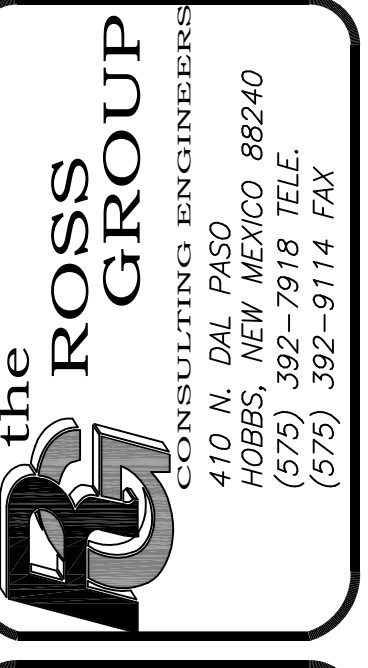
POTABLE WATER

Distribution Lines: PVC, DR 18, Class 150, C-900 push-on, gasketed water pipe – OR – HDPE, DR 17, C-906 blue or blue stripe.
 Fittings: Mechanical joint (MJ), class 250 or 350 S.S.B. type, ductile iron pipe fittings for PVC. Polyethylene fittings may be MJ or fused fittings, ductile iron pipe sizes. All HDPE pipe shall utilize MJ adapters when connection to Ductile Iron Fittings. Mega Lug restrained fittings shall be used along with concrete thrust blocking. Valves may be FL X MJ when connected at fittings.
 Gate Valves: Mueller bonded resilient seat, non-raising stem type, mechanical joint, fuse bonded epoxy coated inside and out, 2 inch operating nut, opens counter-clockwise. Valves may be FL x MJ when connected at fittings.
 Fire Hydrants: Kennedy Guardian – K81D Main valve fire hydrant, Exterior painted "chrome yellow" as per NM APWA specs.
 Valve Boxes: Tyler 461S, or equal
 Water Meter Box – Regular Meter Box – East Jordan product number 32234002A04, round 18" x 18" and DFW Plastics Inc. plastic blue cover product number (18AMR-49).



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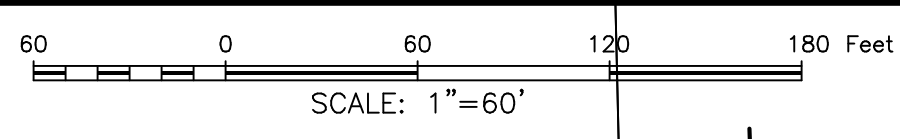
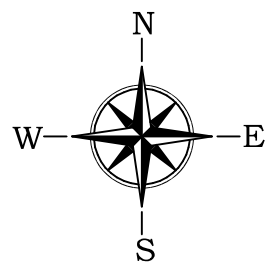
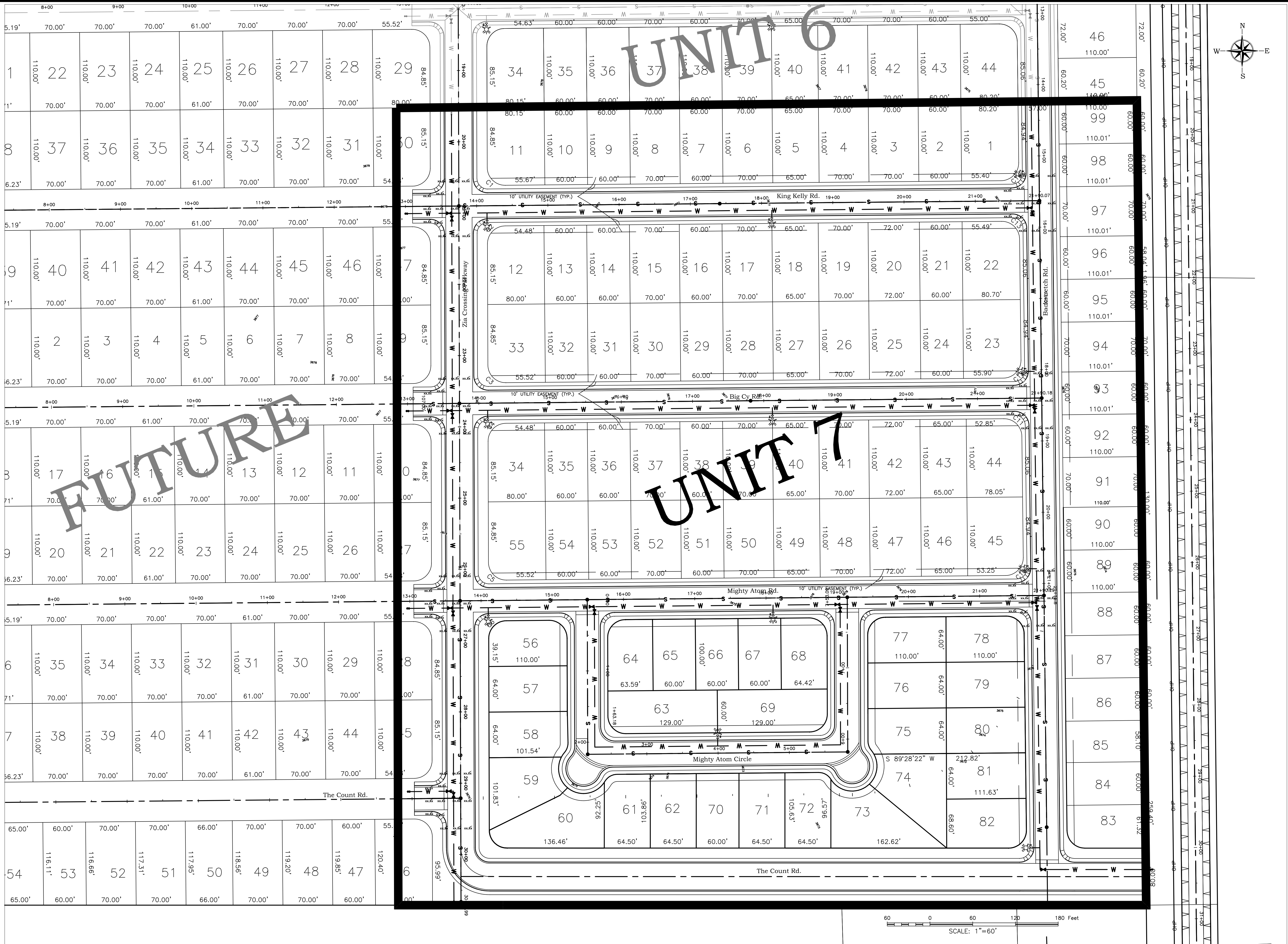
BLACK GOLD DEVELOPMENT
 ZIA CROSSING UNIT 7
 GENERAL NOTES AND
 MATERIALS SPECIFICATIONS



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Date:	Disk:
10-1-19	ZIA7
File Name:	Job No.:
GEN NOTES	

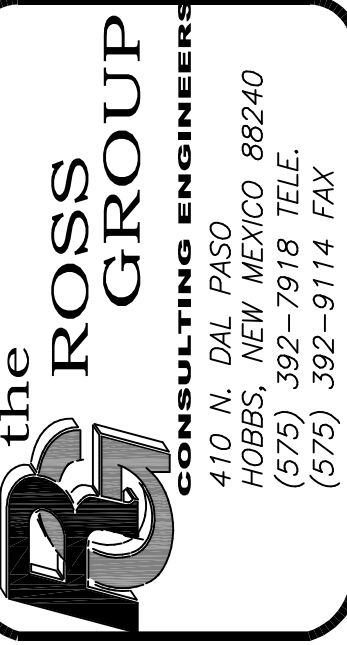
SHEET
A2
 A2 of A4 sheets

ORIGINAL DRAWING SIZE 24" X 36"



NO.	DATE	REVISIONS:	BY	CHK	ENGR	APP.
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ZIA CROSSING UNIT 7
MASTER LAYOUT



Drawn By:	Checked by:
SMM	PLR
Date:	Disk:
10/01/19	GENERAL
File Name:	Job No.:
BASE	

SHEET
A3
A3 of A4 sheets

ELEVATION DATUM = NAVD88
ORIGINAL DRAWING SIZE 24" X 36"

ZIA CROSSING SUBDIVISION PHASE II, UNIT 7 = 97 LOTS & PARK

TOTAL ACREAGE = 25.73 AC.

N1/4 CORNER SECTION 13
FOUND CONCRETE
MONUMENT WITH
BRASS DISK

PRELIMINARY

BLACK GOLDESTATES, LLC

GREY GHOST ROAD

UNIT 6

S 89°28'22" W 745.35'

ZIAPARK LLC

KING KELLY ROAD

BIG CY ROAD

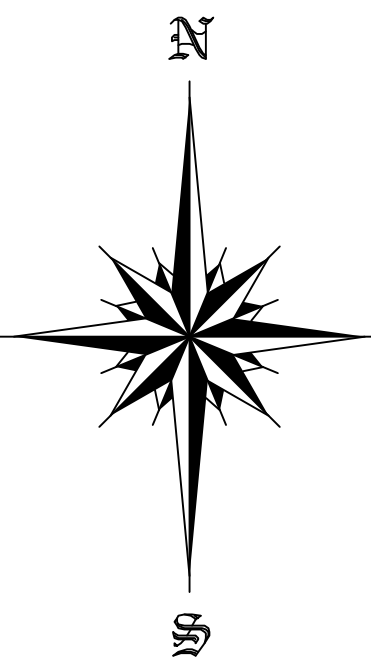
MIGHTY ATOM ROAD

THE COUNT ROAD

PARK
1.83 ACRES

MUNICIPAL INFRASTRUCTURE CORRIDOR

TIE TO
1/4 CORNER SECTION 13
FOUND CONCRETE
MONUMENT WITH
BRASS DISK

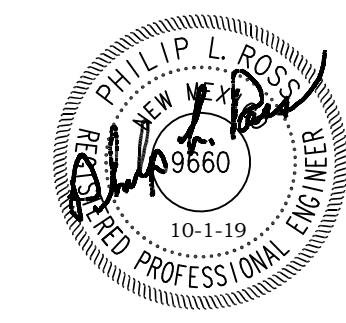
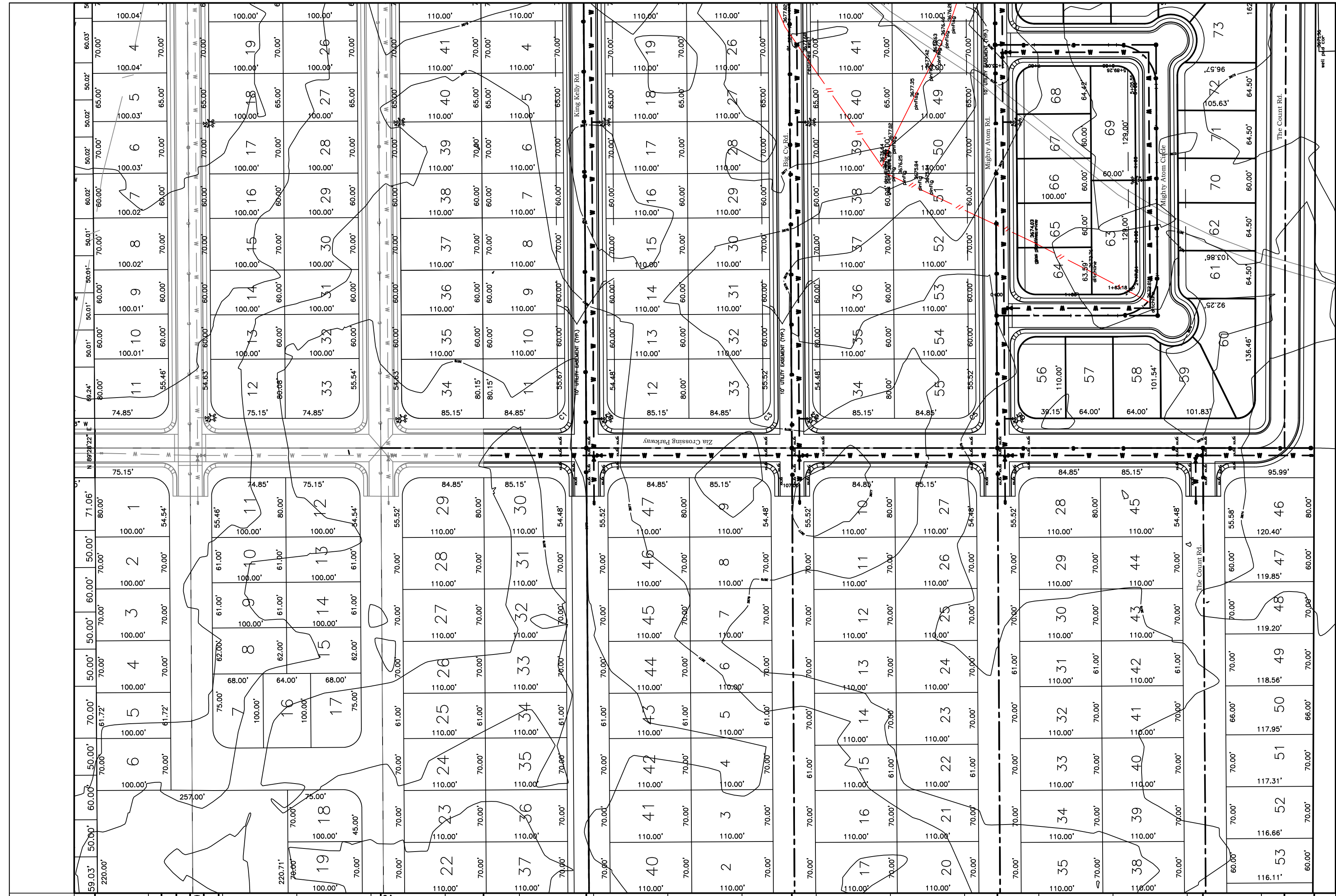


CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	39.42'	25.00'	90°20'55"	N 45°21'11" W	35.46'
C2	39.12'	25.00'	89°39'05"	N 44°38'49" E	35.25'
C3	39.42'	25.00'	90°20'55"	S 45°21'11" E	35.46'
C4	39.12'	25.00'	89°39'05"	S 44°38'49" W	35.25'
C5	39.42'	25.00'	90°20'55"	N 45°21'11" W	35.46'
C6	39.12'	25.00'	89°39'05"	N 44°38'49" E	35.25'
C7	39.42'	25.00'	90°20'55"	N 45°21'11" W	35.46'
C8	39.12'	25.00'	89°39'05"	N 44°38'49" E	35.25'
C9	471.96'	300.00'	90°08'15"	S 44°24'14" W	424.77'
C10	39.33'	25.00'	90°08'15"	N 44°24'14" E	35.40'
C11	39.21'	25.00'	89°51'45"	S 45°35'46" E	35.31'
C12	39.33'	25.00'	90°08'15"	N 44°24'14" E	35.40'
C13	39.21'	25.00'	89°51'45"	N 45°35'46" W	35.31'
C14	39.33'	25.00'	90°08'15"	N 44°24'14" E	35.40'
C15	44.82'	25.00'	102°43'11"	N 39°10'03" W	39.05'
C16	29.20'	300.00'	5°34'40"	N 86°41'02" E	29.19'
C17	259.66'	300.00'	49°35'28"	N 59°05'58" E	251.63'
C18	68.38'	300.00'	13°03'36"	N 27°46'26" E	68.23'
C19	62.51'	300.00'	11°56'20"	N 15°16'28" E	62.40'
C20	52.20'	300.00'	9°58'11"	N 04°19'12" E	52.14'
C21	26.97'	243.00'	6°07'24"	N 86°24'40" E	25.96'
C22	129.61'	243.00'	30°33'34"	N 85°04'11" E	128.08'
C23	141.42'	243.00'	33°20'42"	N 36°07'03" E	139.43'
C24	30.76'	243.00'	7°15'09"	N 15°49'07" E	30.74'
C25	327.76'	243.00'	77°16'49"	N 50°49'57" E	303.47'

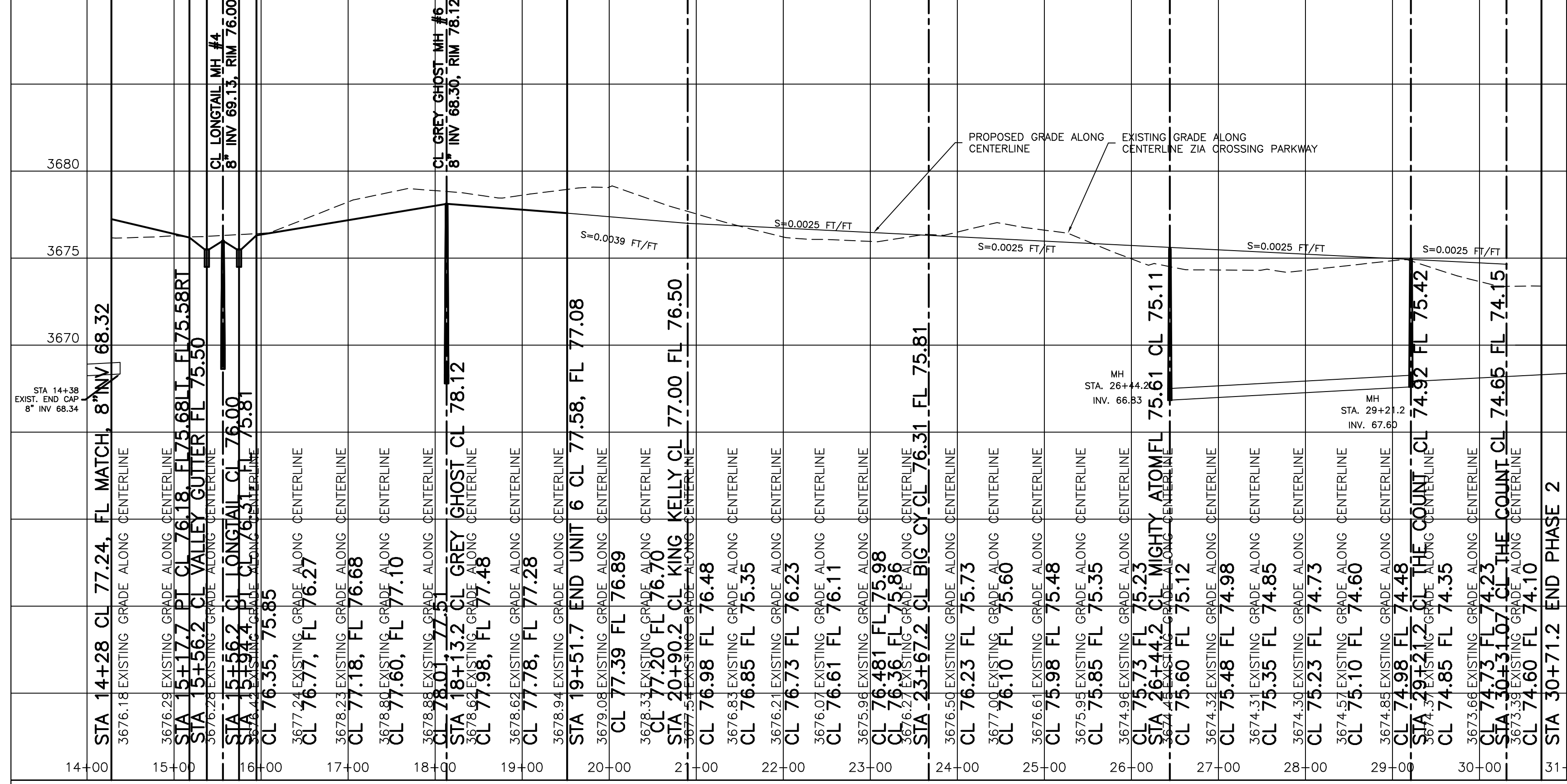
- ZIA CROSSING PARKWAY = 80' ROW
- KING KELLY ROAD = 57' ROW
- GREY GHOST ROAD = 57' ROW
- BACKSTRETCH ROAD = 57' ROW
- BIG CY ROAD = 57' ROW
- MIGHTY ATOM ROAD = 57' ROW
- THE COUNT ROAD = 57' ROW

FOUR CORNERS SURVEYING, INC.
21150 COUNTY ROAD U, FORTÉZ, CO 81321
970-882-424

DRAWN	DATE	ZIA CROSSING SUBDIVISION
RAB	6/06/19	PHASE II UNIT 7
APPROVED	DATE	CITY OF HONOLULU, NEW MEXICO
SCALE	SHEET	PROJECT NO.
1" = 60'	2 OF 2	925UNIT7SHT2



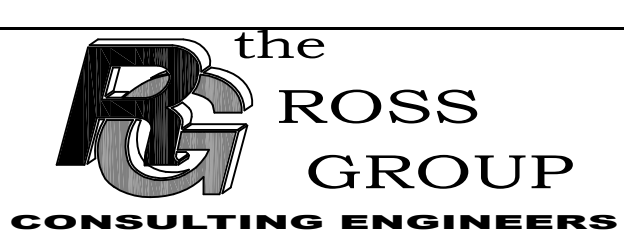
NOTE:
 1. ALL MANHOLE RIM ELEVATIONS SHOWN ARE APPROXIMATE, MATCH FINISHED GRADE.
 2. CONTOURS SHOWN ARE ONE FOOT CONTOURS BASED UPON EXISTING SURVEY PERFORMED BY FOUR CORNERS SURVEYING, INC. PRIOR TO UNIT 1 CONSTRUCTION.



NO.	REVISIONS	BY	DATE	DES
				DRN
				CHK
				APPD

DATE
9/23/2019

SCALE
H: 1" = 100'
V: 1" = 5'

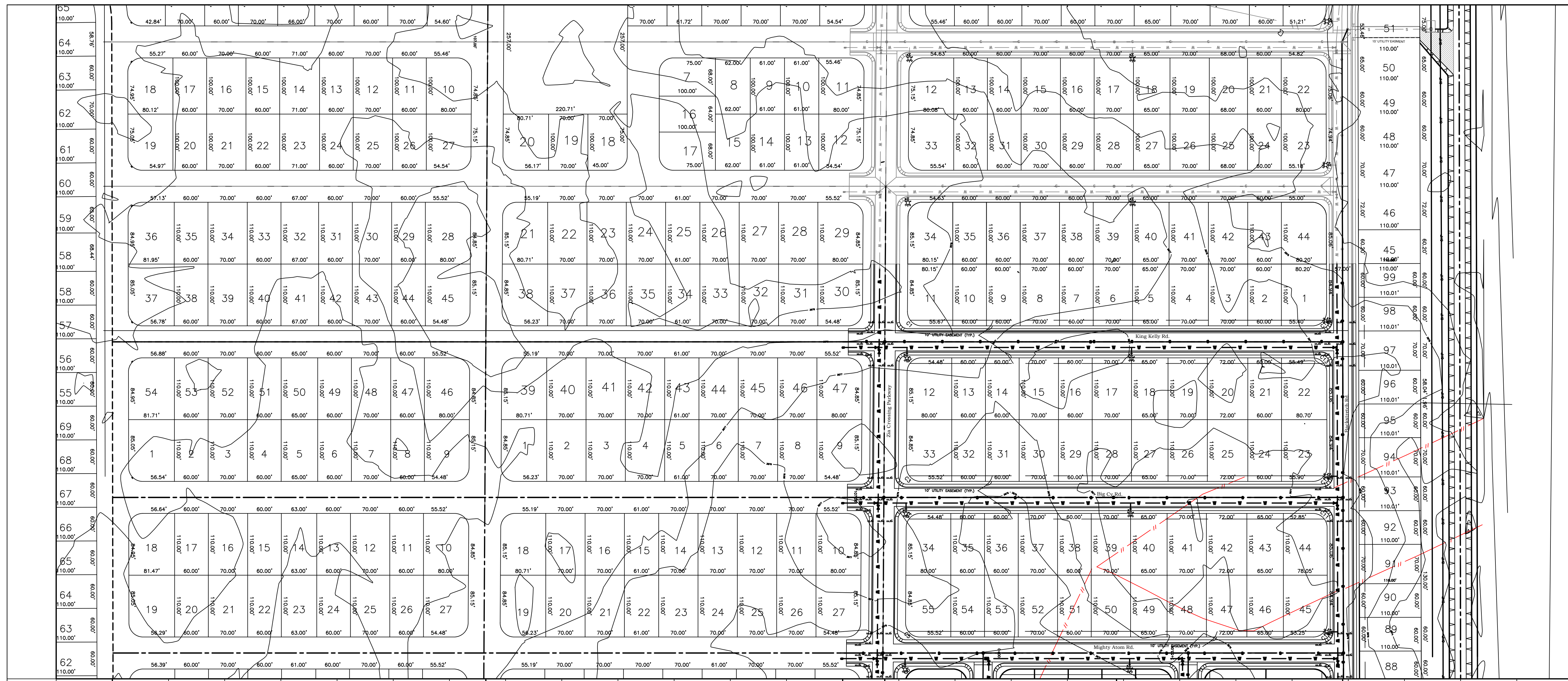


410 N. Dal Paso
 Hobbs, New Mexico 88240
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 Fax (575) 392-9114

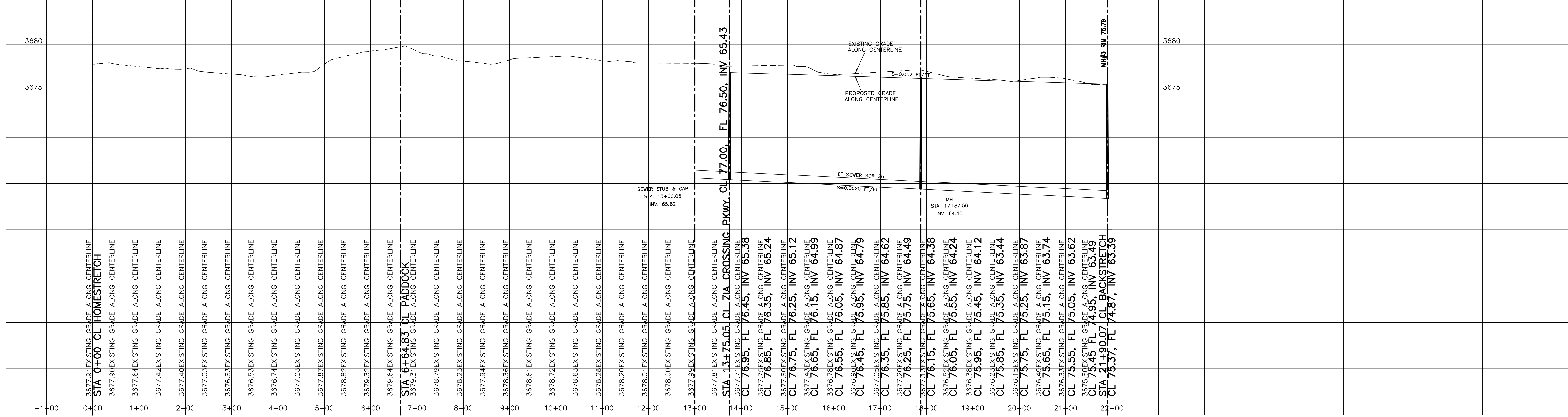
ZIA CROSSING SUBDIVISION
 UNIT 7

ZIA CROSSING PARKWAY PLAN & PROFILE
 STA 14+00 TO STA 30+71

SHEET
 B1
 OF
 B7



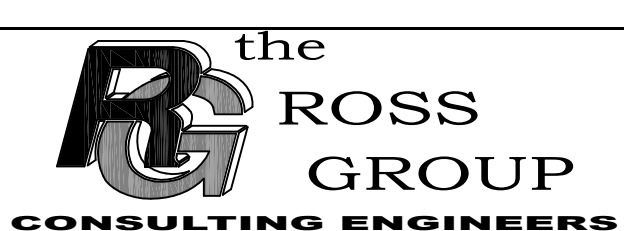
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NO.	REVISIONS	BY	DATE	DES
				DRN
				CHK
				APPD

DATE
6/13/2019

SCALE
H: 1" = 100'
V: 1" = 5'



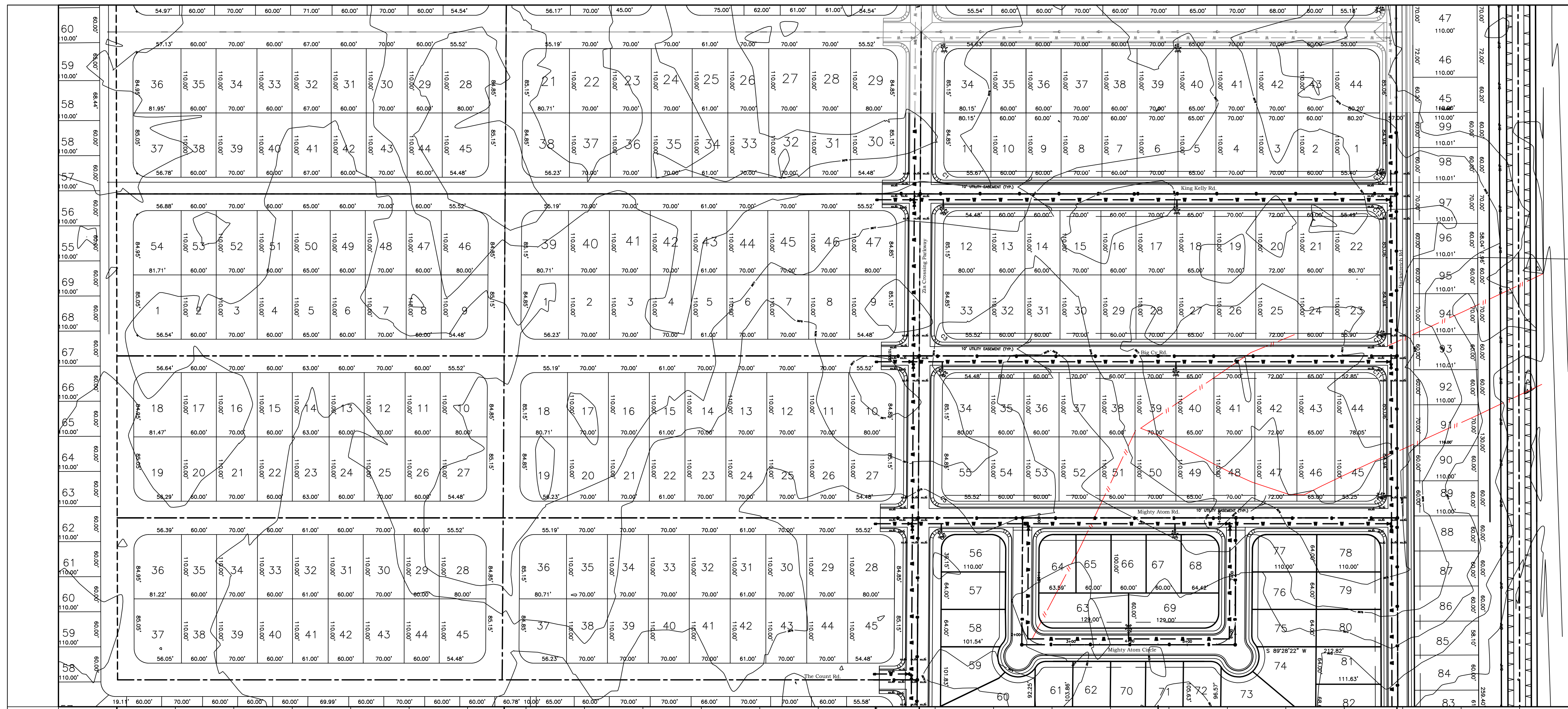
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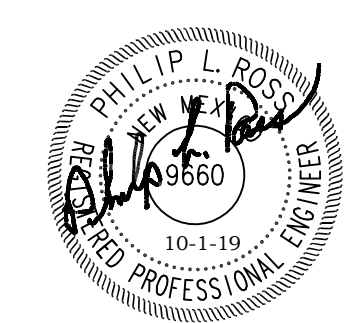
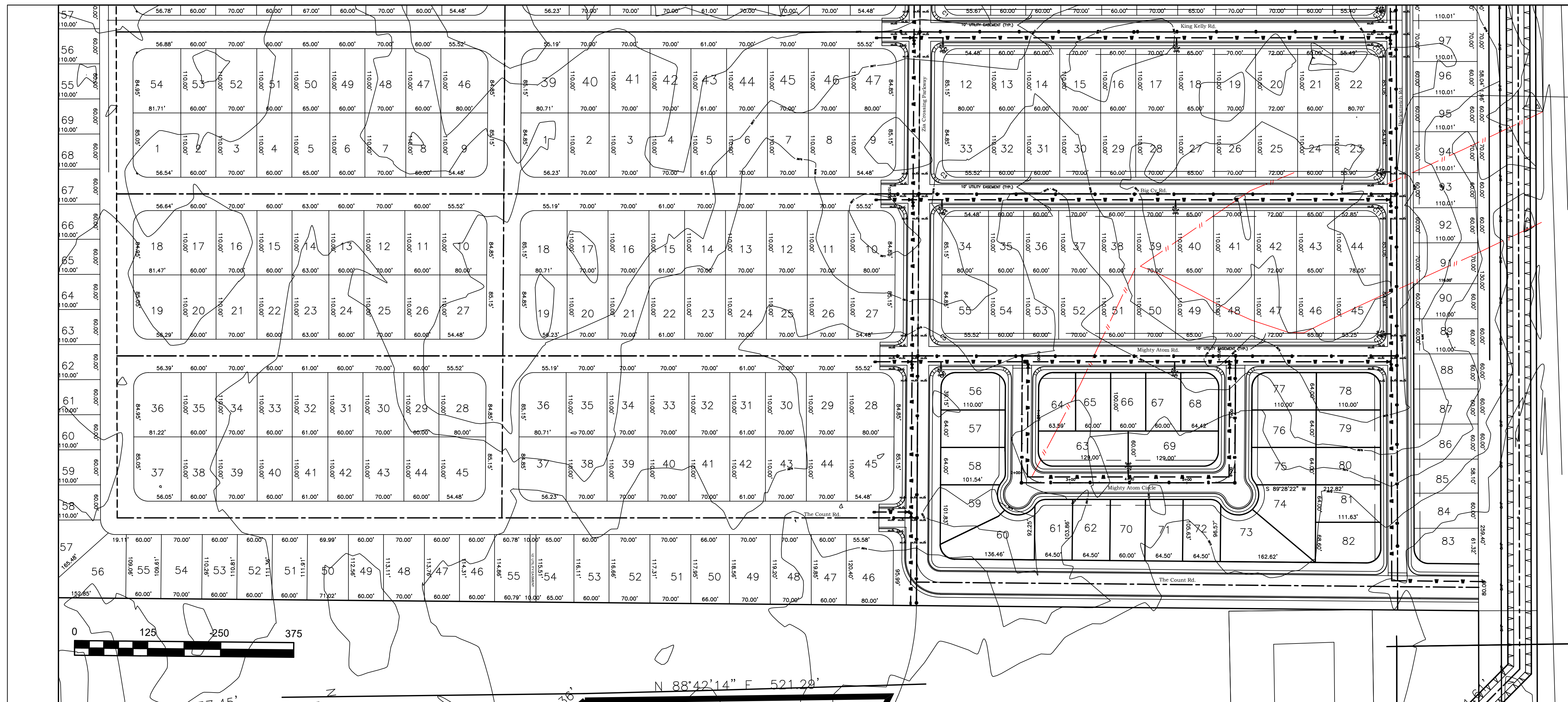
ZIA CROSSING SUBDIVISION
 UNIT 7

KING KELLY ROAD PLAN & PROFILE
 STA 0+00 TO STA 21+90.07

SHEET
 B2
 OF
 B7

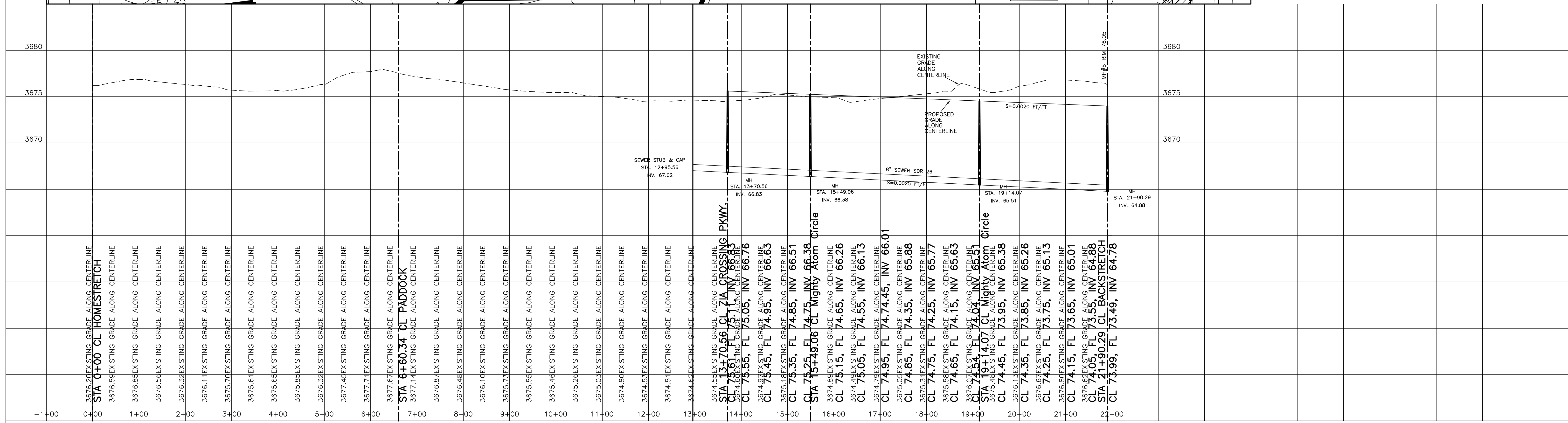
ORIGINAL DRAWING 24" X 36"





STA 0+00 MIGHTY ATOM CIRCLE = STA 15+49.06 MIGHTY ATOM ROAD
 STA 7+53.09 MIGHTY ATOM CIRCLE - STA 19+14.07 MIGHTY ATOM ROAD

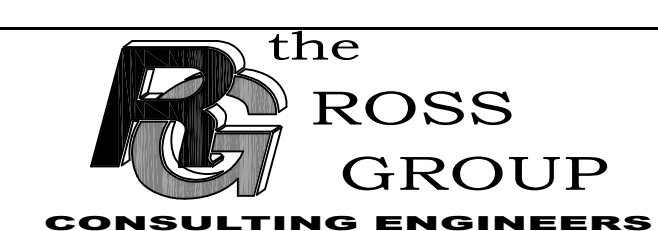
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DATE
9/23/19

SCALE
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V: 1" = 5'



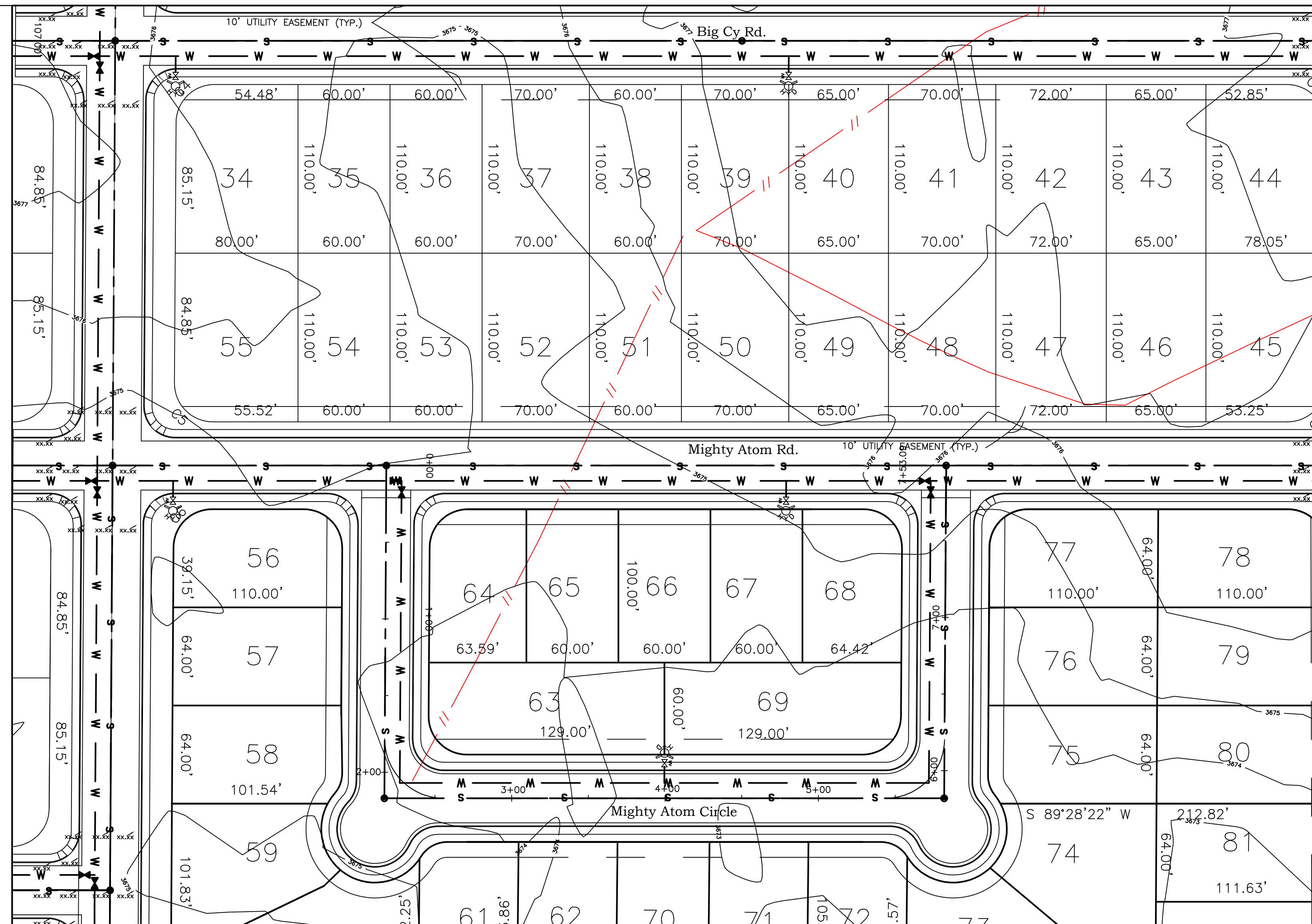
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ZIA CROSSING SUBDIVISION
 UNIT 7

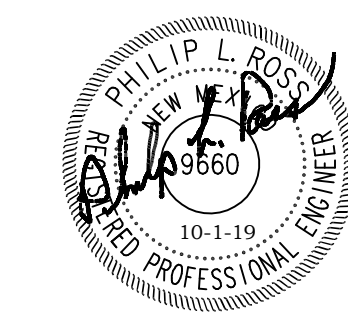
MIGHTY ATOM ROAD PLAN & PROFILE
 STA 0+00 TO STA 21+90.29

SHEET
B4
OF
B7

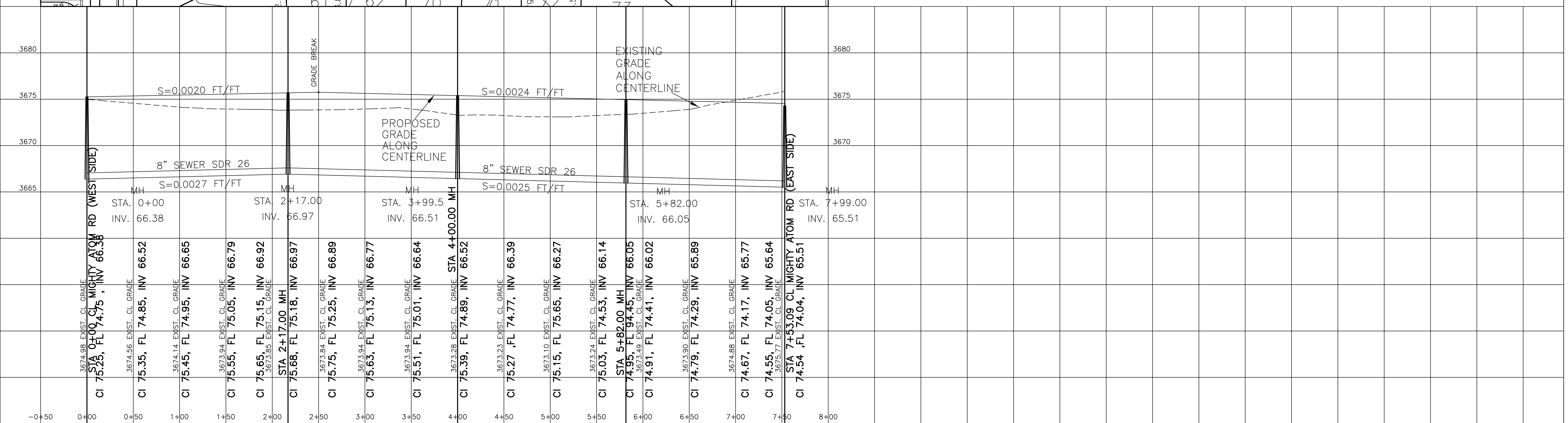
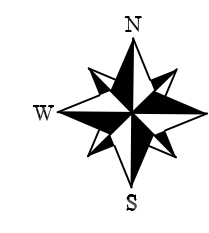
ORIGINAL DRAWING 24" X 36"



STA 0+00 MIGHTY ATOM CIRCLE = STA 15+49.06 MIGHTY ATOM ROAD
 STA 7+53.09 MIGHTY ATOM CIRCLE - STA 19+14.07 MIGHTY ATOM ROAD



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NO.	REVISIONS	BY	DATE	DES	DATE
				DRN	6/23/15
				CHK	
				APPD	

SCALE
 H: 1" = 50'
 V: 1" = 5'



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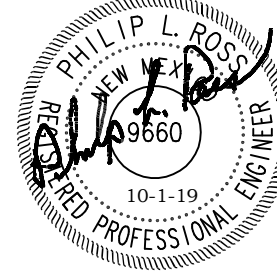
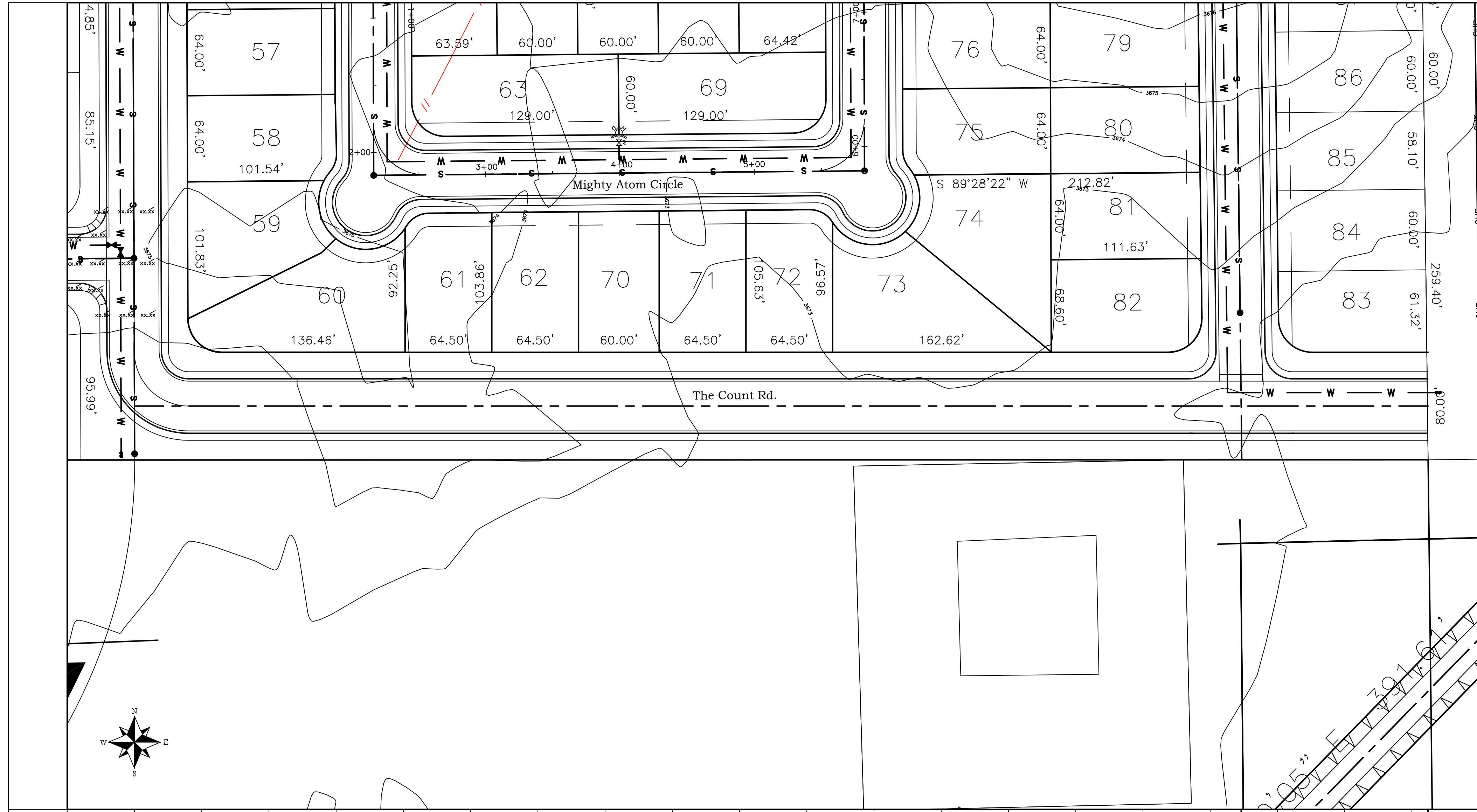
ZIA CROSSING SUBDIVISION
 UNIT 7

MIGHTY ATOM CIRCLE PLAN & PROFILE
 STA 0+00 TO STA 7+53.09

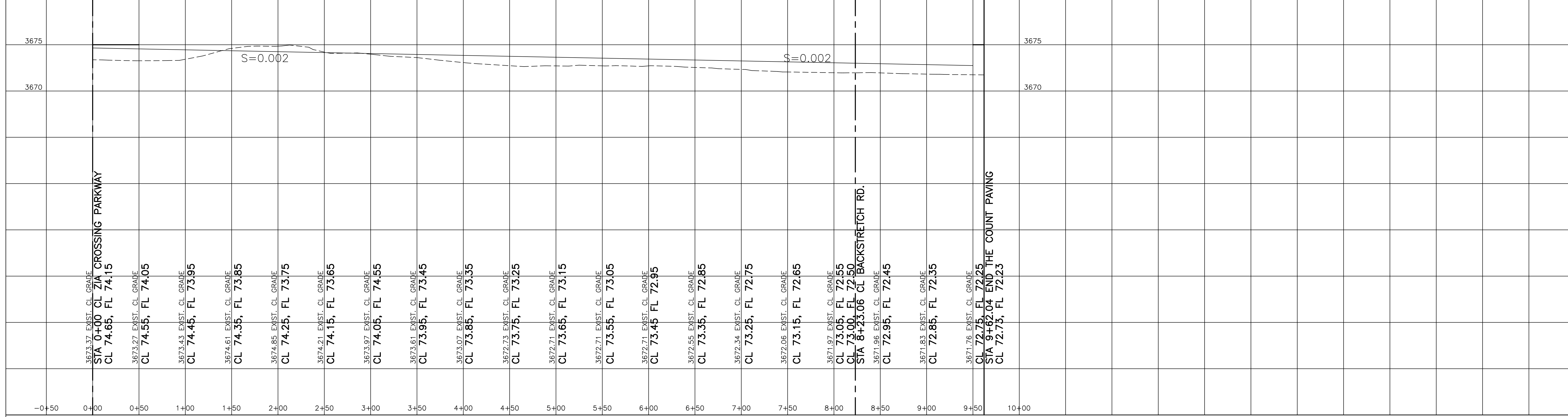
SHEET
 B5
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ORIGINAL DRAWING 24" X 36"

CLFLIN



NOTE:
 1. ALL MANHOLE RIM ELEVATIONS SHOWN ARE APPROXIMATE, MATCH FINISHED GRADE.
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NO.	REVISIONS	BY	DATE	DES
				DRN
				CHK
				APPD

DATE
6/23/15

SCALE
H: 1" = 50'
V: 1" = 5'

the ROSS GROUP
 CONSULTING ENGINEERS

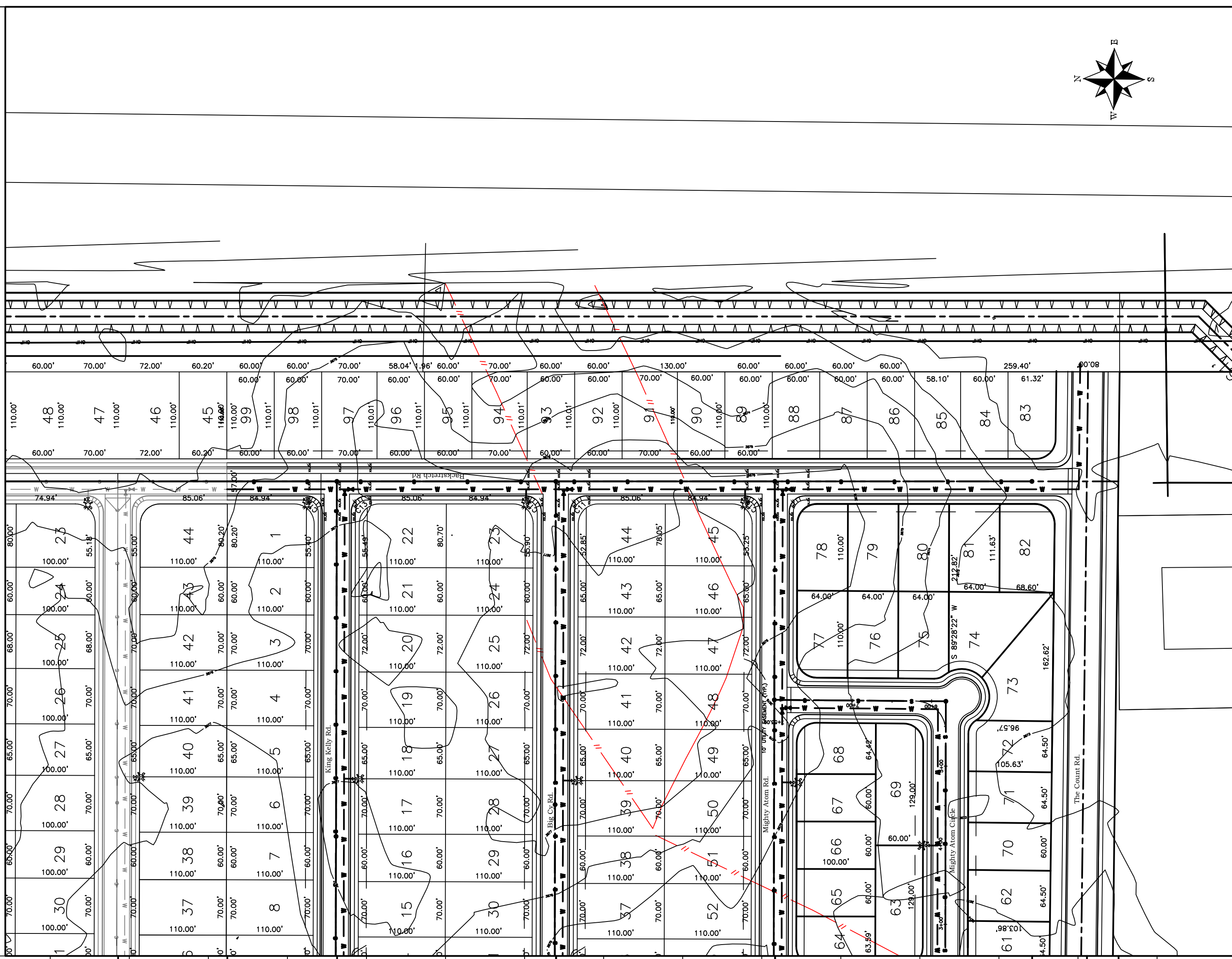
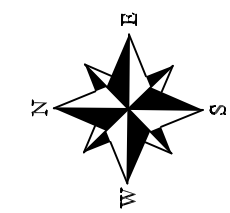
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ZIA CROSSING SUBDIVISION
 UNIT 7

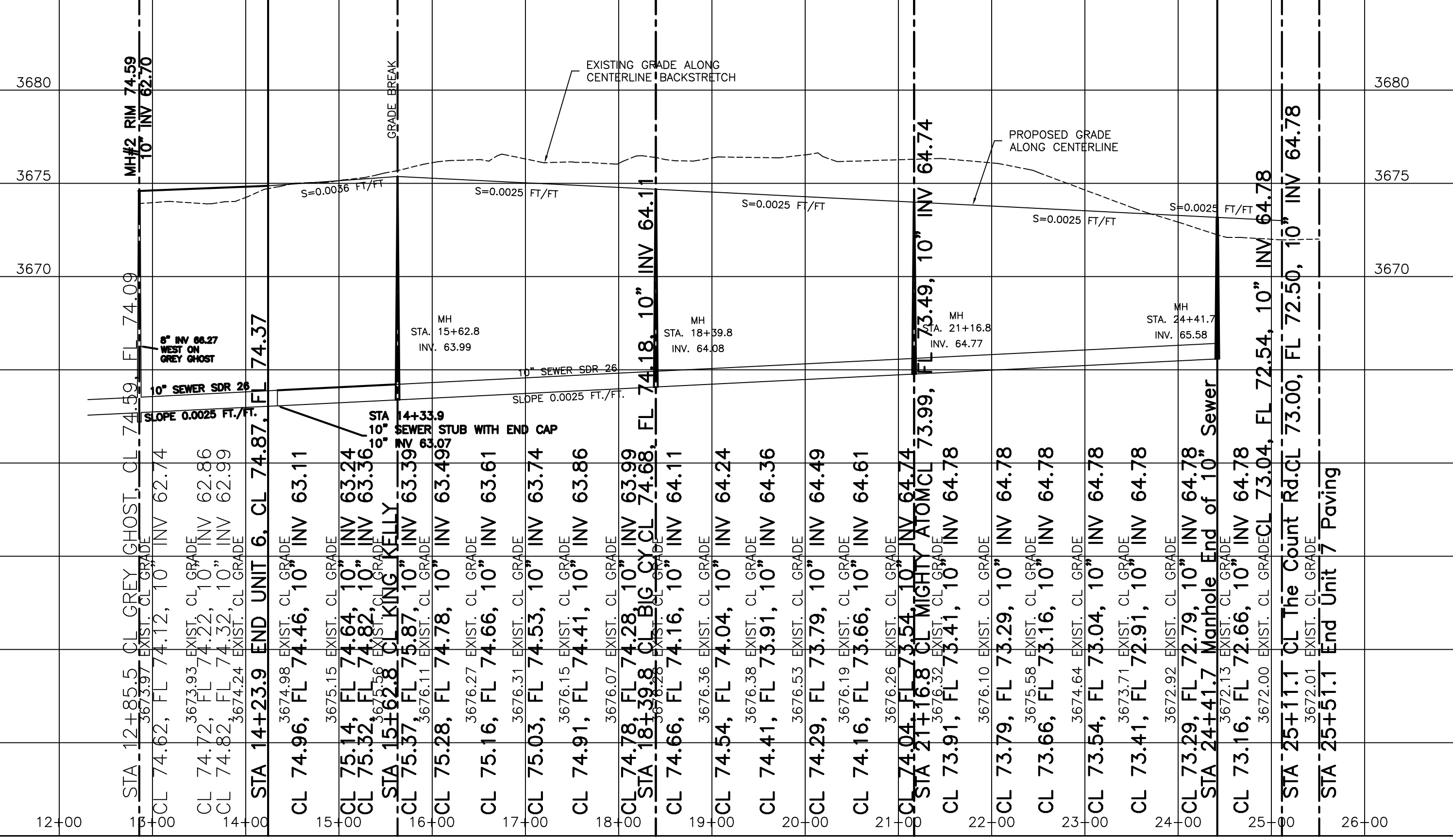
THE COUNT PLAN & PROFILE
 STA 0+00 TO STA 9+62.04

SHEET
 B6
 OF
 B7

ORIGINAL DRAWING 24" X 36"



NOTE:
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NO.	REVISIONS	BY	DATE	DES
				DRN
				CHK
				APPD

DATE
9/23/2019

SCALE
H: 1" = 100'
V: 1" = 5'



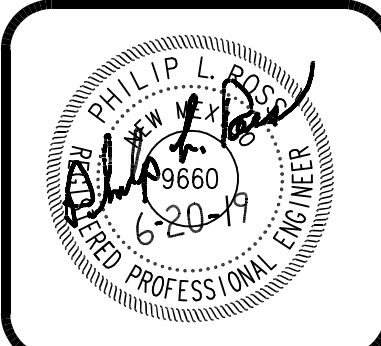
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ZIA CROSSING SUBDIVISION
 UNIT 7

BACKSTRETCH PLAN & PROFILE
 Longtail Road to the Count Road

SHEET
 B7
 OF
 B7

ORIGINAL DRAWING 24" X 36"



GENERAL NOTES:

- ALL TRENCHING SHALL BE IN ACCORDANCE WITH THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2008 10.0 SECTION 701 UNLESS OTHERWISE NOTED ON THIS DETAIL.
- OSHA REQUIREMENTS HAVE NOT BEEN INCORPORATED INTO THIS DETAIL. CONTRACTOR SHALL CONFORM TO TRENCH SAFETY REQUIREMENTS ESTABLISHED BY OSHA.
- BOTTOM OF TRENCH IS TO BE EXCAVATED TO A SMOOTH, UNIFORM GRADE TO SECURE AN EVEN BEARING SURFACE FOR THE PIPE. IF THE TRENCH IS OVER EXCAVATED, THE FOUNDATION SHALL BE COMPACTED TO 90% MODIFIED PROCTOR PER ASTM D-1587.
- ONCE BEDDING THICKNESS HAS BEEN ESTABLISHED, THE THICKNESS SHALL NOT VARY MORE THAN 2" BETWEEN MANHOLES.
- ALL NEW MATERIALS SHALL COMPLY WITH CITY OF HOBBS REQUIREMENTS AND BE NEW, UNUSED, AND OF THE BEST QUALITY AVAILABLE.
- DO NOT LAY OR EMBED PIPE IN STANDING OR RUNNING WATER. AT ALL TIMES PREVENT RUNOFF AND SURFACE WATER FROM ENTERING THE TRENCH. PROVIDE DAMS, CUT-OFFS OR OTHER BARRIERS PERIODICALLY ALONG THE INSTALLATION TO PRECLUDE TRANSPORT OF MATERIALS ALONG THE TRENCH BOTTOM. BACKFILL ALL TRENCHES AFTER THE PIPE IS INSTALLED TO PREVENT DISTURBANCE OF PIPE AND EMBEDMENT.
- THE CONTRACTOR SHALL SCHEDULE FOR INSPECTION PRIOR TO INSTALLING PIPE AND PLACING ANY EMBEDMENT AND BACKFILL MATERIALS.
- MINIMUM PAVEMENT AND BASE COURSE THICKNESS ARE SHOWN ON THIS DETAIL. THE CONTRACTOR SHALL MATCH THE EXISTING PAVEMENT SECTION IF IT IS GREATER THAN SHOWN ON THIS DETAIL.

TYPICAL TRENCH AND BACKFILL DETAIL

DESIGN STD. NO. 100.00
SCALE: NTS
DATE: 3/20/12
REVISIONS:
CITY OF HOBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS
DRAWN BY: ZB APPROVED BY: TTR

Meter Box to be located entirely in City Right-of-way.

GENERAL NOTES:

- THE VALVE AND METER REGISTER BOX SHALL BE LOCATED UNDER THE LID OPENING. WHERE TWO METERS ARE TO BE INSTALLED IN A SINGLE METER BOX, THE METER REGISTER SHALL BE WITHIN READING RANGE OF THE LID OPENING.
- THE METER BOX SHALL NOT BE LOCATED WITHIN DRIVEWAYS, SIDEWALKS OR ON PRIVATE PROPERTY UNLESS WITHIN A UTILITY EASEMENT. METER BOX SHALL BE LOCATED AWAY FROM VEHICULAR OR PEDESTRIAN ACCESSIBLE OR PATHWAYS.
- IF CONCRETE ENCASED, THE TOP OF THE METER BOX SHALL BE FLUSH WITH TOP OF CONCRETE. OTHERWISE THE TOP OF THE METER BOX SHALL BE 1" ABOVE FINISH GRADE.

① TAPPING SADDLE (SMITH BEAR 317 DOUBLE BALL WITH 1" CC OUTLET OR APPROVED EQUAL)
② BRONZE CORPORATION STOP (MUELLER H-15008 OR APPROVED EQUAL) 1" CC NUT AND 1" CTS INSTA-TITE
③ 1" CTS - SOX POLYETHYLENE PIPE REQUIRED (NUSEX BRAND OR EQUAL)
④ 1" FORD INSTA-TIGHT X MP FITTING (CS-44-44-NL)
⑤ 1" CURB STOP (FORD) 1" FIP X METER NUT (B13-4449-NL)
⑥ 1" FORD COPPER RESETER (V844-79-NL)
⑦ 1" X 3/4" METER ADAPTOR (FORD)
⑧ 5/8" X 3/4" METER TYP. (PROV. AND INSTALLED BY CITY OF HOBBS)
⑨ 1" X 3/4" METER ADAPTOR (FORD)
⑩ 1" CHECK VALVE (FORD H531-444-NL OR EQUAL) METER NUT X FIP
⑪ PLASTIC METER BOX COVER, REFER TO DESIGN STANDARD NO. 103.00
⑫ WARNING TAPE
⑬ STREET SURFACE

1" LATERAL INSTALLATION

DESIGN STD. NO. 100.01
SCALE: NTS
DATE: 3/20/12
REVISIONS:
CITY OF HOBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS
DRAWN BY: AH APPROVED BY: TTR

GENERAL NOTES:

- 3/4" CHECK VALVE (PROV. AND INSTALLED BY BUILDING PLUMBER)
- 5/8" X 3/4" METER (PROV. AND INSTALLED BY CITY OF HOBBS)
- 3/4" X 1/2" METER BUSHING
- 1" FORD BALL VALVE OR MUELLER ANGLE METER STOP (ALT. METHOD ONLY)
- 1" MUELLER INSTA-TIGHT FITTING 1" X 3/4" ADAPTOR
- PVC METER BOX (WESTERN IRON WORKS) & BLUE PLASTIC COVER (EAST JORDAN IRON WORKS)

5/8" X 3/4" METERS

① CHECK VALVE (PROV. AND INSTALLED BY BUILDING PLUMBER)
② 1" METER (PROV. AND INSTALLED BY CITY OF HOBBS)
③ 1" METER BRID
④ 1" FORD BALL VALVE OR MUELLER ANGLE METER STOP (ALT. METHOD ONLY)
⑤ 1" MUELLER INSTA-TIGHT FITTING
⑥ PVC METER BOX (WESTERN IRON WORKS) & BLUE PLASTIC COVER (EAST JORDAN IRON WORKS)

1" METER

WATER METER DETAILS

DESIGN STD. NO. 100.00
SCALE: NTS
DATE: 5/20/09
REVISIONS:
CITY OF HOBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS
DRAWN BY: ZB APPROVED BY: TTR

Hydrant to be located between Sidewalk & ROW Line

GENERAL NOTES:

- FOLLOWING CITY FIRE HYDRANT STANDARDIZATION PROCEDURE IS THE ONLY FIRE HYDRANT ALLOWABLE FOR INSTALLATION. THE FIRE HYDRANT GUARDIAN K810, 5-1/4" MAIN VALVE.
- VALVE BOX LOCATION TO BE APPROVED BY THE CITY.
- ALL FIRE HYDRANTS SHALL HAVE AT LEAST 2 FEET OF CLEARANCE FROM LANDSCAPING, ROOMWAYS, UTILITY APPLIANCES, AND DRIVEWAYS, AROUND ITS CIRCUMFERENCE.
- LOCATE FIRE HYDRANTS IN PARKWAY BEHIND CURB & CUTTER IF AVAILABLE. OTHERWISE PLACE FIRE HYDRANT AT DIRECTION OF UTILITY DIRECTOR.
- HYDRANTS SHALL BE CONNECTED TO THE MAIN BY A FIBER BONDED, EPOXY COATED MECHANICAL JOINT OR FLANGED SOLE MECHANICAL JOINTS SHALL BE FITTED WITH STRAPPING LUGS.
- BLUE RAISED PAVEMENT REFLECTORS SHALL BE LOCATED IN FRONT OF EACH NEW FIRE HYDRANT ALONG THE CENTER LINE OF THE ROAD.
- THE COLOR OF THE FIRE HYDRANT SHALL BE CHROME YELLOW.

① PUMPER NOZZLE TO BE FACING THE TRAVELED WAY, UNLESS OTHERWISE NOTED ON PLANS.
② VALVE BOX
③ 2" GATE VALVE - LIMITED Model 2010, OR APPROVED EQUAL
④ CONCRETE COLLAR, REFER TO DESIGN STANDARD NO. 120.00
⑤ MJ FITTINGS
⑥ WARNING TAPE
⑦ THRUST BLOTTING
⑧ 2" CURB FEET OF COMPACTED 1/2" GRAVEL AROUND THRUST BLOCK
⑨ 12"x12" (MIN.) CONCRETE BLOTTING
⑩ UNDISTURBED SOIL
⑪ VALVE SUPPORT, REFER TO DESIGN STANDARD NO. 121

FIRE HYDRANT ASSEMBLY - KENNEDY GUARDIAN-K810

DESIGN STD. NO. 110.00
SCALE: NTS
DATE: 5/20/09
REVISIONS:
CITY OF HOBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS
DRAWN BY: ZB APPROVED BY: TTR

GENERAL NOTES:

- VALVE BOX LOCATION TO BE APPROVED BY THE CITY.
- MECHANICAL RESTRAINT JOINT SHALL BE EBAR IRON OR CITY ENGINEER APPROVED EQUAL.
- ALL BACKFILL SHALL BE PLACED IN LIFTS AND COMPACTED TO 90% OF ASTM D-1557 DRY DENSITY.
- IF A VALVE IS REQUIRED FOR THE IMMEDIATE UTILITY EXPANSION OF A WATER SYSTEM, A CITY ENGINEER APPROVED CAP OR PLUG SHALL BE INSTALLED A MIN. OF 10" FROM VALVE.

① COVER MARKED "WATER" AND VALVE BOX RING
② 12" TOOLED RADIUS (TYP.)
③ PAVEMENT TO BE FLUSH WITH CONCRETE COLLAR
④ 12 INCH FOR GRAVEL AND DIRT INSTALLATIONS
⑤ 6 INCH THICK X 24 INCH SQ. 4000 PSI CONCRETE COLLAR W/ 4 REBAR CENTERED EACH WAY
⑥ ADJUSTABLE CAST IRON VALVE BOX BARREL TO BE SLIP TYPE IN TRAFFIC AREAS
⑦ 9" MAX DEPTH FROM FINISHED GRADE SURFACE TO OPERATING NUT. OTHER INSTALLATIONS REQUIRE EXTENSION PIPED TO THE VALVE STEM, AS PER MANUFACTURER'S RECOMMENDATION.
⑧ WARNING TAPE
⑨ VALVE SUPPORT, REFER TO DESIGN STANDARD NO. 121.00
⑩ MJ FITTINGS TYP.
⑪ COMPACTED BACKFILL SOIL TO 90% MODIFIED PROCTOR
⑫ SOLID CONCRETE BRICKS UNDER VALVE BOX (OPTIONAL)
⑬ THE CONTRACTOR SHALL FINISH AND INSTALL PRE-STAMPED SOLID BRASS MARKERS. SOLID BRASS MARKERS SHALL HAVE A 2" SHANK AND 2" COSE HEAD. BEN REARDOONS COMPANY NO. 3-8-10-1322 OR EQUIVALENT. SEE DETAIL THIS SHEET FOR REQUIRED MARKINGS.

TYPICAL WATER VALVE DETAIL

DESIGN STD. NO. 120.00
SCALE: NTS
DATE: 5/20/08
REVISIONS:
CITY OF HOBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS
DRAWN BY: ZB APPROVED BY: TTR

GENERAL NOTES:

- ALL CONCRETE PLACED SHALL BE MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- ALL BACKFILL SHALL BE PLACED IN 6" LIFTS AND COMPACTED TO 90% OF ASTM D-1557 DRY DENSITY.

CONCRETE VALVE SUPPORT DETAIL

DESIGN STD. NO. 121.00
SCALE: NTS
DATE: 5/20/08
REVISIONS:
CITY OF HOBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS
DRAWN BY: ZB APPROVED BY: TTR

CONCRETE BLOCKING DETAILS

DESIGN STD. NO. 120.00
SCALE: NTS
DATE: 5/20/08
REVISIONS:
CITY OF HOBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS
DRAWN BY: ZB APPROVED BY: TTR

2" BLOWOFF ASSEMBLY

DESIGN STD. NO. 131.00
SCALE: NTS
DATE: 5/20/08
REVISIONS:
CITY OF HOBBS ENGINEERING DEPARTMENT
CONSTRUCTION DETAILS & SPECIFICATIONS
DRAWN BY: ZB APPROVED BY: TTR

TRENCH AND BACKFILL GENERAL NOTES:

- CONTRACTOR SHALL OBSERVE ALL CONSTRUCTION SIGNING AND TRAFFIC CONTROL REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- IN PAVED AREAS, NEW ASPHALT CONCRETE SHALL MATCH EXISTING ROADWAY GRADE AND SLOPE.
- RED BLOW SAND MATERIAL WITH 100% PASSING THE #8 SIEVE SHALL BE USED IN THE FLOWABLE CONCRETE BACKFILL.

OPTIONAL TRENCH AND BACKFILL FLOWABLE BACKFILL

NOT TO SCALE

WATREN02

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3						
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ZIA CROSSING UNIT 7

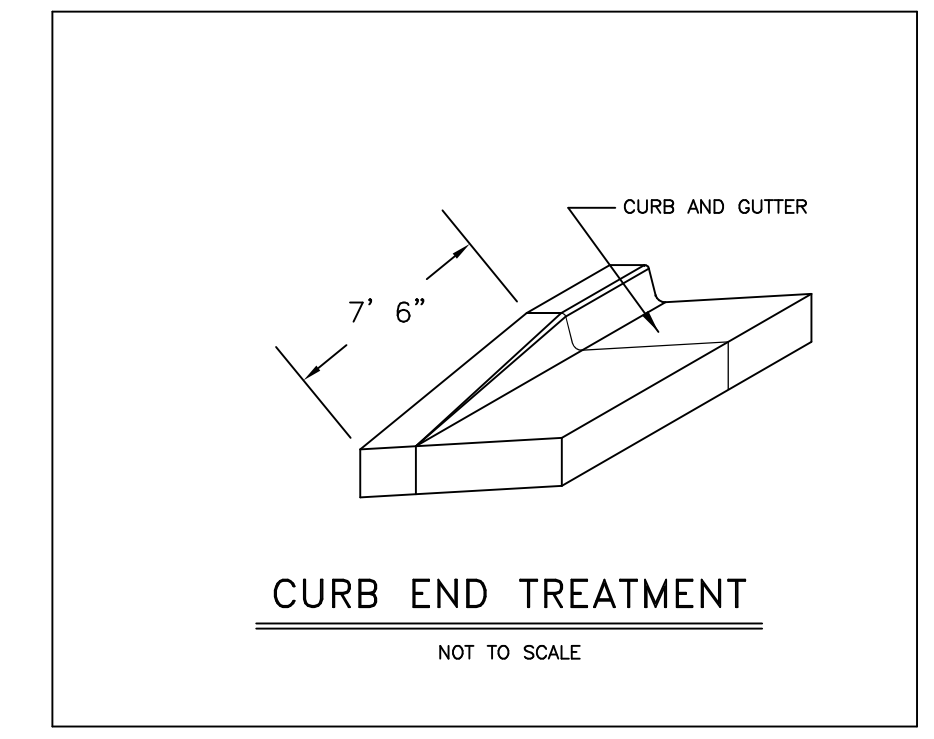
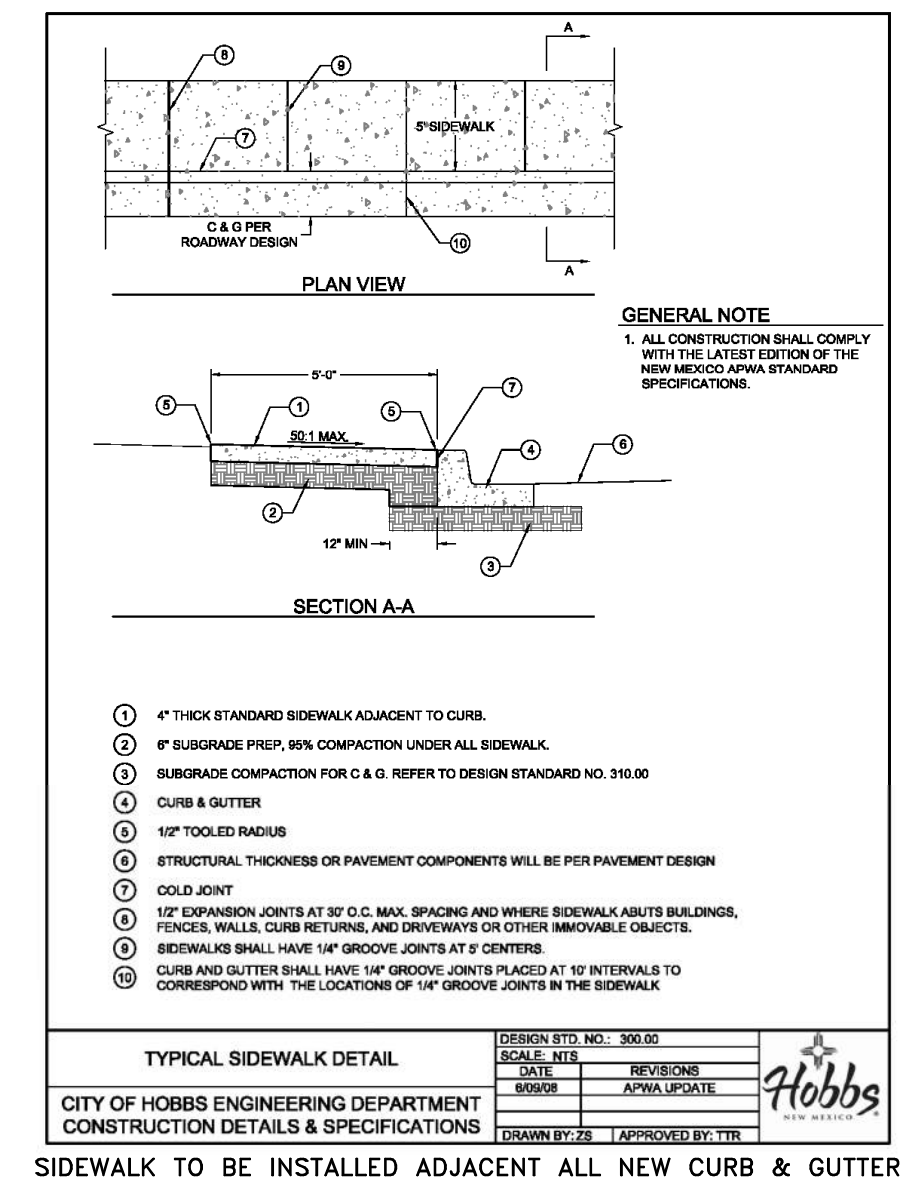
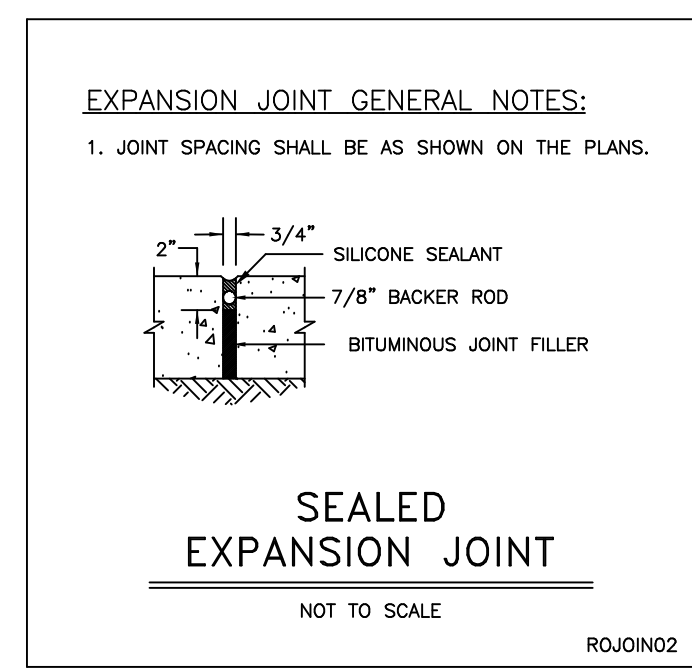
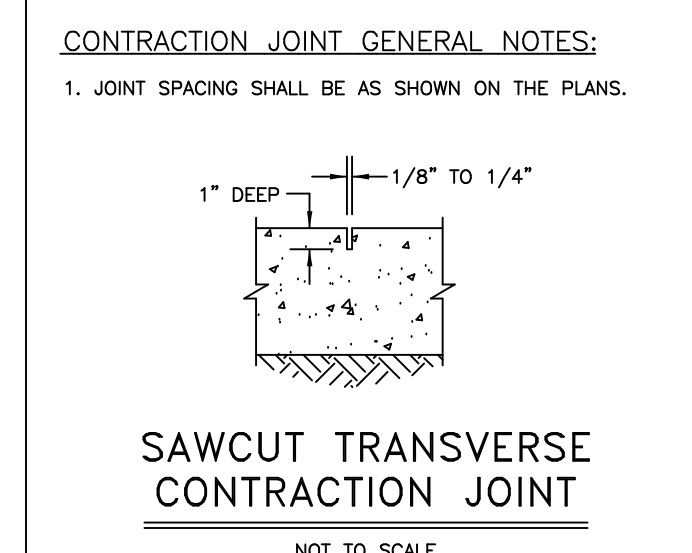
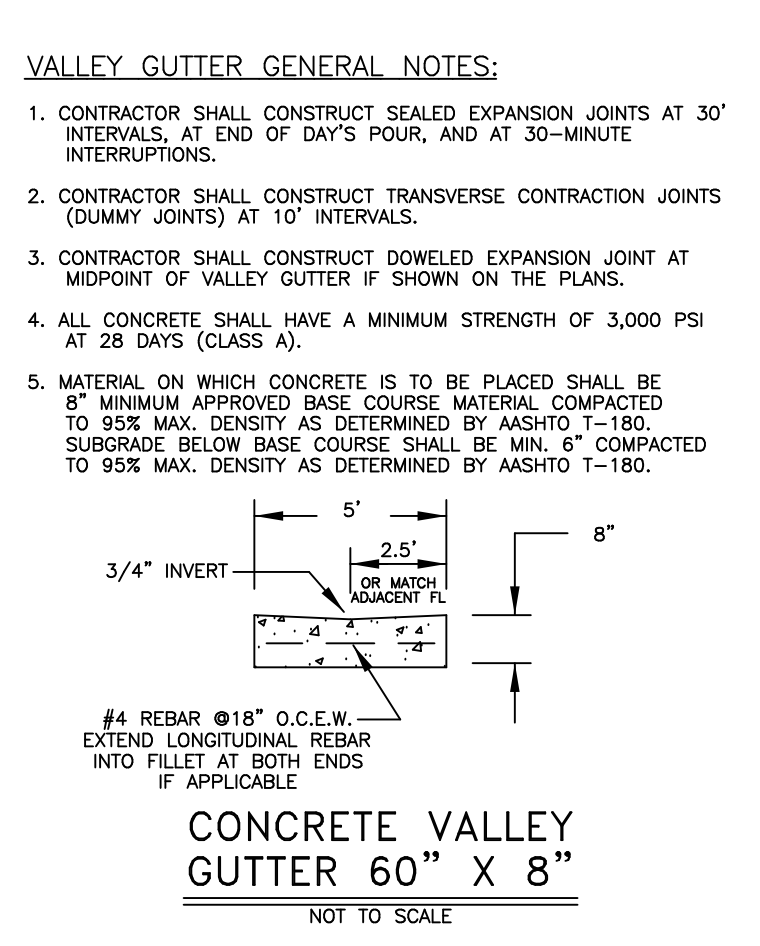
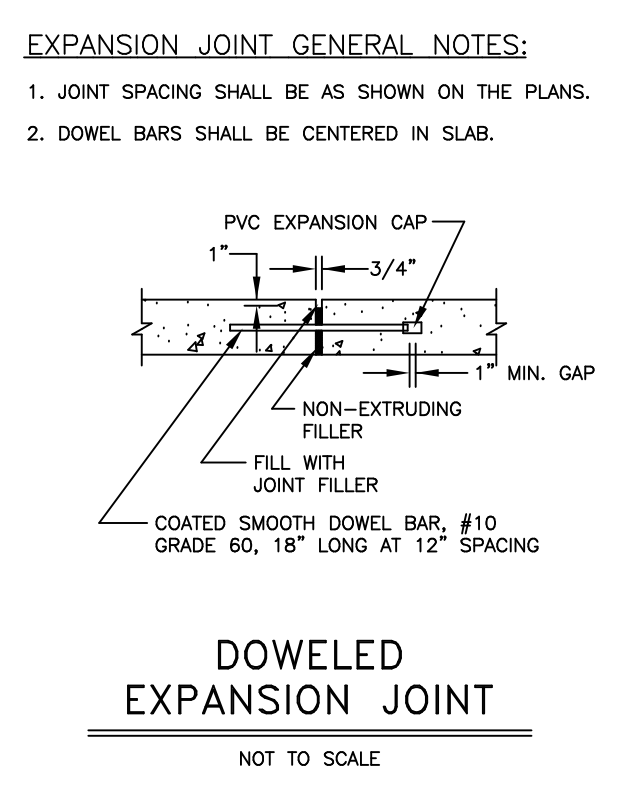
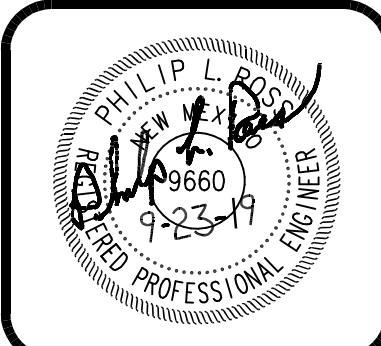
WATER DETAILS

the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBS, NEW MEXICO 88240
(575) 392-7918 TELE.
(575) 392-9114 FAX

Drawn By: Checked by:
SMM PLR
Date: 6/20/19
Disk:
File Name: Job No.:
WATER

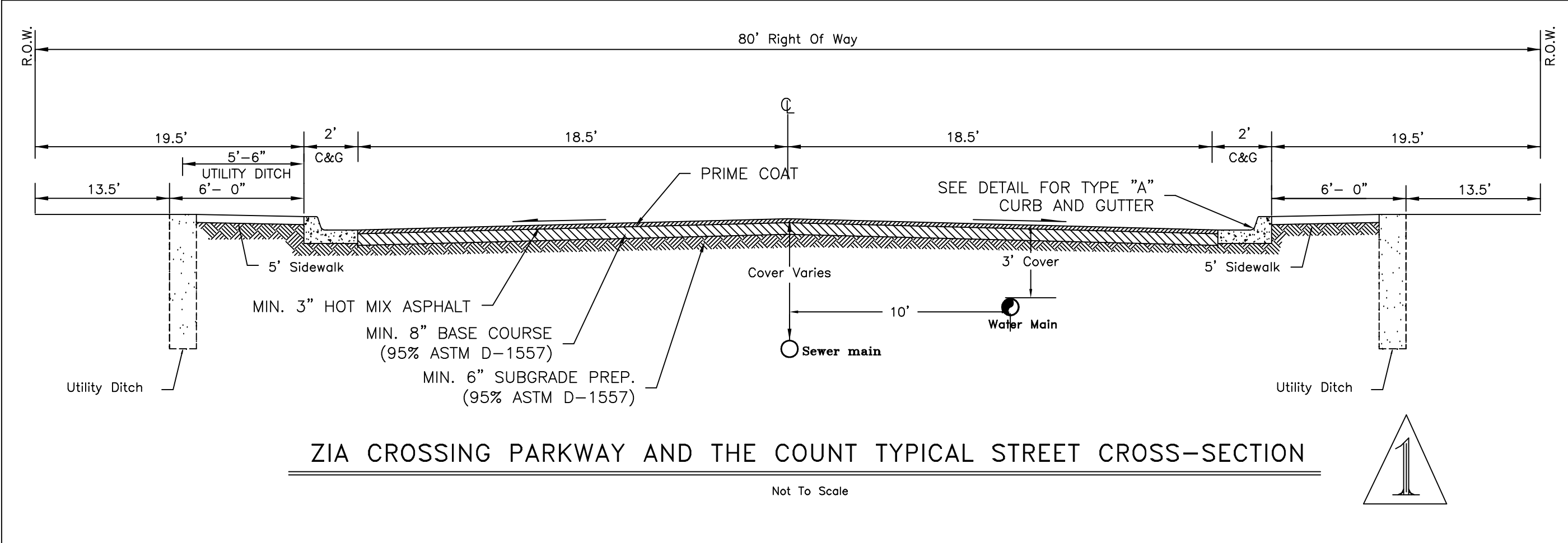
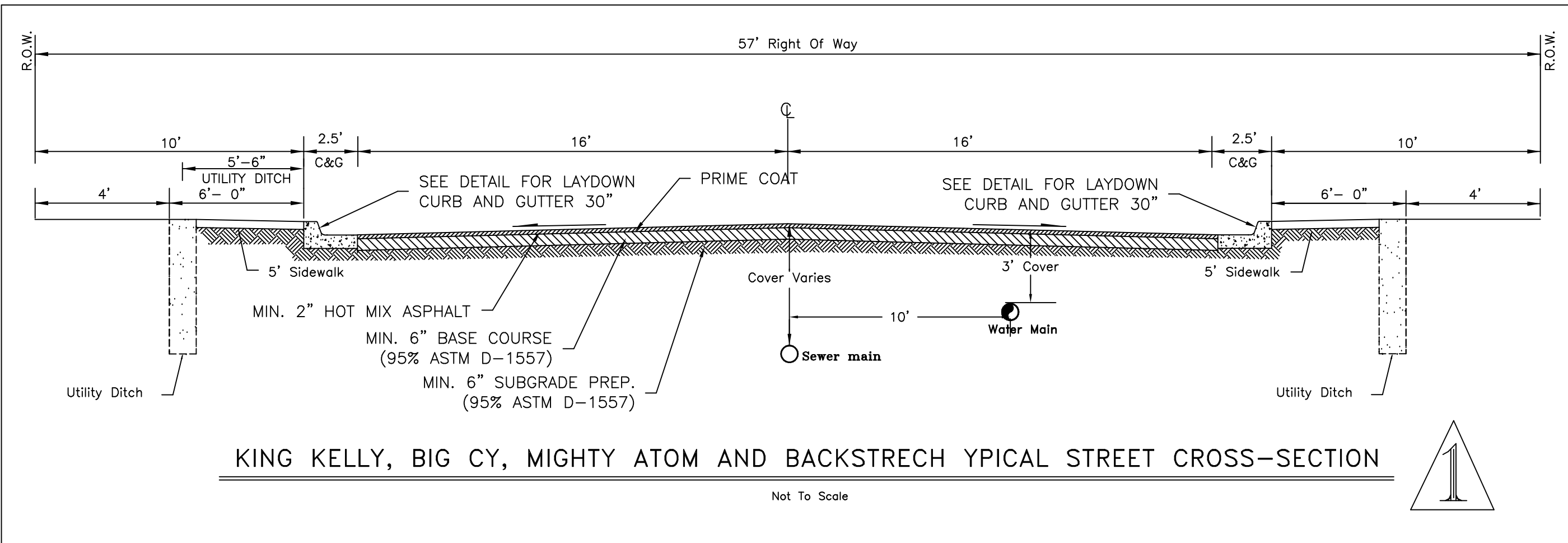
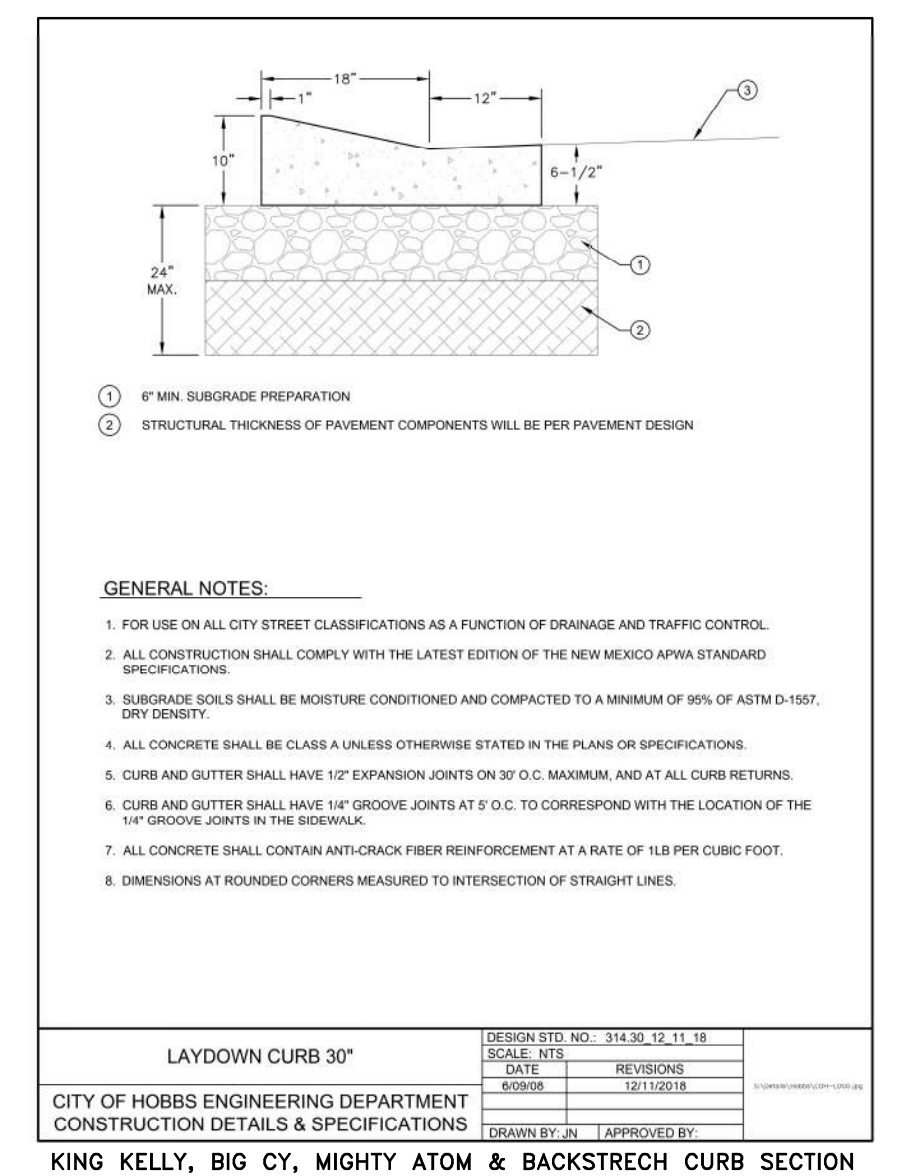
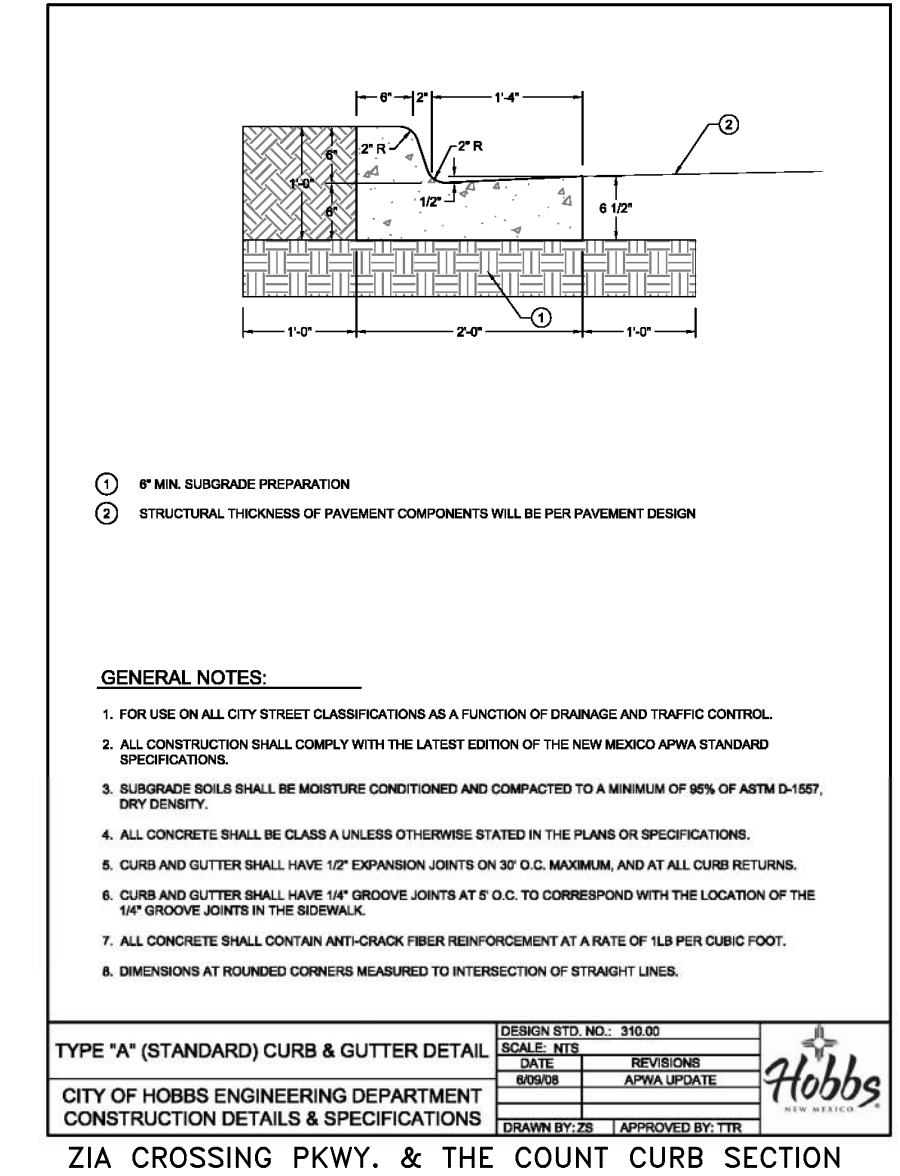
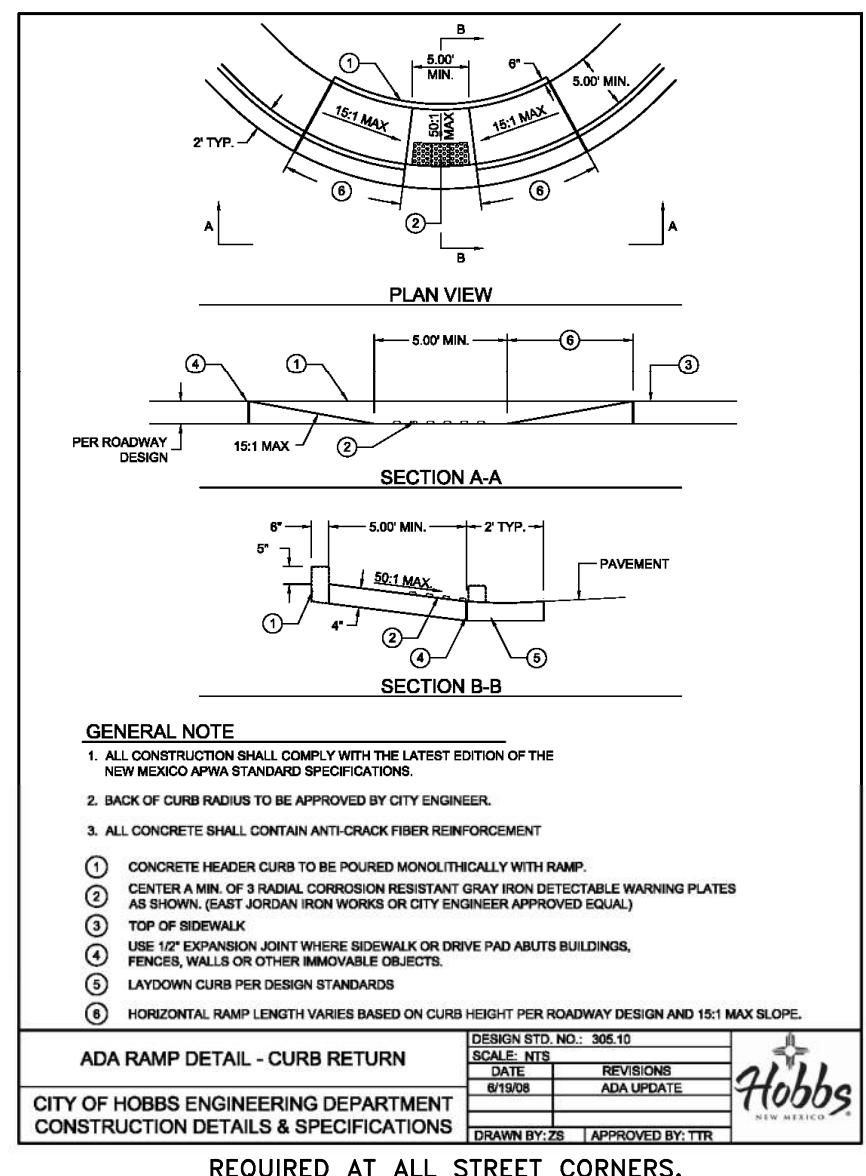
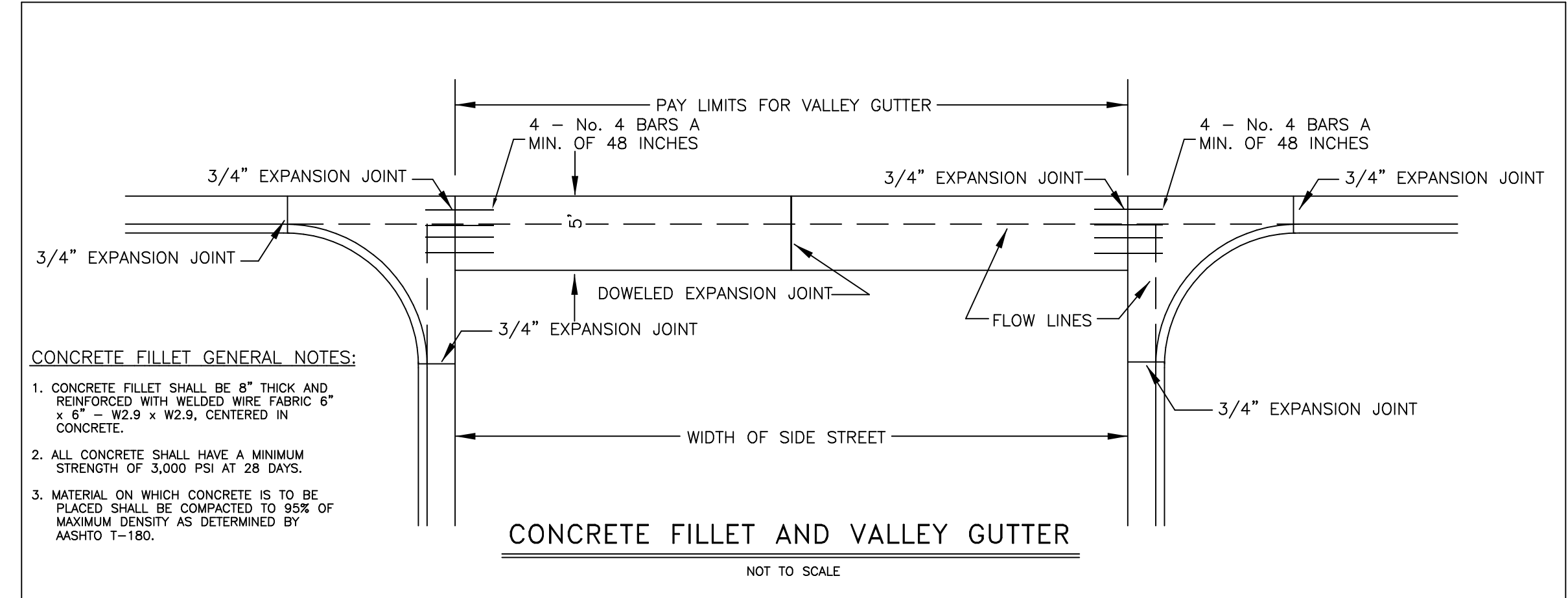
SHEET
W1
W1 of W1 sheets

ORIGINAL DRAWING SIZE 24" X 36"



ROADWAY CONSTRUCTION GENERAL NOTES:

ALL CONCRETE WORK SHALL INCLUDE FIBER REINFORCEMENT. FIBERS SHALL BE VIRGIN POLYPROPYLENE STRANDS (APPROX. 3/4 inches IN LENGTH). ALL CONCRETE SHALL CONTAIN APPROXIMATELY 1.5 LBS. OF FIBER PER CUBIC YARD OF CONCRETE. NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR SUCH WORK AND SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION. FIBER REINFORCEMENT DOES DELETE REQUIREMENT FOR STEEL REINFORCEMENT WHEN REQUIRED BY DETAILS ON THIS SHEET.



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					SMM	PLR
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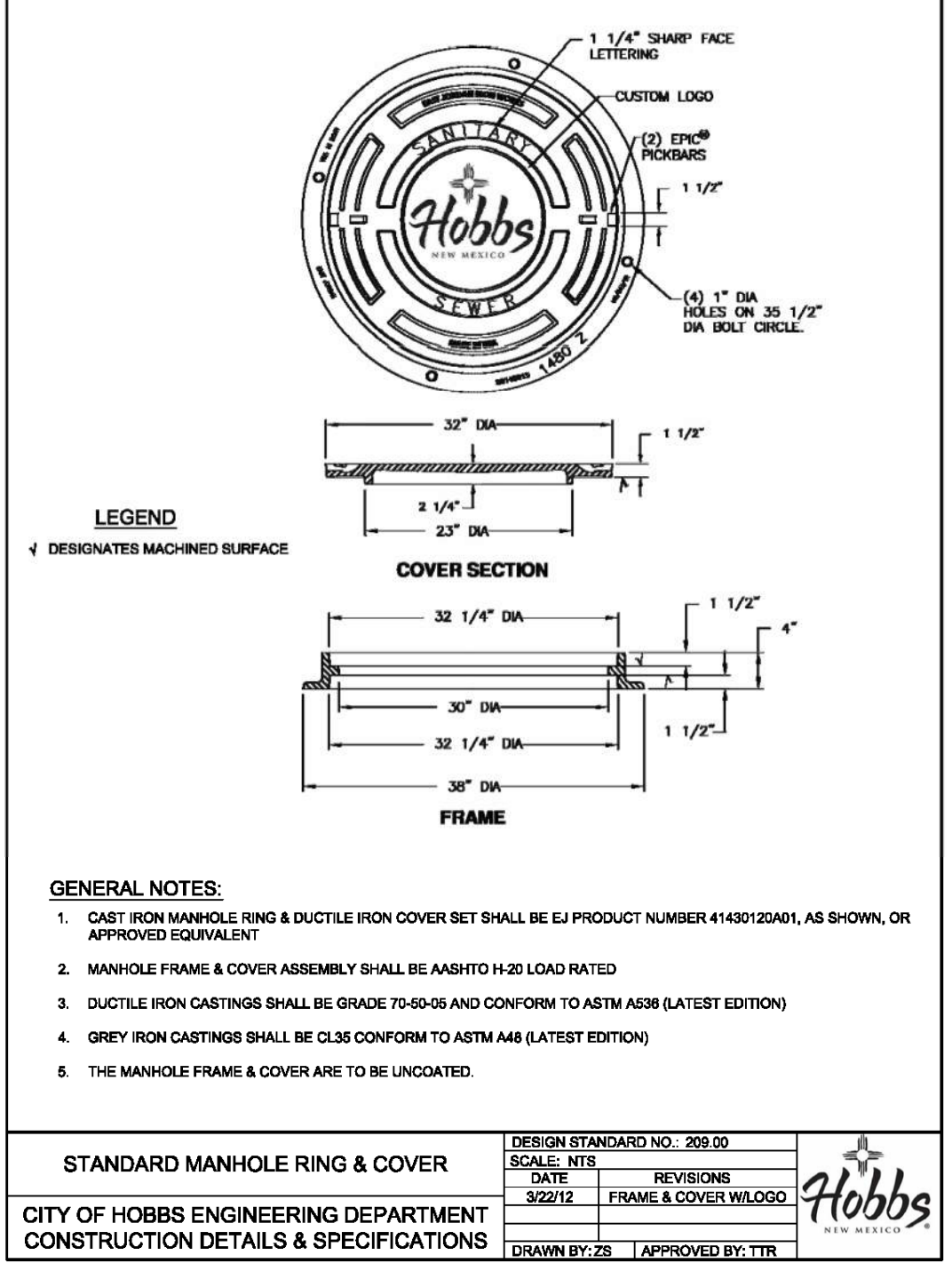
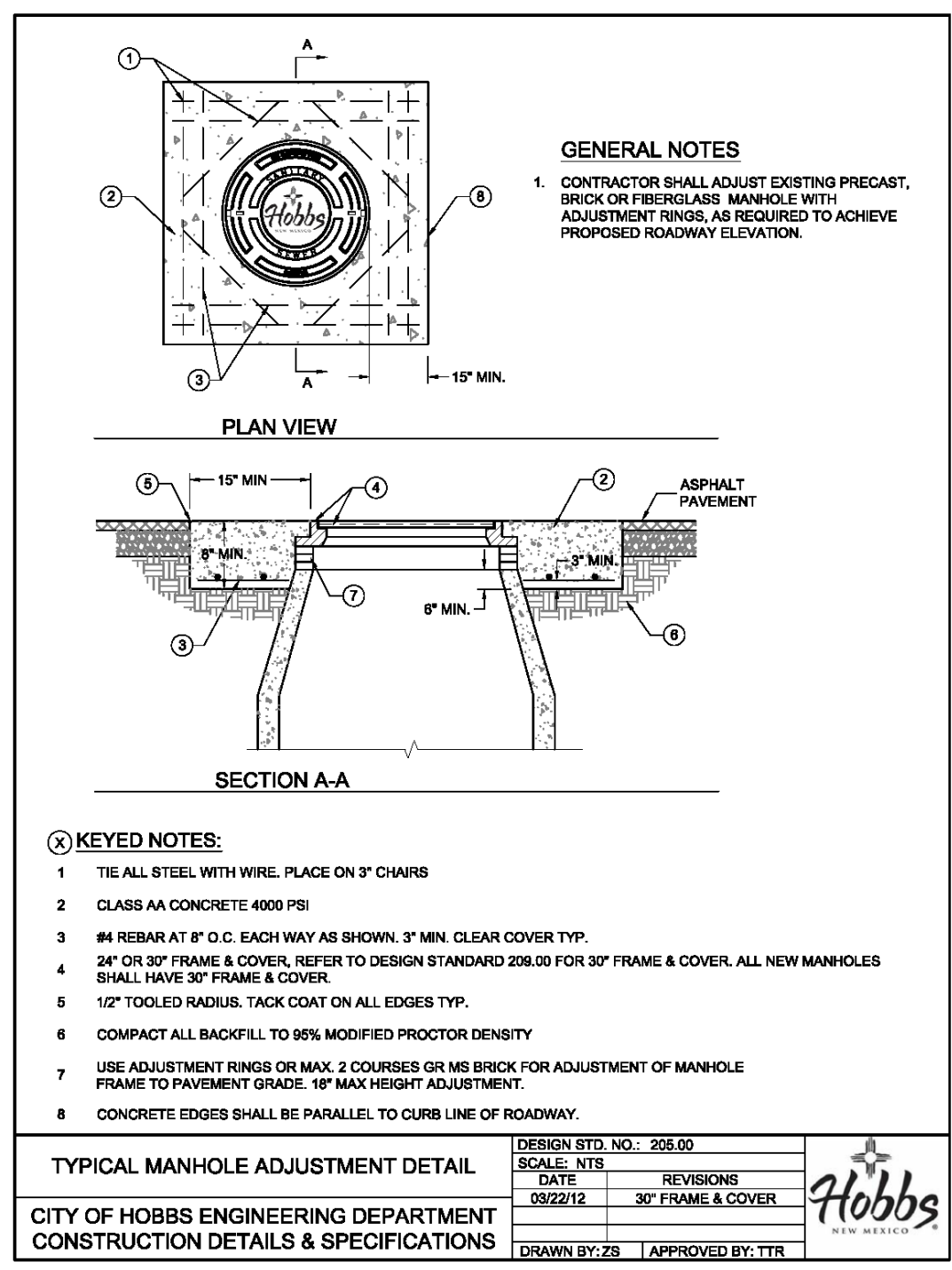
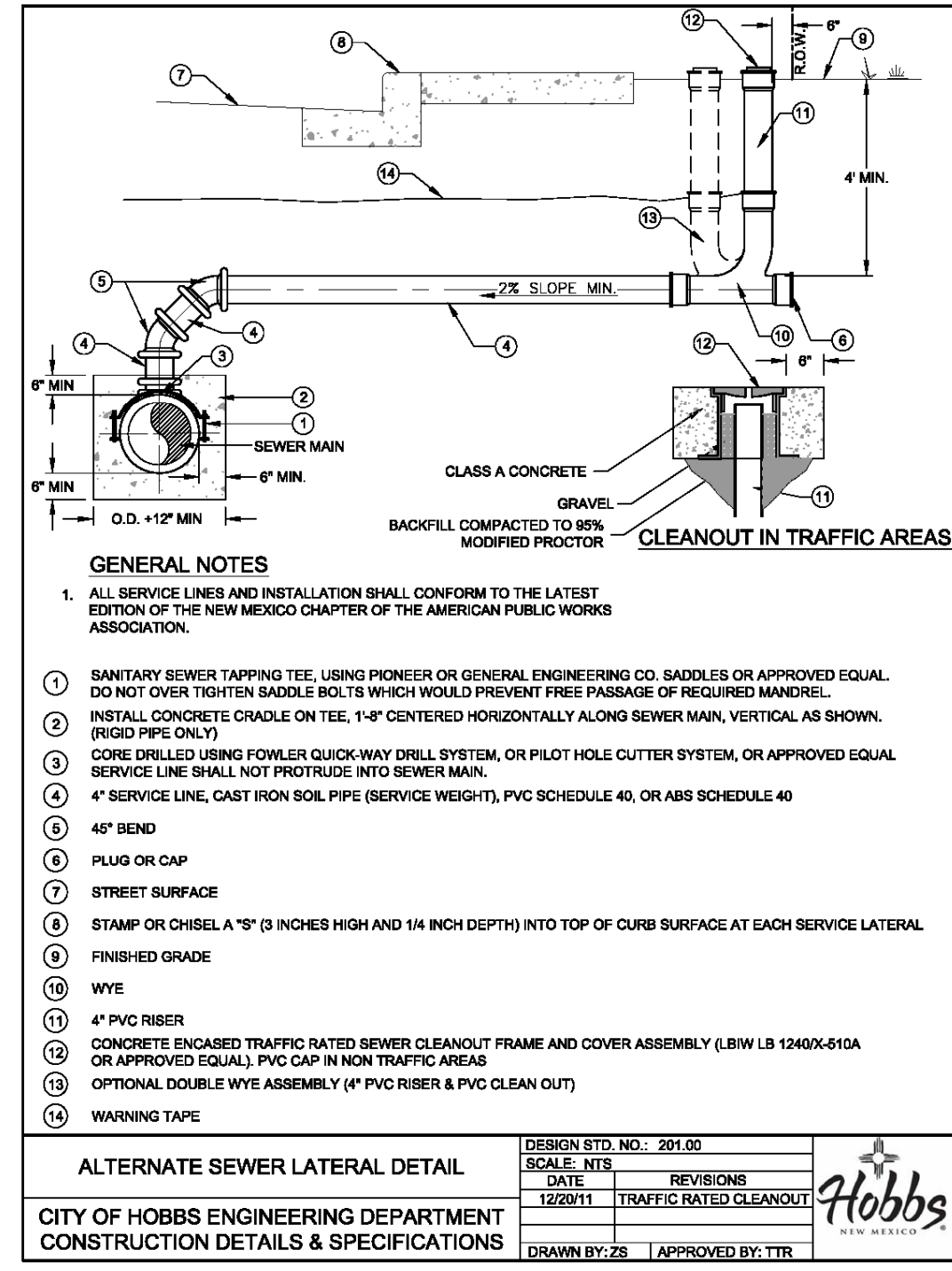
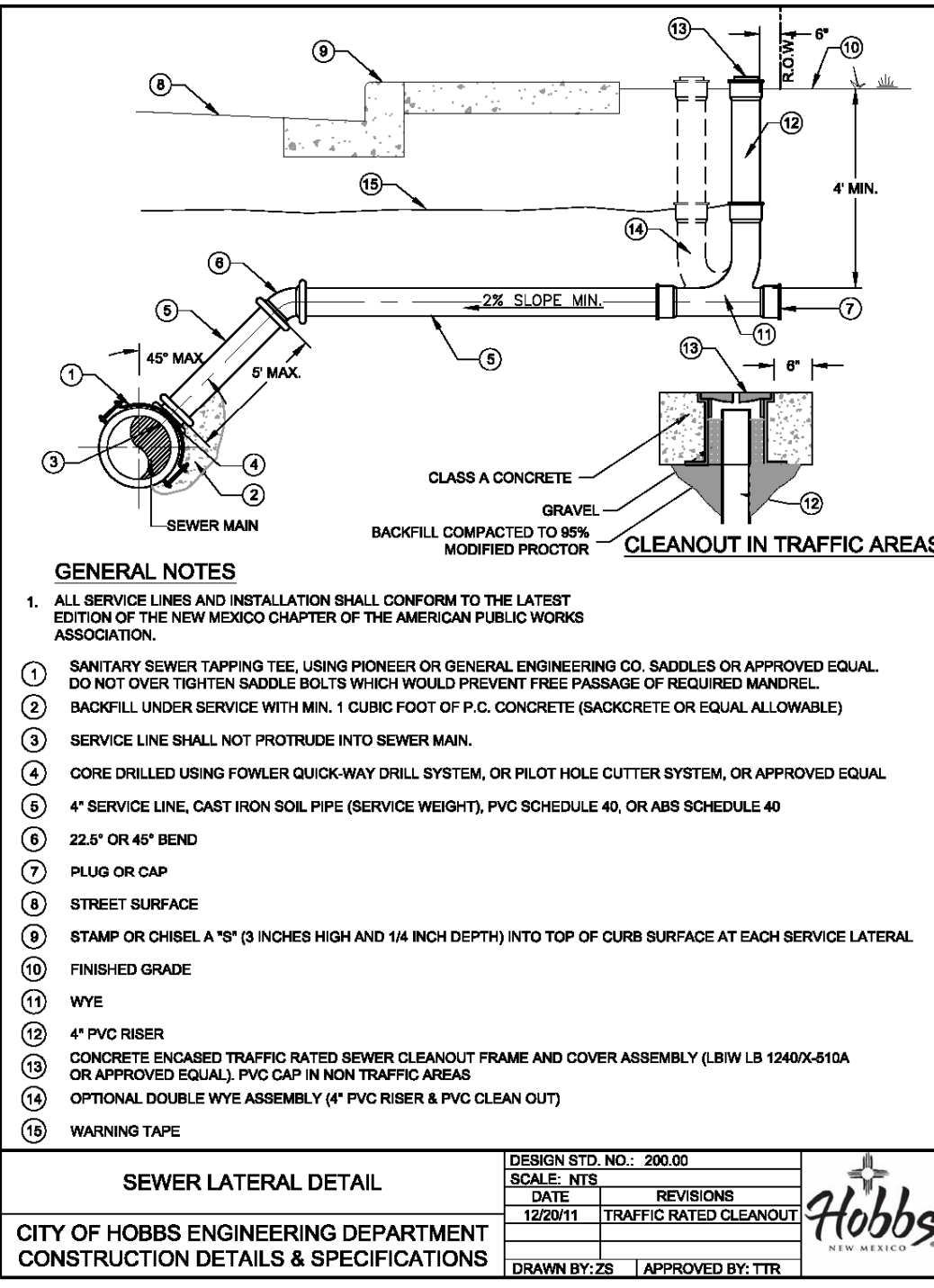
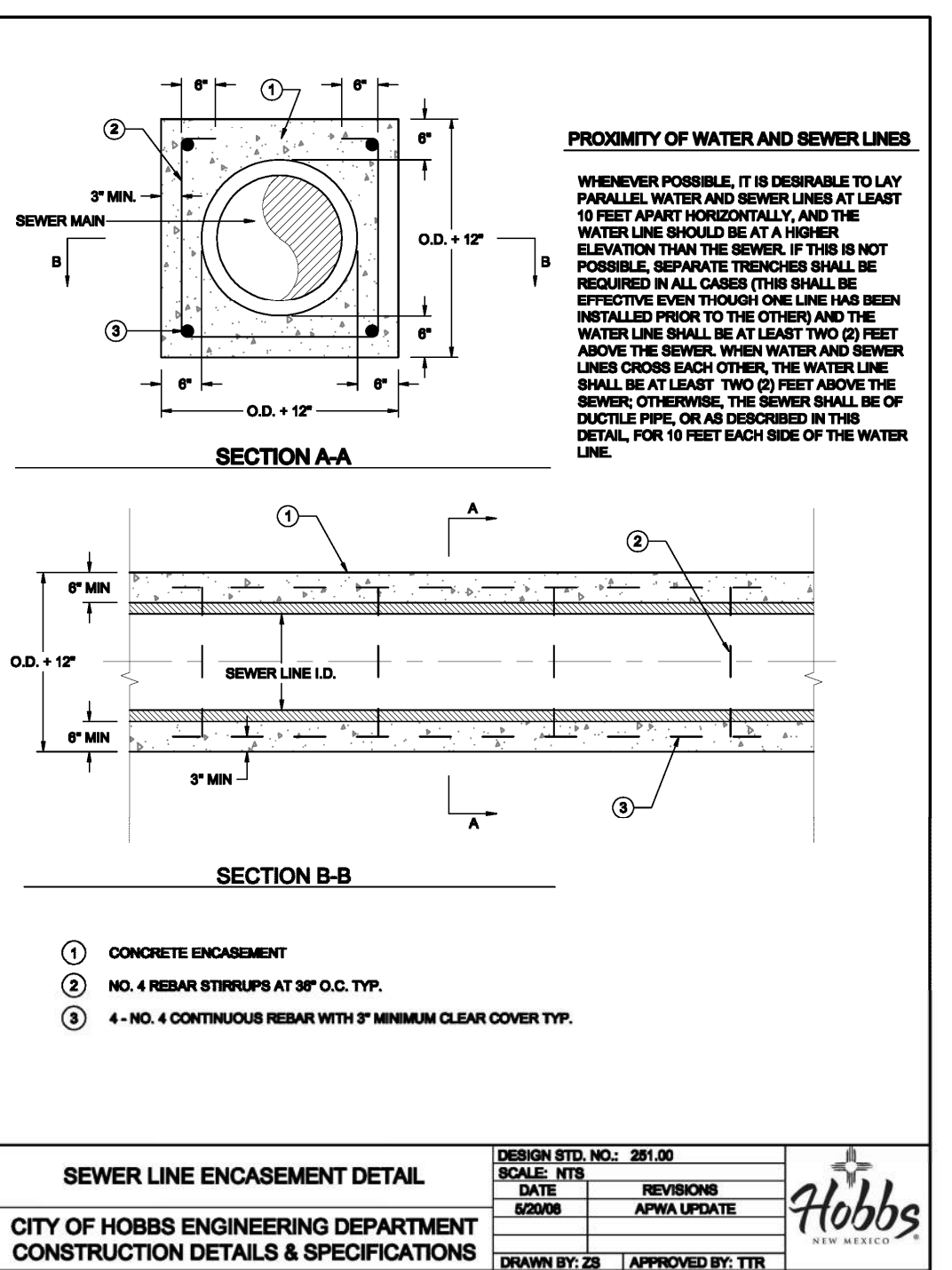
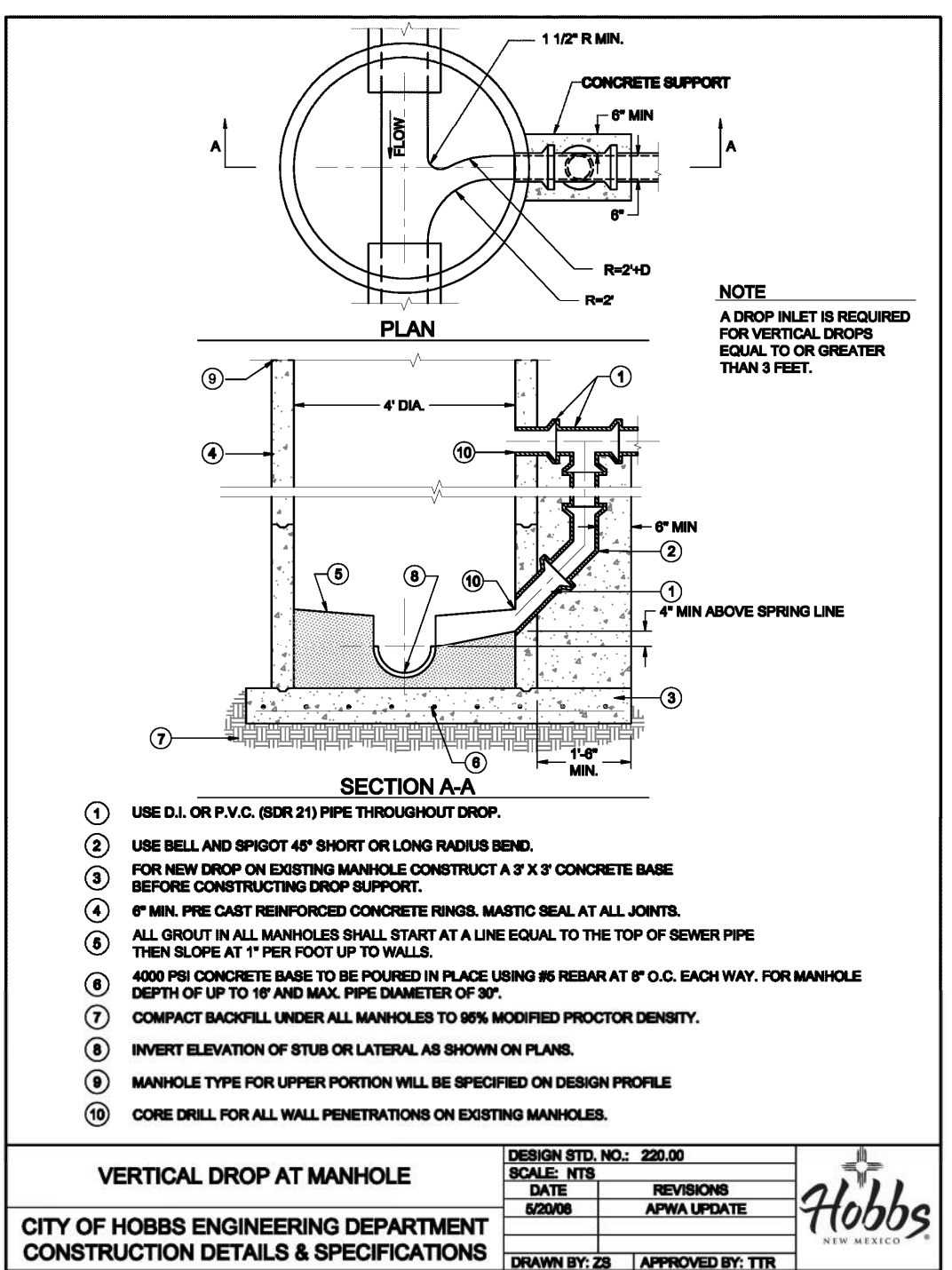
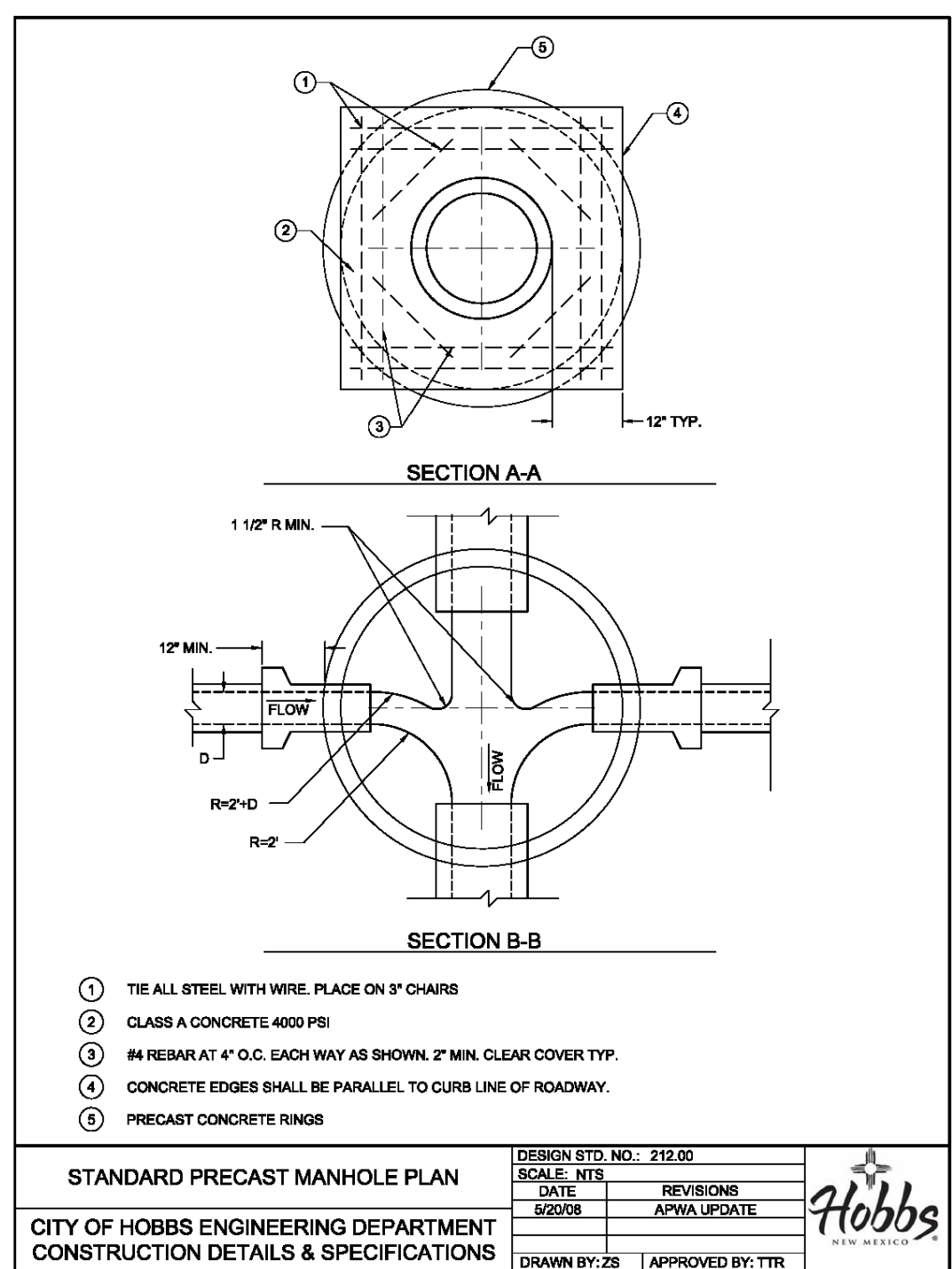
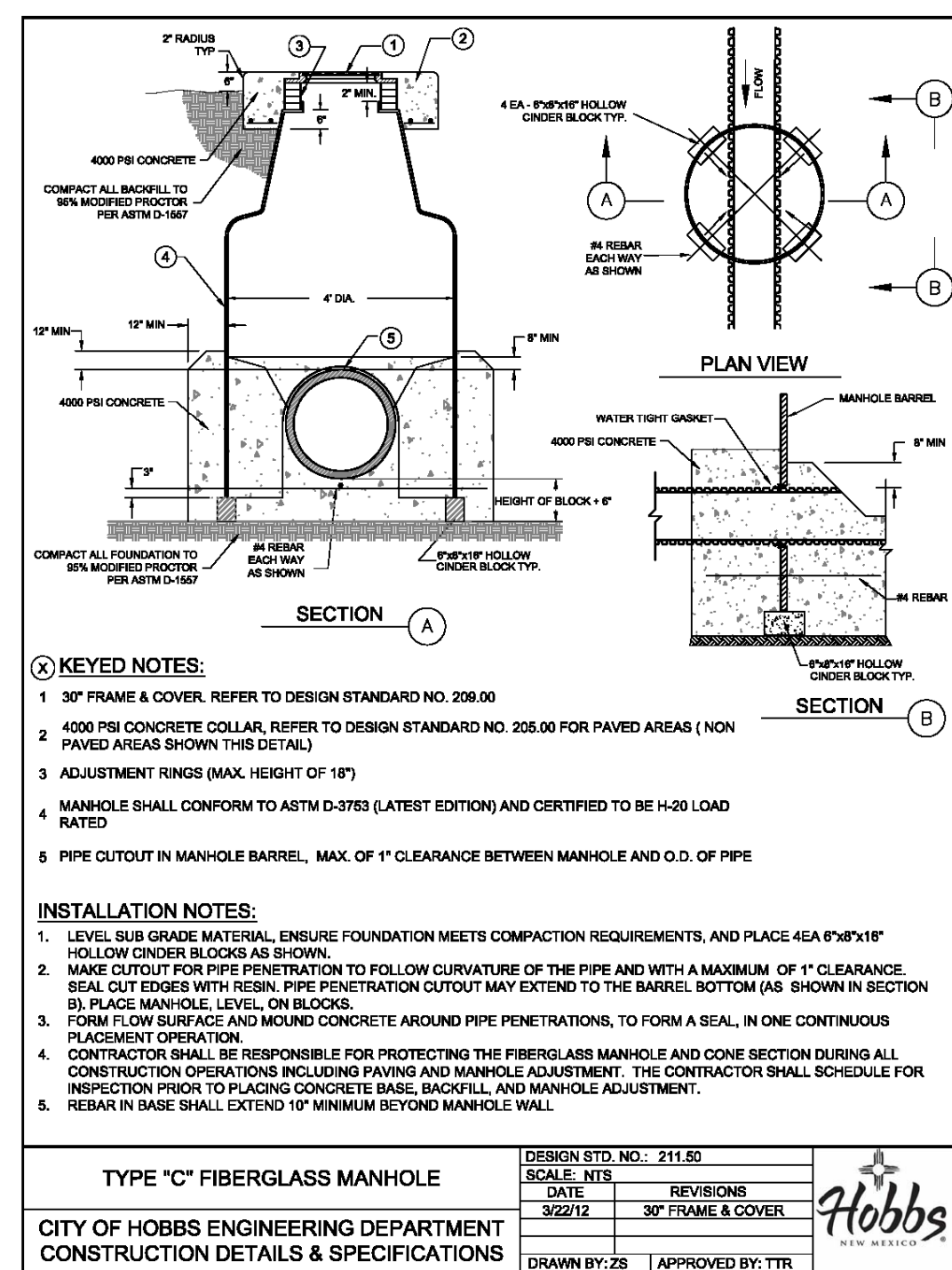
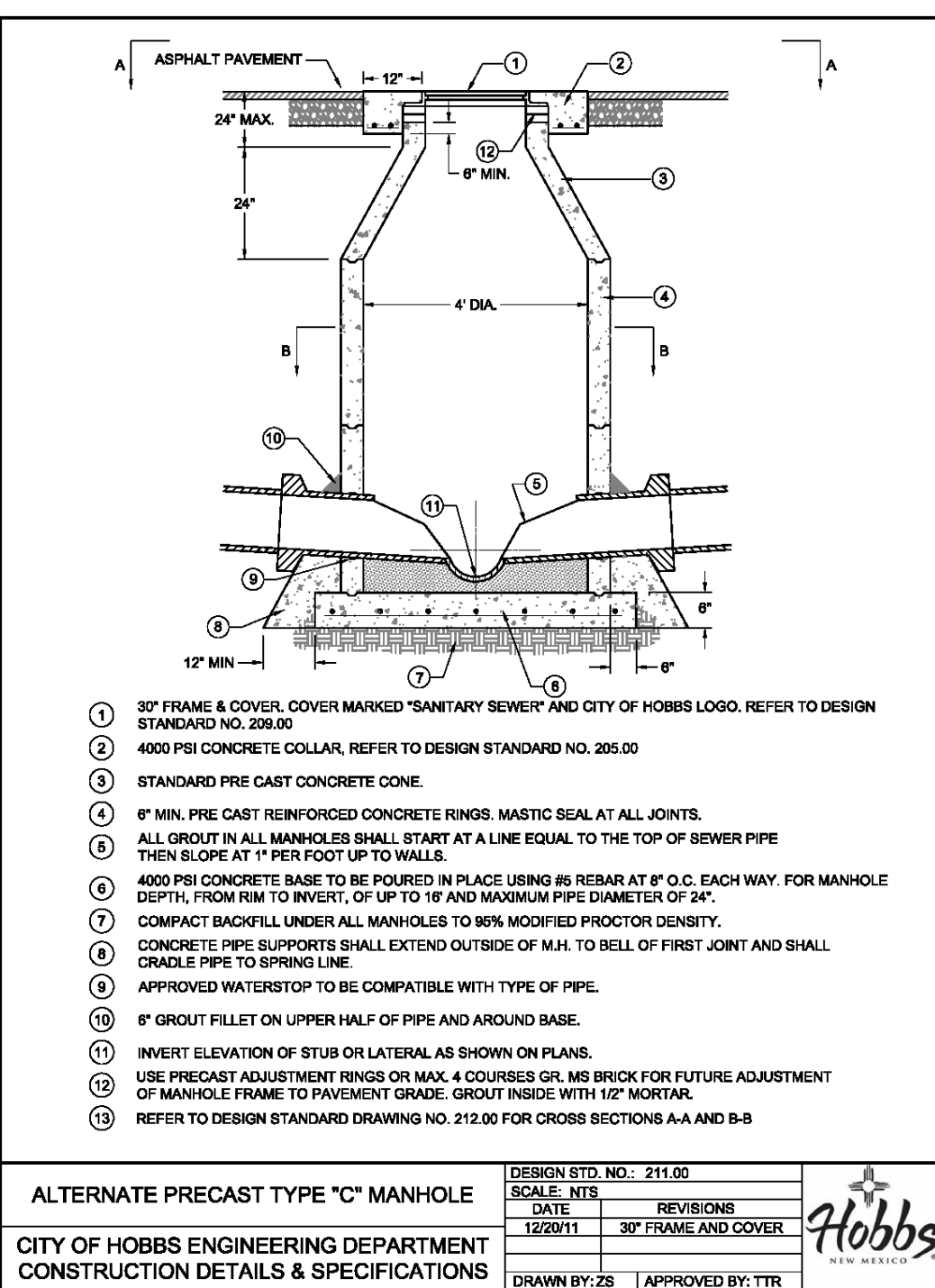
ZIA CROSSING UNIT 7

ROADWAY DETAILS

the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBS, NEW MEXICO 88240
(575) 392-7918 TELE.
(575) 392-9114 FAX

Drawn By:	Checked by:
SMM	PLR
Date:	Disk:
6/20/19	GENERAL
File Name:	Job No.:
ROAD	
SHEET	
R1	
R1 of R1 sheets	

ORIGINAL DRAWING SIZE 24" X 36"



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ZIA CROSSING UNIT 7

SEWER DETAILS

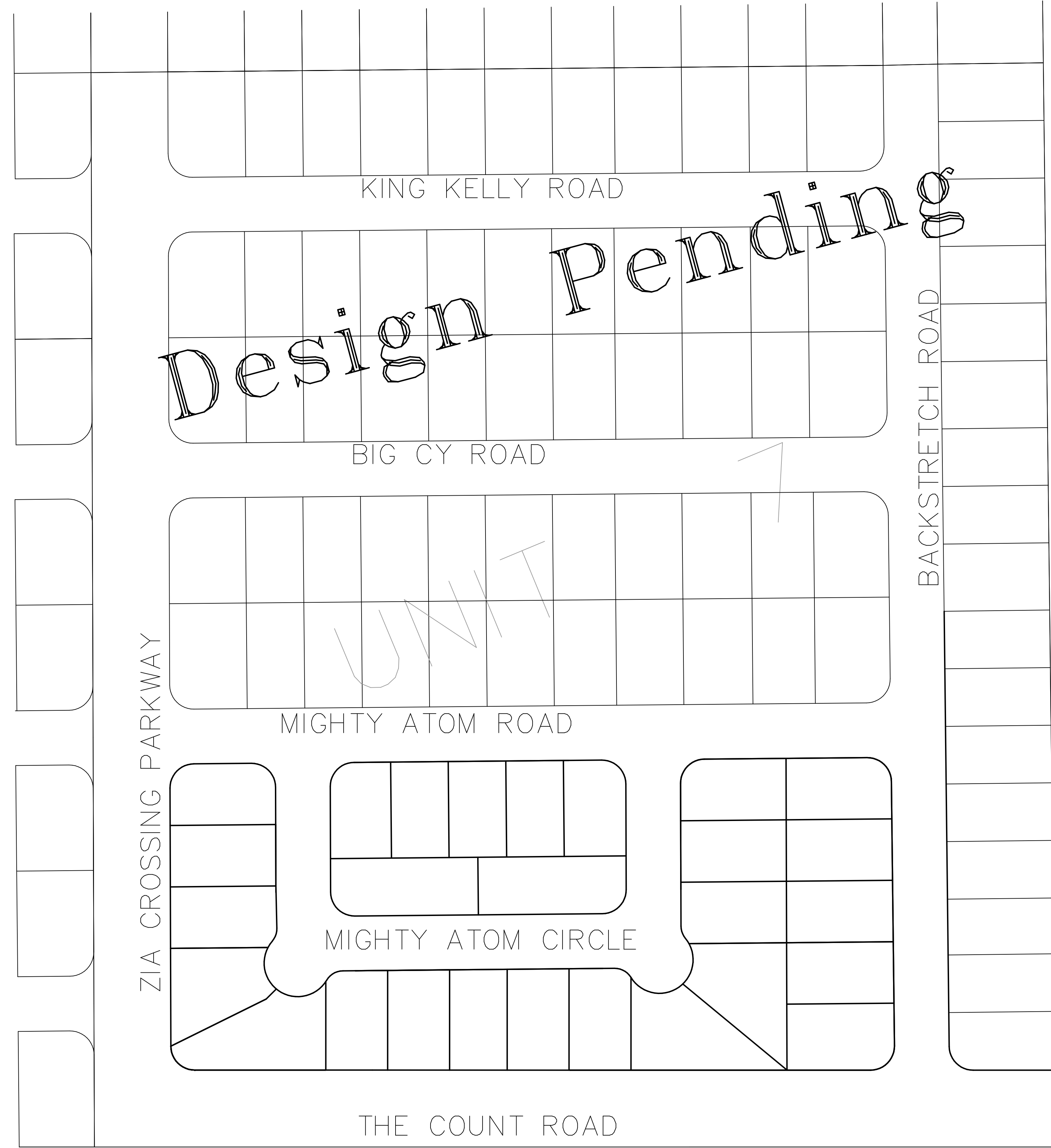
the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBBS, NEW MEXICO 88240
(505) 392-7918 TELE.
(505) 392-9114 FAX

Drawn By:	Checked by:
SMM	PLR
Date:	Disk:
6/20/19	GENERAL
File Name:	Job No.:
SEWER	

SHEET
S1
S1 of S1 sheets

ORIGINAL DRAWING SIZE 24" X 36"

NOTE:
SEE WATER DETAILS (SHEET W1) FOR
TRENCH DETAILS, BOTH MECHANICAL
COMPACTION AND/OR FLOWABLE FILL.



DRAWING PROVIDED BY XCEL ENERGY.

ORIGINAL DRAWING SIZE 24" X 36".

PRELIMINARY - NOT FOR CONSTRUCTION - UNDER REVIEW

Drawn By:	Checked by:
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Date:	Disk:
9/23/19	GENERAL
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ROADS	

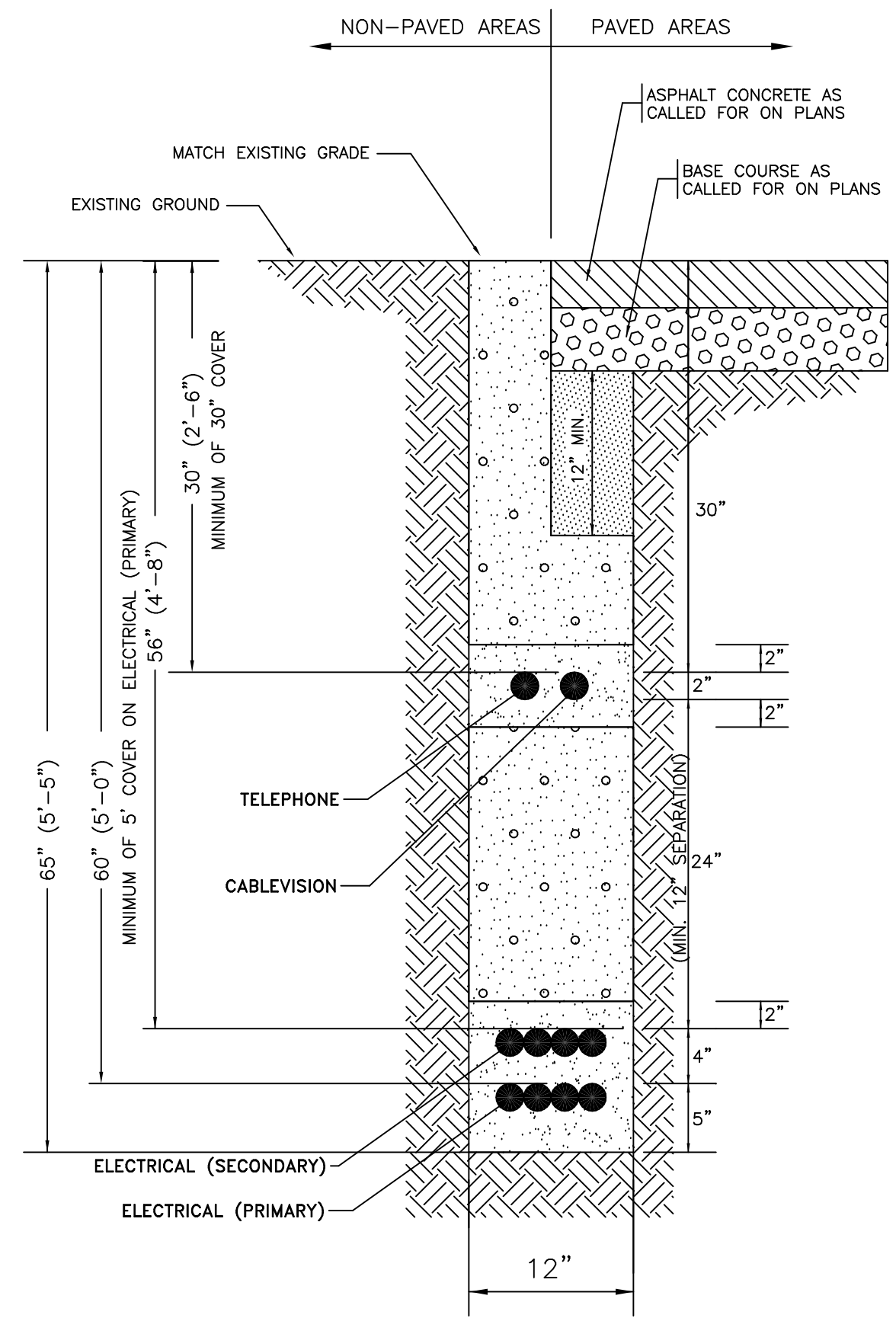
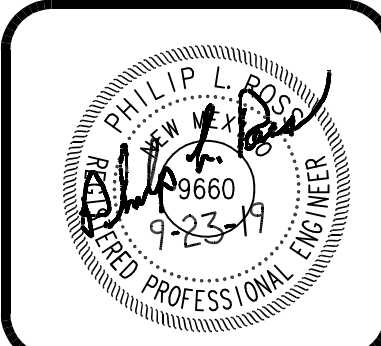
SHEET
U1
U1 of U2 sheets

the ROSS GROUP
CONSULTING ENGINEERS
410 N. DAL PASO
HOBBS, NEW MEXICO 88240
(575) 392-7918 TELE.
(575) 392-9114 FAX

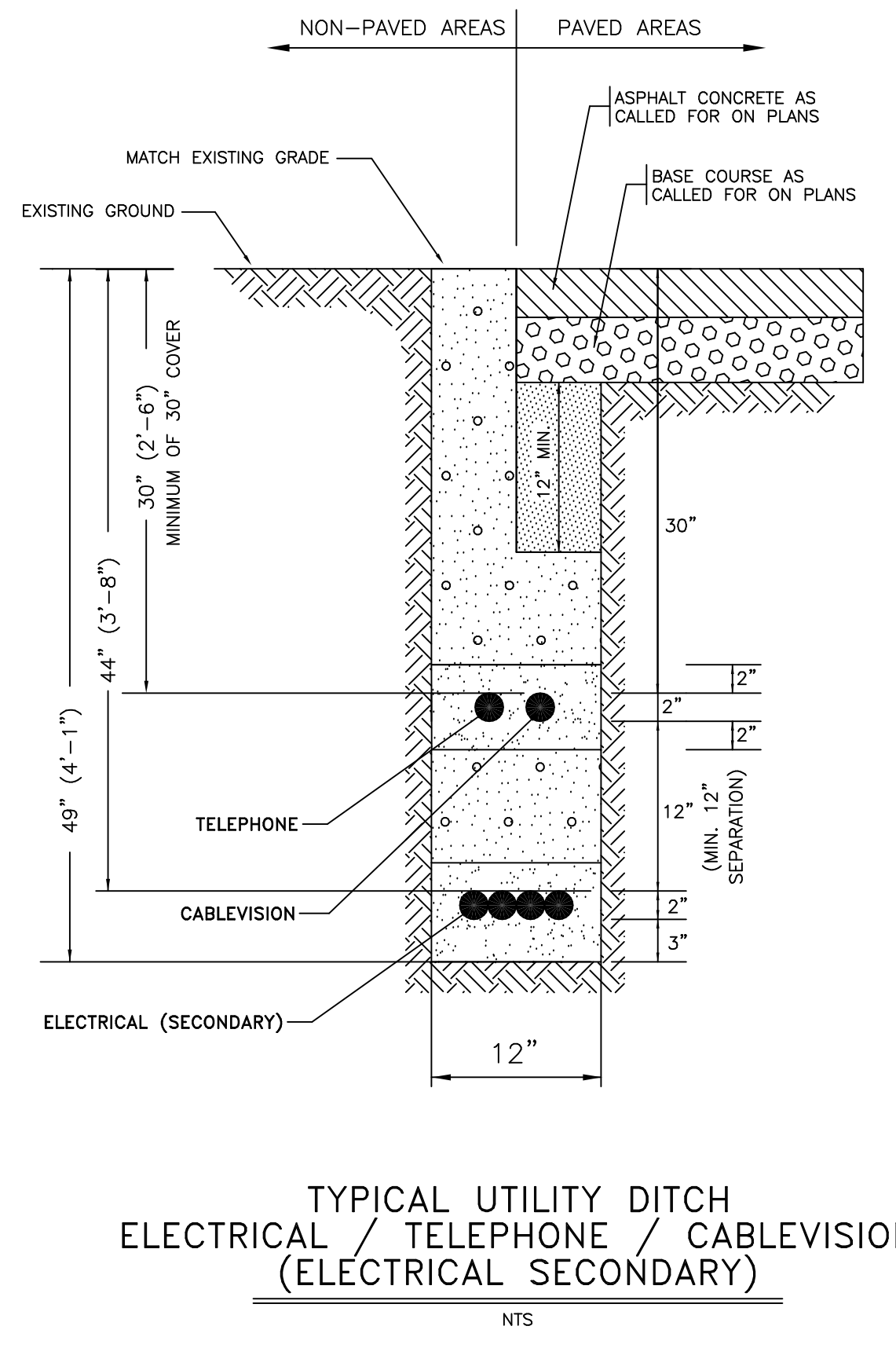
ZIA CROSSING UNIT 7
UTILITY (ELECTRIC/CABLE/TELEPHONE)
LAYOUT PLAN (BY XCEL ENERGY)

NO.	DATE	REVISIONS:	BY	CHK	ENGR	APP.
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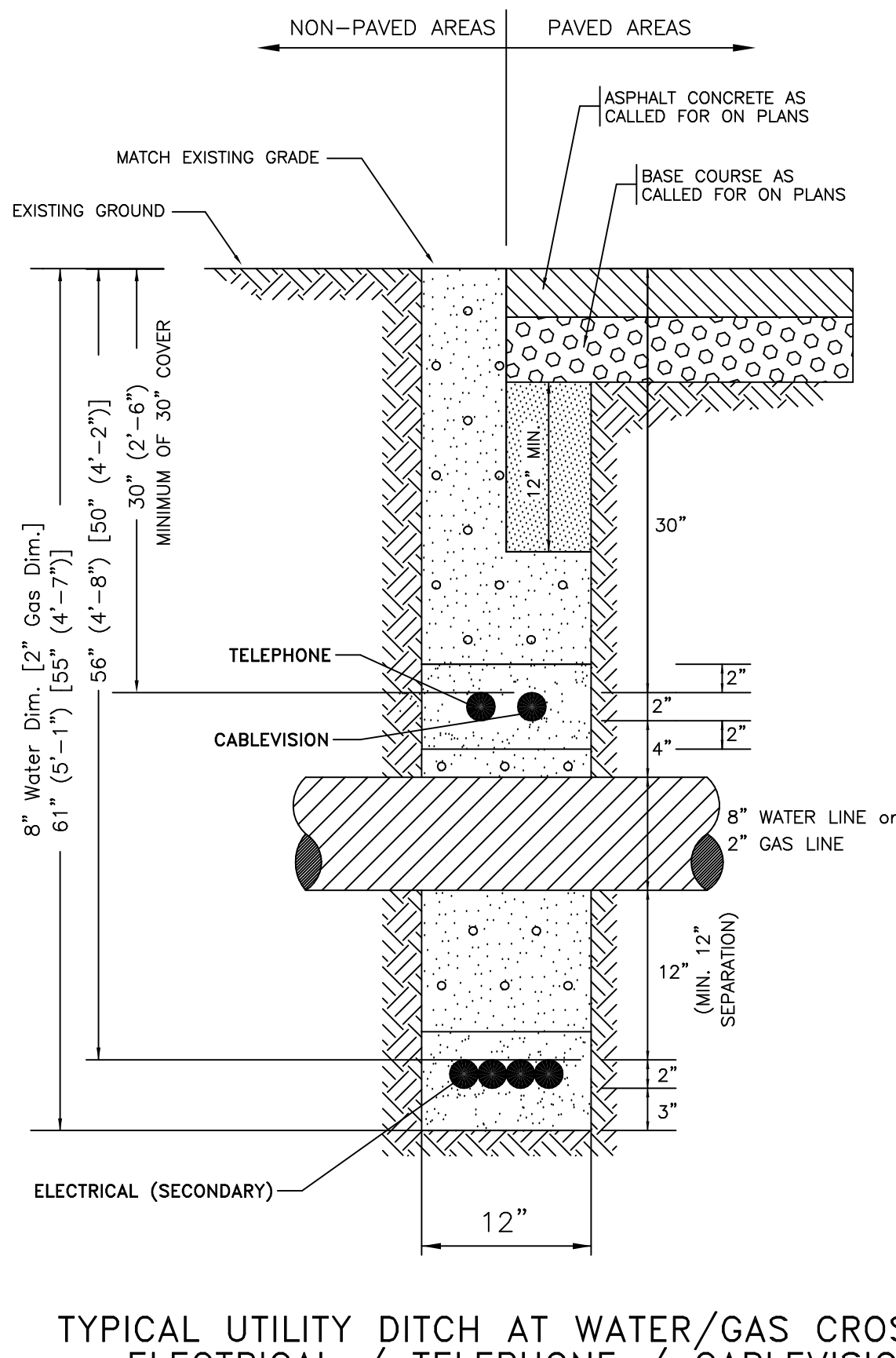
DRAWING PROVIDED BY XCEL ENERGY.



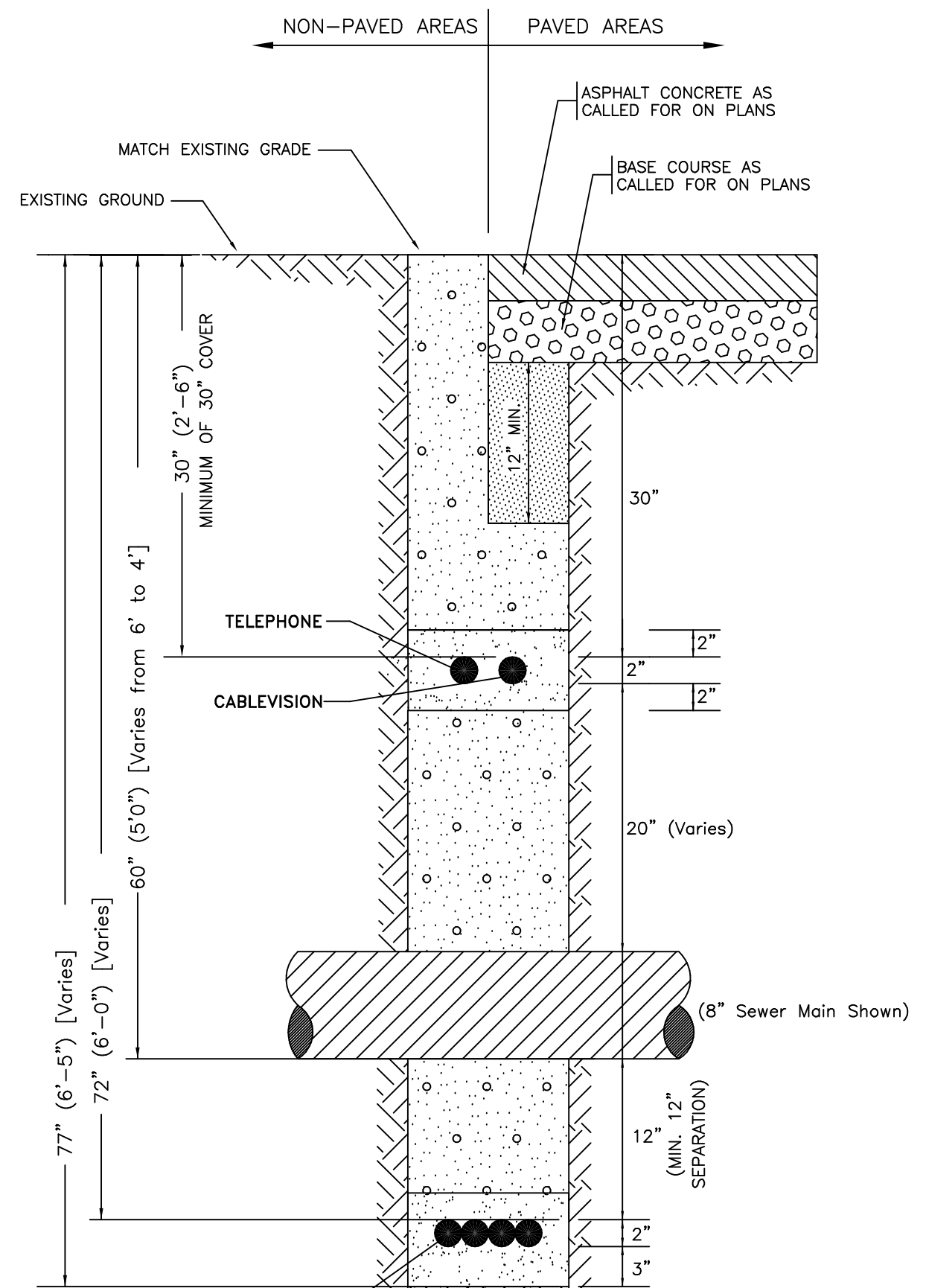
TYPICAL UTILITY DITCH
ELECTRICAL / TELEPHONE / CABLEVISION
(ELECTRICAL PRIMARY)
NTS



TYPICAL UTILITY DITCH
ELECTRICAL / TELEPHONE / CABLEVISION
(ELECTRICAL SECONDARY)
NTS



TYPICAL UTILITY DITCH AT WATER/GAS CROSSING
ELECTRICAL / TELEPHONE / CABLEVISION
(ELECTRICAL SECONDARY)
NTS



TYPICAL UTILITY DITCH AT SEWER CROSSING
ELECTRICAL / TELEPHONE / CABLEVISION
(ELECTRICAL SECONDARY)
NTS

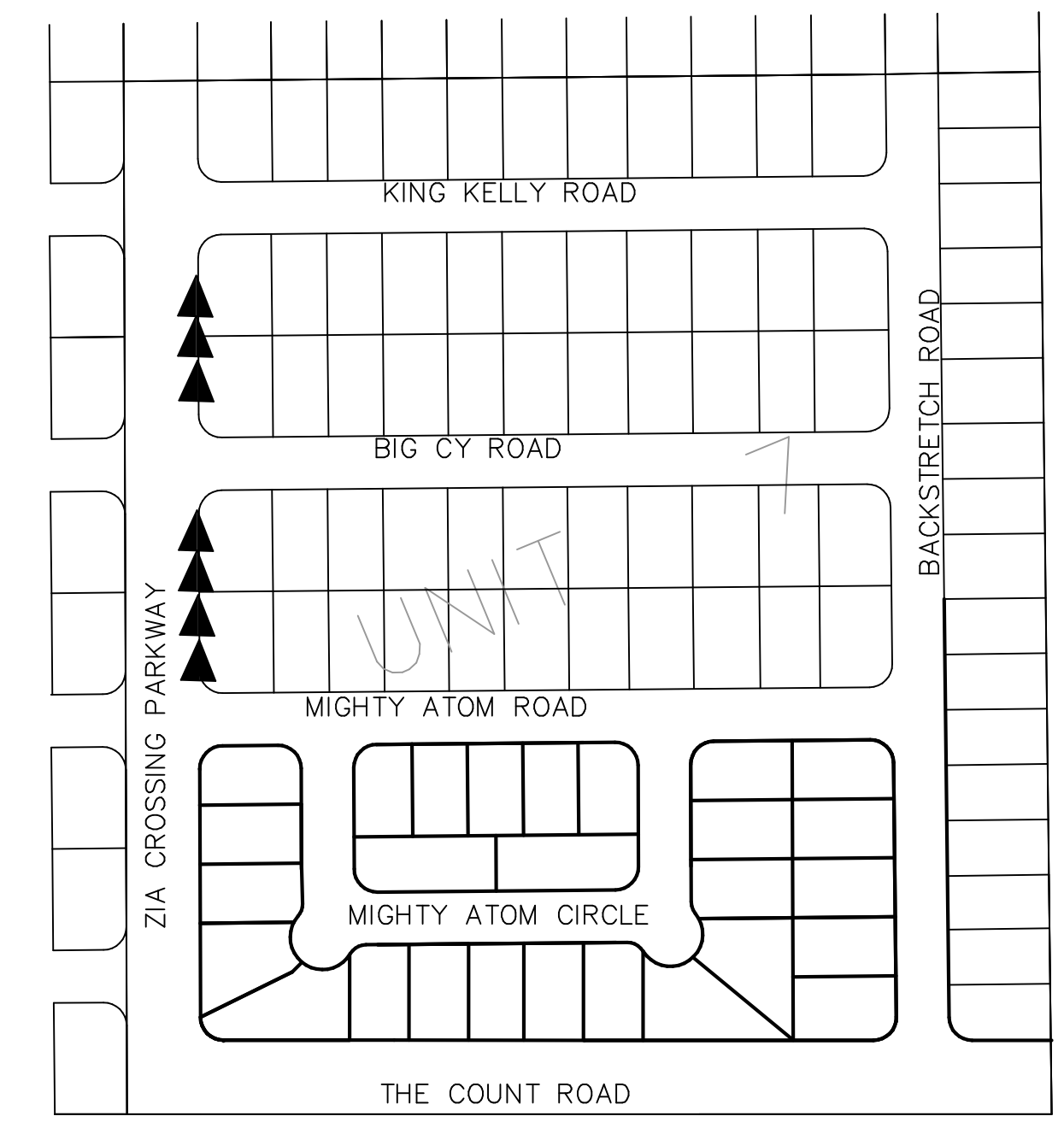
LEGEND
UTILITY DITCH COMPACTION AND MATERIAL REQUIREMENTS

	NATIVE MATERIAL, 95% ASTM D-1557		SELECT BACKFILL MATERIAL, FREE FROM ROCKS GREATER THAN 1/4 INCH DIAMETER, DIRT CLODS, OR FROZEN MATERIAL
	NATIVE MATERIAL, 90% ASTM D-1557		UNDISTURBED EARTH

CONSTRUCTION NOTES: DITCHING (UTILITY) CONTRACTOR

- DITCHES, BACKFILL MATERIALS, BACKFILL & COMPACTION PROVIDED BY DITCHING CONTRACTOR.
- DITCHING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY OWNERS AND FOR THE PROTECTION OF ALL FACILITIES AFTER THEIR INSTALLATION. IF APPLICABLE, GAS COMPANY SHALL DITCH, INSTALL, BACKFILL AND COMPACT THEIR OWN UTILITIES.
- ANY UTILITIES DAMAGED BY THE DITCHING CONTRACTOR DURING TRENCHING, COMPACTION, OR INSTALLING SERVICE LATERALS SHALL BE REPAIRED AND/OR REPLACED AT THE EXPENSE OF THE DITCHING CONTRACTOR.
- EXTRA DEPTH NECESSARY FOR THE ELECTRICAL PRIMARY AND SECONDARY TO CROSS UNDER WATER or SEWER LINES AS SHOWN IN THE TYPICAL DETAILS IS CONSIDERED INCIDENTAL AND NO EXTRA PAYMENT WILL BE MADE.

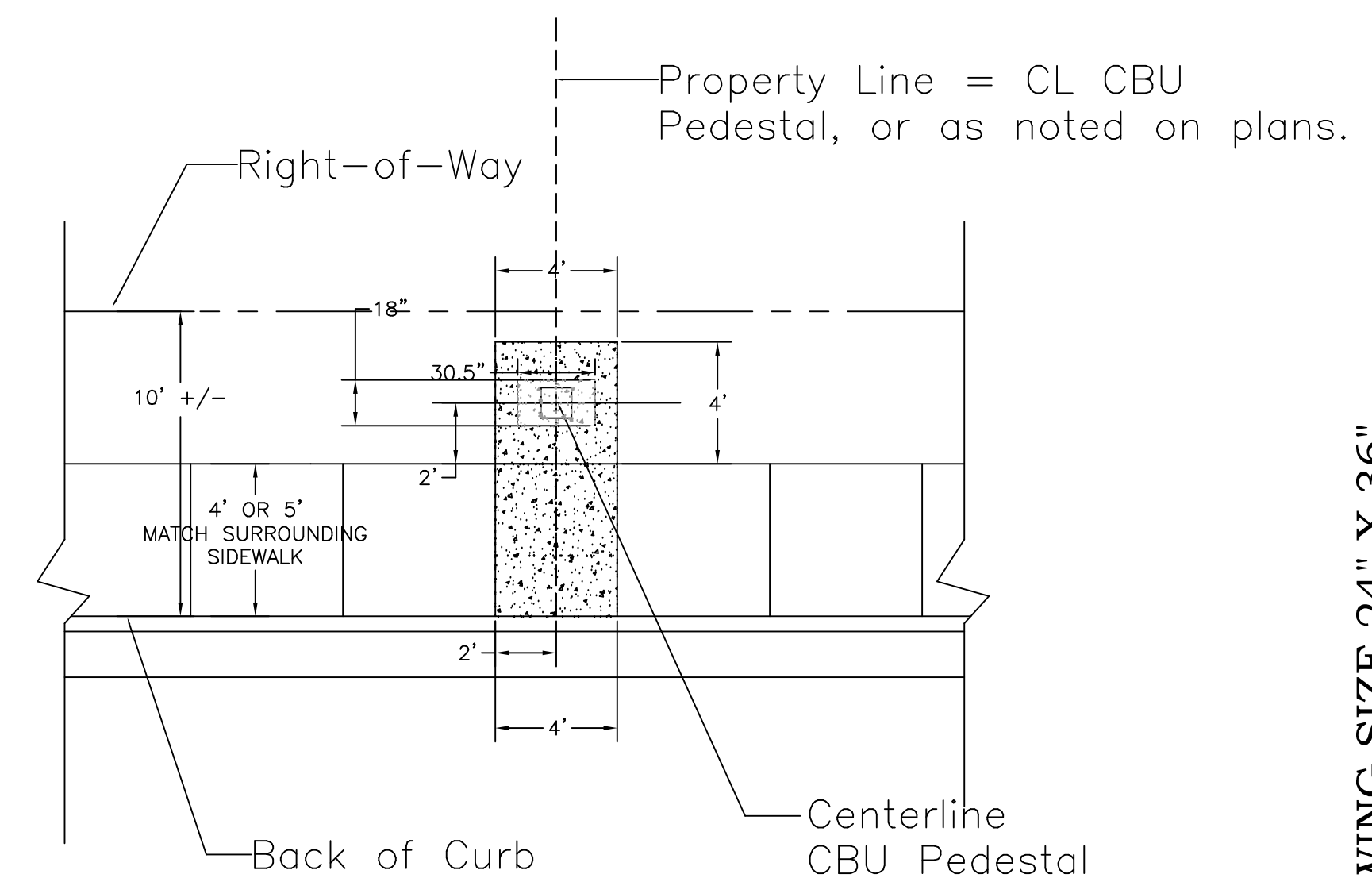
LEGEND ▲ 16 UNIT CBU (TOTAL 7)



CLUSTER BOX UNIT (CBU) TYPE AND LOCATION
NTS

CLUSTER BOX UNITS (CBU'S) GENERAL NOTES:

CBU'S AVAILABLE AT WWW.MAILBOXES.COM.
16 UNIT CBU TO BE MODEL NUMBER 3316, WITH PEDESTAL 3385. MANUFACTURED BY SALSBUURY INDUSTRIES - ALL ALUMINUM CONSTRUCTION CONTAINING AN OUTGOING MAIL SLOT AND 2 PARCEL LOCKERS EACH. ALL CBU KEYS TO BE DELIVERED TO THE ENGINEER FOR DELIVERY TO THE POST OFFICE.



- Notes:
- Dimensions shown allow approximately 6.25' clearance in front of CBU (mailbox).
 - See manufacturer's installation guide for installation of CBU pedestal and box.
 - Centerline of CBU Pedestal shall not be located closer than 25' from curb return at corner lots.
 - If CBU placed in area with out curb and gutter, 4' x 4' sidewalk still required in front of slab for pedestal.

TYPICAL CLUSTER BOX UNIT (CBU) CONCRETE DETAIL
NTS

NO.	DATE	REVISIONS:	BY	CHK	ENGR	APP.
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ZIA CROSSING UNIT 7
POST OFFICE CLUSTER BOX DETAILS
UTILITY (ELECTRIC/CABLE/TELEPHONE)
TRENCH DETAILS



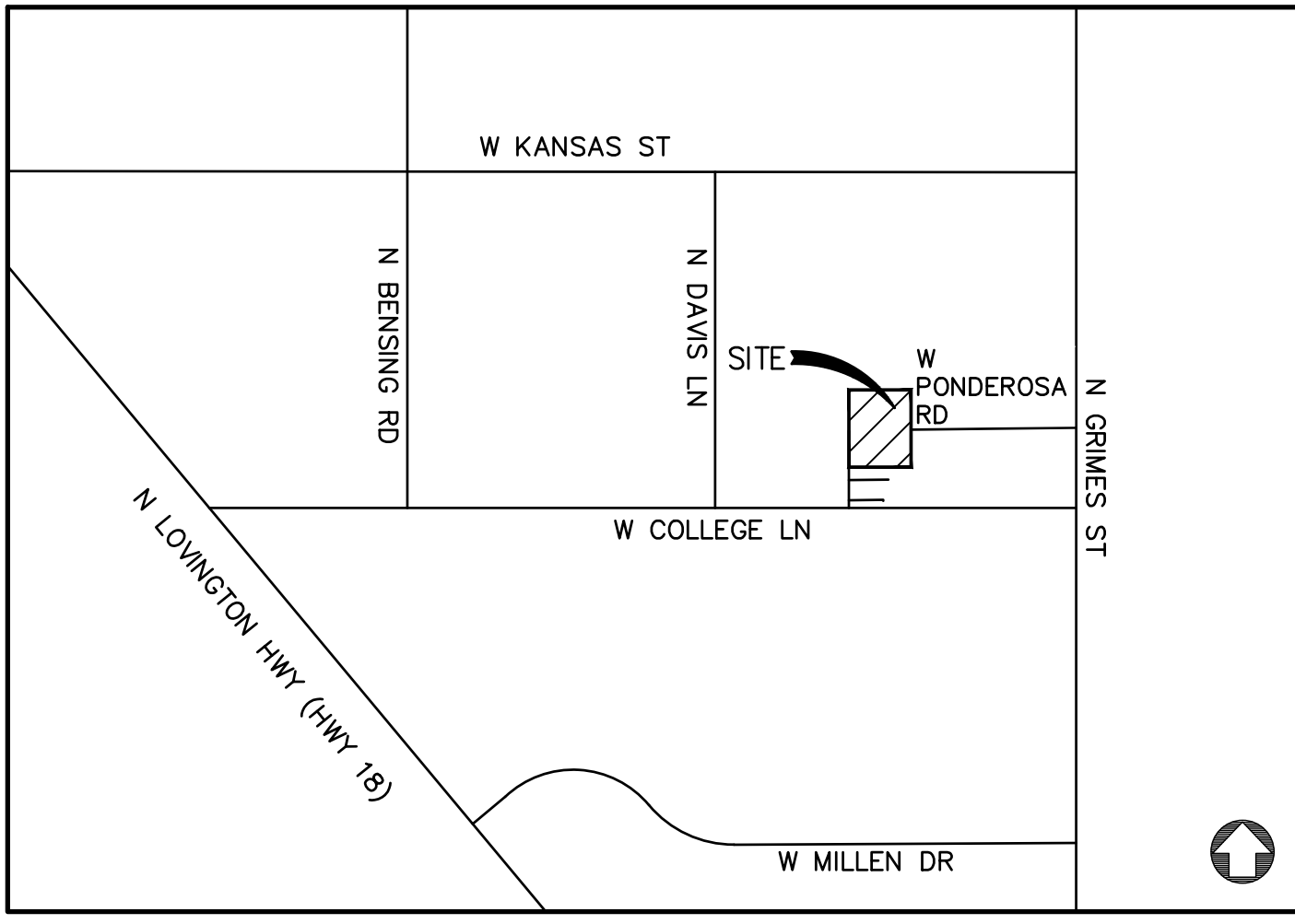
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SMM	PLR
Date:	Disk:
9/23/19	GENERAL
File Name:	Job No.:
ROADS	

SHEET
U2
U2 of U2 sheets

ORIGINAL DRAWING SIZE 24" X 36"

October 15, 2019
Planning Board Regular Meeting

- 7) **Review and Consider Final Plat Approval for The Meadows Subdivision Unit 2, as submitted by property owner, Lemke Development, Inc.**



VICINITY MAP
N.T.S.

NOTES

1. BASIS OF BEARINGS IS NEW MEXICO STATE PLAN EAST ZONE.
2. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.

EXISTING EASEMENTS:

- ① 40-FOOT PUBLIC INFRASTRUCTURE EASEMENT FILED SEPTEMBER 08, 2017, BK. 2121, PG. 34.
- ② 30-FOOT ROADWAY EASEMENT FILED OCTOBER 21, 1998, BK. 912, PGS. 954-966.

NEW EASEMENTS:

- ① 15-FOOT PUBLIC INFRASTRUCTURE EASEMENT BY THE FILING OF THIS PLAT.
- ② 20-FOOT PUBLIC INFRASTRUCTURE EASEMENT BY THE FILING OF THIS PLAT.
- ③ 40-FOOT PUBLIC INFRASTRUCTURE EASEMENT BY THE FILING OF THIS PLAT.

LEGEND

- ◆ FOUND QUARTER CORNER AS NOTED
- ⊕ FOUND SECTION CORNER AS NOTED
- SET 18"x1/2" REBAR WITH BLUE PLASTIC CAP MARKED "F&C PS 22909"
- ⊗ CALCULATED CORNER NOT SET

Fierro & Company
ENGINEERING | SURVEYING
6300 MONTANO RD. NW, SUITE C
ALBUQUERQUE, NM 87120
PH 505.352.8930
www.fierrocompany.com

SURVEYOR'S CERTIFICATION

I, ROBERT J. FIERRO, NEW MEXICO PROFESSIONAL SURVEYOR NO. 22909, DO HEREBY CERTIFY THAT THIS PLAT OF SURVEY WAS PREPARED FROM FIELD NOTES OF AN ACTUAL GROUND SURVEY PERFORMED BY ME OR UNDER MY SUPERVISION; THAT IT ACCURATELY MEETS THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS; AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

ROBERT J. FIERRO, _____ Date
N.M.P.S. No. 22909



DESCRIPTION

A tract of land located in Section 4, Township 18 South, Range 38 East, N.M.P.M., Lea County, New Mexico, being and comprising all of Tract 1 of The Meadows Subdivision as the same shown and designated on the plat thereof, filed in the County Clerk of Lea County, New Mexico on February 26, 2019 in Book 2146, Page 503 and being more particularly described as follows:

Beginning at the southeast corner of the tract herein described, identical to the northeast corner of The Meadows Subdivision, Unit 1, from which a 2-inch brass cap found for the south quarter corner of said Section 4, bears S00°40'52"E, a distance of 550.57 feet;

Thence, along the north boundary line of The Meadows Subdivision, Unit 1, S89°20'17"W, a distance of 662.22 feet to the southwest corner of the tract herein described, identical to the northwest corner of The Meadows Subdivision, Unit 1;

Thence, N00°39'43"W, a distance of 2,089.58 feet to the northwest corner of said Tract 1;

Thence, N89°20'03"E, a distance of 661.52 feet to a 3/8" rebar found for the northeast corner of said Tract 1;

Thence, S00°40'52"E, a distance of 2089.62 feet to the point of beginning.

This tract contains 31.750 Acres (1,383,037 sq.ft.), more or less.

FREE CONSENT AND DEDICATION

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ALL STREET AND PUBLIC RIGHT-OF-WAYS SHOWN HEREON TO THE CITY OF HOBBS IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT ALL EASEMENTS SHOWN HEREON. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

OWNER: Lemke Development, Inc., a New Mexico corporation
By: John Lemke
Title: President

JOHN LEMKE _____ DATE

ACKNOWLEDGEMENT:

STATE OF _____)
)SS.
COUNTY OF _____)

ON THIS ____ DAY OF _____, 2019, BEFORE ME

PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSON(S) DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME AS THEIR FREE ACT AND DEED. WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR LAST ABOVE WRITTEN.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

TREASURER'S OFFICE CERTIFICATION

THIS IS TO CERTIFY THAT THE TAXES ARE CURRENT AND

PAID ON UPC #: _____

PROPERTY OWNER OF RECORD _____

LEA COUNTY
TREASURER'S OFFICE _____ DATE

**PLAT OF
THE MEADOWS SUBDIVISION
UNIT II
SECTION 4, TOWNSHIP 18 SOUTH,
RANGE 38 EAST, N.M.P.M.,
CITY OF HOBBS,
LEA COUNTY, NEW MEXICO
OCTOBER 2019**

CERTIFICATE OF MUNICIPAL APPROVAL

I, JAN FLETCHER, THE DULY APPOINTED AND ACTING CITY CLERK OF THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FORGOING PLAT OF THE MEADOWS SUBDIVISION, UNIT II, TO THE CITY OF HOBBS, WAS APPROVED BY THE COMMISSION OF THE CITY OF HOBBS BY RESOLUTION No. _____ ON THE ____ OF _____, 2019 A.D.

JAN FLETCHER, CITY CLERK

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
)SS.
COUNTY OF LEA)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____DAY OF _____, 2019 A.D. BY JAN FLETCHER.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

**CERTIFICATE OF APPROVAL
BY THE CITY OF HOBBS PLANNING BOARD:**

THE PLAT, RESTRICTIONS AND DEDICATION APPROVED AND ACCEPTED THE ____DAY OF _____, 2019 A.D. BY THE CITY PLANNING BOARD OF HOBBS NEW MEXICO.

CHAIRMAN: WILLIAM M. HICKS, III

ACKNOWLEDGMENT

STATE OF _____)
)SS.
COUNTY OF _____)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____DAY OF _____, 2019, BY WILLIAM M. HICKS.

NOTARY PUBLIC _____

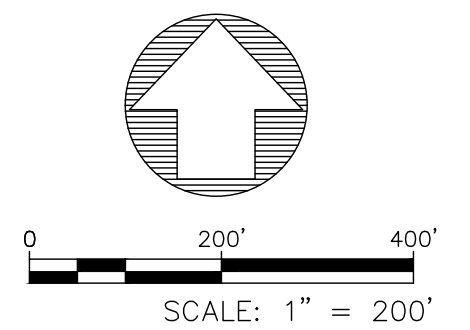
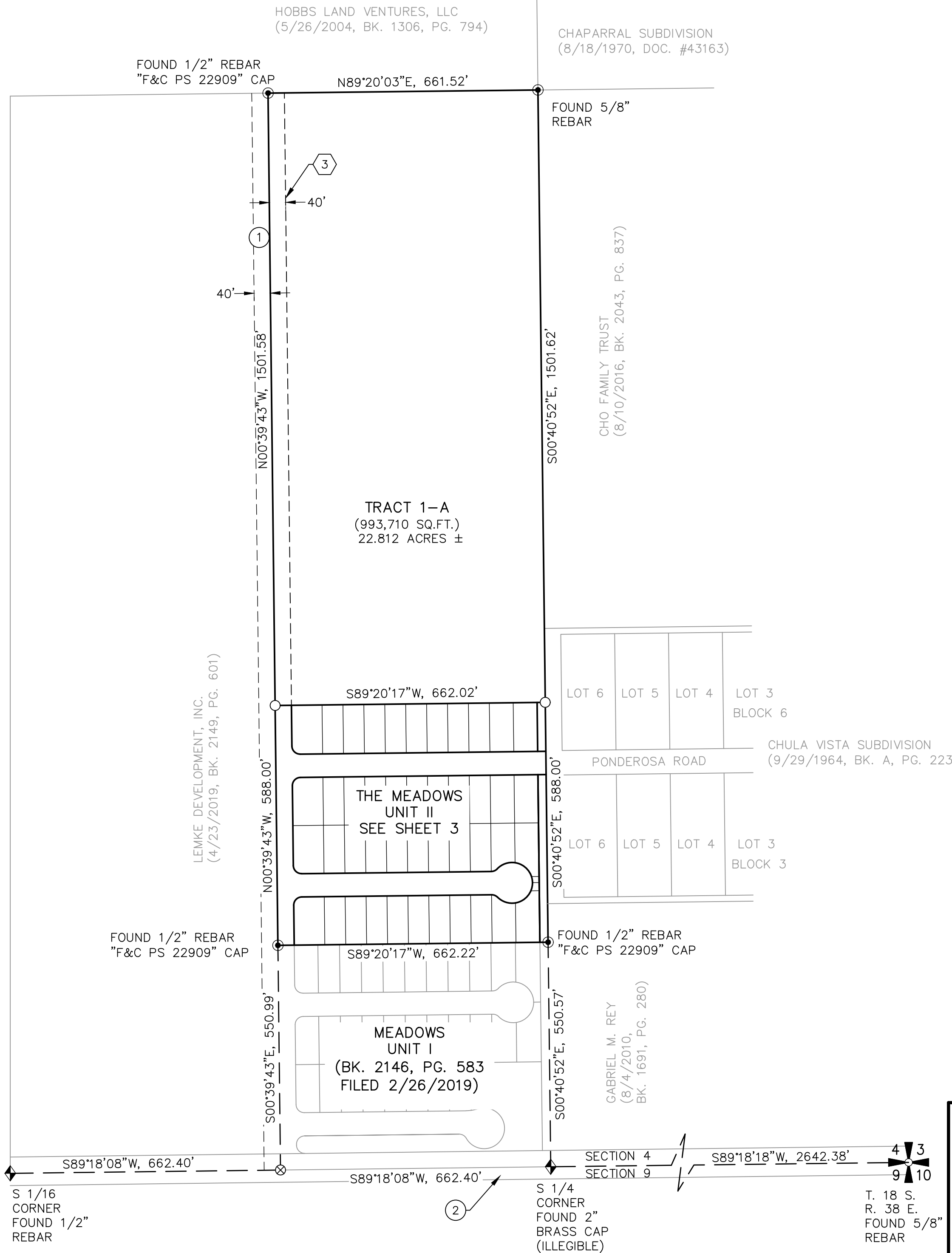
MY COMMISSION EXPIRES _____

STATE OF NEW MEXICO
COUNTY OF LEA
FILED

_____, 2019,
AT _____, O'CLOCK ____M AND RECORDED IN
BOOK _____
PAGE _____
_____, LEA COUNTY CLERK
BY _____ DEPUTY

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PLAT OF
 THE MEADOWS SUBDIVISION
 UNIT II
 SECTION 4, TOWNSHIP 18 SOUTH,
 RANGE 38 EAST, N.M.P.M.,
 CITY OF HOBBS,
 LEA COUNTY, NEW MEXICO
 OCTOBER 2019



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STATE OF NEW MEXICO
 COUNTY OF LEA
 FILED

_____, 2019,
 AT _____, O'CLOCK ___M AND RECORDED IN
 BOOK _____
 PAGE _____
 _____, LEA COUNTY CLERK
 BY _____ DEPUTY

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LEMKE DEVELOPMENT, INC.
(4/23/2019, BK. 2149, PG. 601)

PUBLIC INFRASTRUCTURE EASEMENT

JA-ROB ROAD
(80' ROADWAY)
N00°39'43"W, 588.00'
293.00'

TRACT 1-A
(993,710 SQ.FT.)
22.812 ACRES ±

SEE SHEET 2

PLAT OF
THE MEADOWS SUBDIVISION
UNIT II
SECTION 4, TOWNSHIP 18 SOUTH,
RANGE 38 EAST, N.M.P.M.,
CITY OF HOBBS,
LEA COUNTY, NEW MEXICO
OCTOBER 2019

LOT 6, BLOCK 6
CHULA VISTA SUBDIVISION
(9/29/1964, BK. A, PG. 223)

20' DRAINAGE AND PUBLIC
INFRASTRUCTURE CORRIDOR
DEDICATED TO THE PUBLIC
0.0551 ACRES

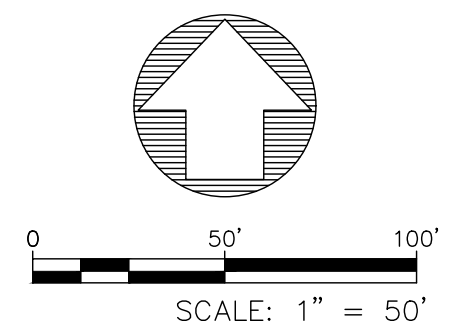
PONDEROSA ROAD

LOT 6, BLOCK 3
CHULA VISTA SUBDIVISION
(9/29/1964, BK. A, PG. 223)

20' DRAINAGE AND PUBLIC
INFRASTRUCTURE CORRIDOR
DEDICATED TO THE PUBLIC
0.1887 ACRES

GABRIEL M. REY
(8/4/2010,
BK. 1691, PG. 280)

CURVE TABLE					
CURVE #	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	31.42	20.00	90°00'00"	N44°20'17"E	28.28
C2	16.11	20.00	46°08'36"	S67°35'25"E	15.68
C3	48.33	50.00	55°22'44"	S72°12'29"E	46.47
C4	70.48	50.00	80°45'52"	N39°43'13"E	64.79
C5	70.48	50.00	80°45'52"	N41°02'39"W	64.79
C6	48.33	50.00	55°22'44"	S70°53'03"W	46.47
C7	16.11	20.00	46°08'36"	S66°15'59"W	15.68
C8	31.42	20.00	90°00'00"	N45°39'43"W	28.28
C9	31.42	20.00	90°00'00"	N44°20'17"E	28.28
C10	31.42	20.00	90°00'00"	N45°39'43"W	28.28



FOUND 1/2" REBAR
"F&C PS 22909" CAP

FOUND 1/2" REBAR
"F&C PS 22909" CAP

MEADOWS SUBDIVISION, UNIT I
(2/26/2019, BK. 2146, PG. 583)

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ALBUQUERQUE, NM 87120
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STATE OF NEW MEXICO
COUNTY OF LEA
FILED

_____, 2019,
AT _____, O'CLOCK ___M AND RECORDED IN
BOOK _____
PAGE _____
_____, LEA COUNTY CLERK
BY _____ DEPUTY

October 15, 2019
Planning Board Regular Meeting

- 8) **Review Sketch Plan for proposed Subdivision located southwest of the intersection of Texas and Hannah, as submitted by property owner, Glen Payne.**

SUMMARY REVIEW GORDON LUCHT ESTATE SECTION 3, TOWNSHIP 19 SOUTH, RANGE 38 EAST, N.M.P.M., LEA COUNTY, NEW MEXICO.

Dedicated a Public Easement.

LEGAL DESCRIPTION "TRACT A"

A TRACT OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 19 SOUTH, RANGE 38 EAST, N.M.P.M., LEA COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING S.00°04'00"W., 30.0 FEET AND N.89°59'00"W., 2003.5 FEET FROM THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER; THENCE S.00°04'00"W., 1043.5 FEET; THENCE S.89°59'00"E., 208.7 FEET; THENCE S.00°04'00"W., 208.7 FEET; THENCE N.89°59'00"W., 208.7 FEET; THENCE S.00°04'00"W., 626.1 FEET; THENCE N.89°59'00"W., 185.4 FEET TO A POINT ON THE EAST BOUNDARY OF RAILROAD; THENCE N.00°04'00"E. ALONG THE EAST BOUNDARY OF RAILROAD A DISTANCE OF 836.33 FEET; THENCE S.89°11'34"E., 148.83 FEET; THENCE N.00°26'21"E., 401.35 FEET; THENCE N.89°43'39"W., 151.3 FEET TO A POINT ON THE EAST BOUNDARY OF RAILROAD; THENCE N.00°04'00"E., 225.00 FEET; THENCE S.89°59'00"E., 152.8 FEET; THENCE N.00°04'00"E., 417.00; THENCE S.89°59'00"E., 40.0 FEET TO THE POINT OF BEGINNING. SUBJECT TO RESERVATIONS, RESTRICTIONS AND EASEMENTS APPEARING OF RECORD WITH WARRANTY COVENANTS.

DEDICATION STATEMENT - LEECH STREET
I, THE UNDERSIGNED OWNER OF THE SURVEYED AND SUBDIVIDED TRACTS AS THEY APPEAR ON THE PLAT AFFIXED HEREON AND THE STREET, AS IT APPEARS ON SAID PLAT, IS HEREBY DEDICATED TO THE USE OF PUBLIC.

IN WITNESS WHEREOF, THE UNDERSIGNED OWNER OF SAID TRACT OF LAND, HAVE HEREUNTO SET THEIR HAND THIS 10th DAY OF October, 2007 AND HEREBY STATE THAT THE LAND BEING SUBDIVIDED IN ACCORDANCE WITH THE PLAT AFFIXED HEREON.

LEGAL DESCRIPTION "TRACT B"

A TRACT OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 19 SOUTH, RANGE 38 EAST, N.M.P.M., LEA COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING S.00°04'00"W., 1073.5 FEET AND N.89°59'00"W., 2003.5 FEET FROM THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER; THENCE S.89°59'00"E., 208.7 FEET; THENCE S.00°04'00"W., 208.70 FEET TO THE POINT OF BEGINNING. SUBJECT TO RESERVATIONS, RESTRICTIONS AND EASEMENTS APPEARING OF RECORD WITH WARRANTY COVENANTS.

LEGAL DESCRIPTION "TRACT C"

A TRACT OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 19 SOUTH, RANGE 38 EAST, N.M.P.M., LEA COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING S.00°04'00"W., 1073.5 FEET AND N.89°59'00"W., 2043.5 FEET FROM THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER; THENCE N.89°11'34"W., 148.83 FEET; THENCE N.00°04'00"E., 400.00 FEET; THENCE S.89°43'39"E., 151.30 FEET; THENCE S.00°26'21"W., 401.35 FEET TO THE POINT OF BEGINNING. SUBJECT TO RESERVATIONS, RESTRICTIONS AND EASEMENTS APPEARING OF RECORD WITH WARRANTY COVENANTS.

IN WITNESS WHEREOF, THE UNDERSIGNED OWNER OF SAID TRACT OF LAND, HAVE HEREUNTO SET THEIR HAND THIS 10th DAY OF October, 2007 AND HEREBY STATE THAT THE LAND BEING SUBDIVIDED IN ACCORDANCE WITH THE PLAT AFFIXED HEREON.

Russ Doss
RUSS DOSS, PERSONAL REPRESENTATIVE FOR THE GORDON LUCHT ESTATE

STATE OF NEW MEXICO } ss
COUNTY OF LEA

The foregoing instrument was Acknowledged before me this 10th day of October, 2007, by Russ Doss.

My commissions expires 7-20-11

Diane Modugno
OFFICIAL SEAL
DIANE MODUGNO
Notary Public
State of New Mexico
My Commission Expires 7-20-11

CERTIFICATE OF MUNICIPAL SUMMARY PROCESS APPROVAL

Eric Honeyfield
I, *Eric Honeyfield*, City Manager for the City of Hobbs, Lea County, New Mexico, do hereby certify that the foregoing plat in the City of Hobbs, Lea County, New Mexico, was reviewed and deemed compliant with the Municipal Summary Process Regulation on this 30th day of October, 2007.

Eric Honeyfield
Eric Honeyfield, City Manager

Jan Fletcher
Attest - Jan Fletcher, City Clerk

STATE OF NEW MEXICO } ss
COUNTY OF LEA

The foregoing instrument was Acknowledged before me this 30th day of October, 2007 by Eric Honeyfield and Jan Fletcher.

My commission expires 8-24-2011

Mollie Maldonado
OFFICIAL SEAL
Mollie Maldonado
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires: 08/24/2011

CERTIFICATE OF SURVEY

I hereby certify this plot to be a true copy of a survey made in the field under my supervision, and meets the requirements of the Minimum Standards of Surveying in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors. This is a boundary survey plot of a new tract and is being subdivided under the City of Hobbs Summary Review Process. In witness whereof, I hereby set my hand and office on this 17th day of September, 2007.

Gary L. Jones
GARY L. JONES
REGISTERED PROFESSIONAL LAND SURVEYOR
No. P.S. 7977
7977

FILED BY
BASIN SURVEYS
P.O. BOX 1785, HOBBS, NEW MEXICO
LEON SUMMAYS

STATE OF NEW MEXICO
COUNTY OF LEA
FILED

October 31, 2007

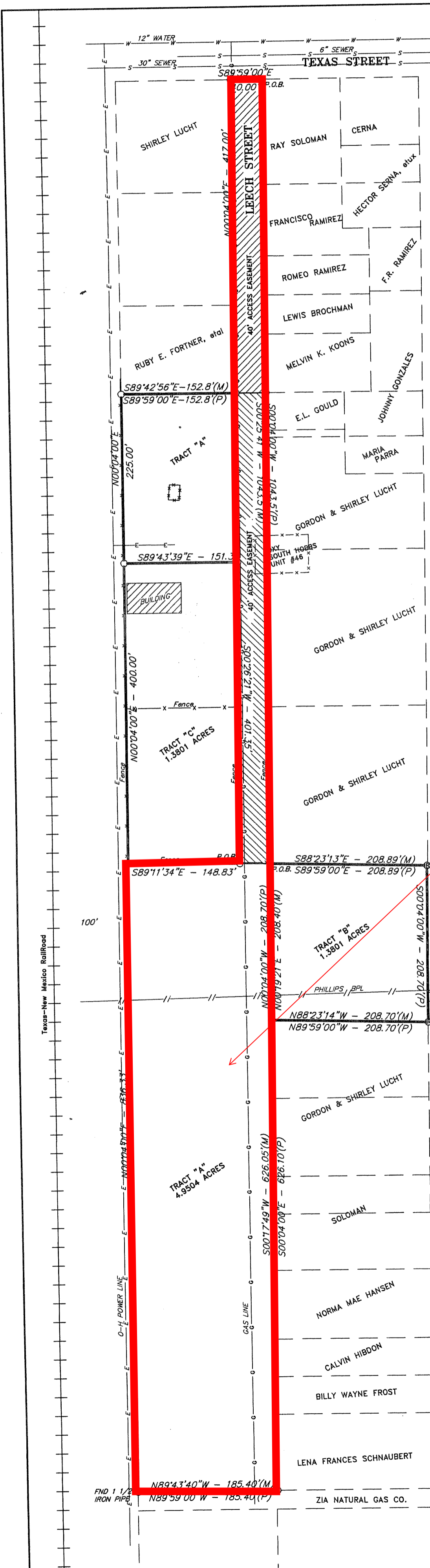
AT 2:34 O'CLOCK P.M.

AND RECORDED IN BOOK 1546

PAGE 38

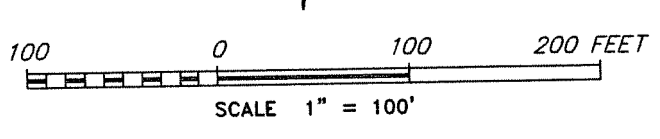
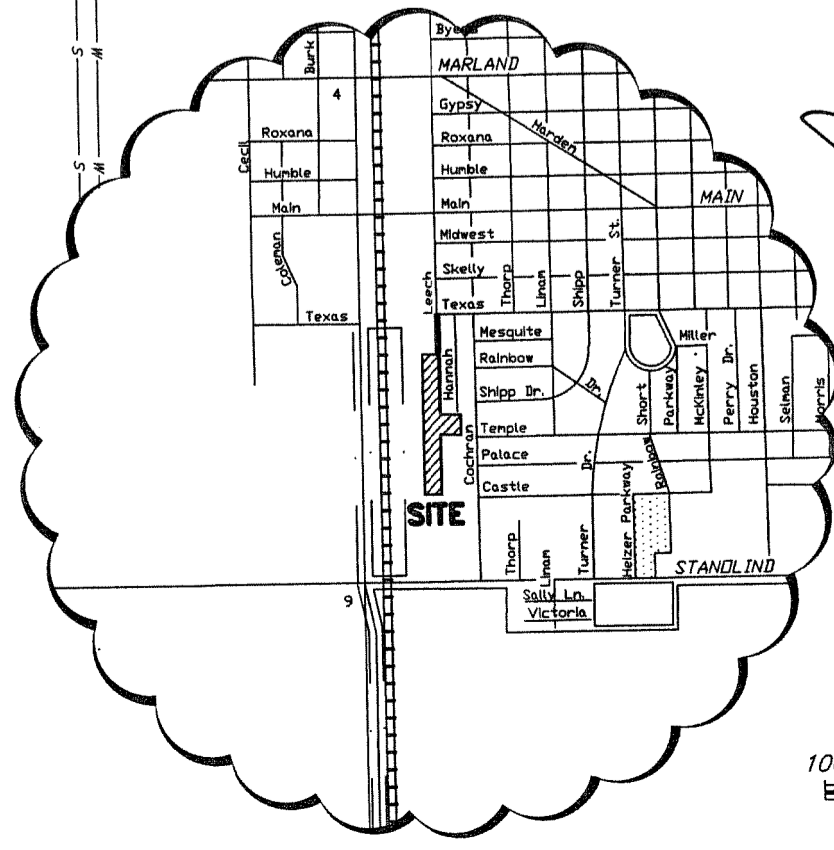
MELINDA HUGHES, LEA COUNTY CLERK

BY *DJ* DEPUTY 55-1163

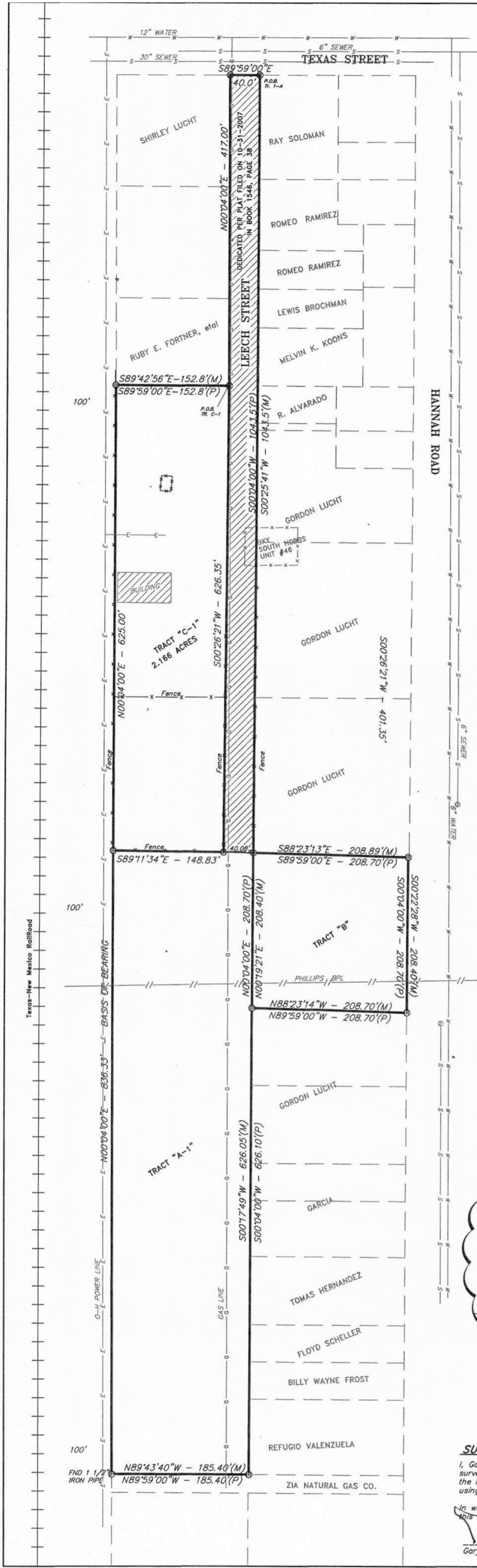


Flag pole with joint access easement.

- LEGEND
- ⊙ - FND 1/2" REBAR
- - SET 1/2" REBAR
- ⊖ - FND 1 1/2" PIPE
- G — GAS LINE
- W — WATER LINE
- S — SEWER LINE
- P — POWER LINE
- ⊙ - MANHOLE



Replat approved administratively because eliminating a lot accessible only from an easement improved the situation.



SUMMARY REVIEW
A REPLAT OF THE GORDON LUCHT ESTATE SUMMARY REVIEW
FILED ON 10-31-2007 IN BK 1546, PG 38.
SECTION 3, TOWNSHIP 19 SOUTH, RANGE 38 EAST,
N.M.P.M., LEA COUNTY, NEW MEXICO.

LEGAL DESCRIPTION - TRACT A-1

A TRACT OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 19 SOUTH, RANGE 38 EAST, NMPM, LEA COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING S.00°04'00"W., 30.0 FEET AND N.89°59'00"W., 2003.5 FEET FROM THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 3. THENCE S.00°04'00"E., 1878.3 FEET; THENCE N.89°59'00"W., 185.40 FEET TO A POINT ON THE EAST LINE OF THE RAILROAD RIGHT OF WAY. THENCE N.00°04'00"W., ALONG THE SAID RAILROAD RIGHT OF WAY, 836.33 FEET; THENCE S.89°11'34"E., 148.83 FEET; THENCE N.00°26'21"E., 626.35 FEET; THENCE S.89°59'00"E., 40.0 FEET TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION - TRACT B

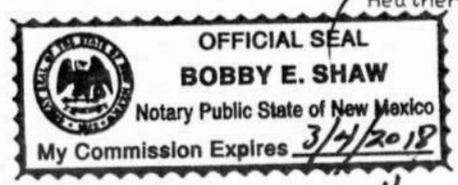
A TRACT OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 19 SOUTH, RANGE 38 EAST, NMPM, LEA COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING S.00°04'00"W., 1073.5 FEET AND N.89°59'00"W., 2003.5 FEET FROM THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 3. THENCE S.89°59'00"E., 208.7 FEET; THENCE S.00°04'00"W., 208.7 FEET; THENCE N.89°59'00"W., 208.7 FEET; THENCE N.00°04'00"W., 208.7 FEET TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION - TRACT C-1

A TRACT OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 19 SOUTH, RANGE 38 EAST, NMPM, LEA COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING S.00°04'00"W., 447.00 FEET AND N.89°59'00"W., 2043.5 FEET FROM THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 3. THENCE S.00°26'21"W., 626.35 FEET; THENCE N.89°11'34"W., 148.83 FEET TO A POINT ON THE EAST RAILROAD RIGHT OF WAY. THENCE N.00°04'00"E., ALONG THE SAID EAST RAILROAD RIGHT OF WAY, 625.00 FEET; THENCE S.89°59'00"E., 152.8 FEET TO THE POINT OF BEGINNING.

Said property is being subdivided with the free consent and in accordance with the desires of the undersigned owner thereof and is surveyed and subdivided according to the tracts as they appear on the plat affixed hereon. In witness whereof, the undersigned owners of said land has hereunto set their hands this 14th day of October, 2016.

Glen Payne
 Glen Payne
Heather Payne
 Heather Payne



STATE OF NEW MEXICO } ss
 COUNTY OF LEA

The Foregoing Instrument was Acknowledged before me this 14th day of October, 2016, by Glen Payne and Heather Payne.

My commissions expires 3/4/2018

[Signature]
 Notary Public

CERTIFICATE OF MUNICIPAL SUMMARY PROCESS APPROVAL

I, Kevin Robinson, The duly appointed City Planner for the City of Hobbs, Lea County, New Mexico, do hereby certify that the foregoing plat in 14th day of October, 2016, was reviewed and deemed compliant with the Municipal Summary Process Regulations on this 14th day of October, 2016.

Kevin Robinson
 Kevin Robinson - Development Director



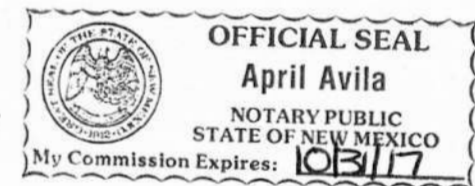
Jan Fletcher
 Attest - Jan Fletcher, City Clerk

STATE OF NEW MEXICO } ss
 COUNTY OF LEA

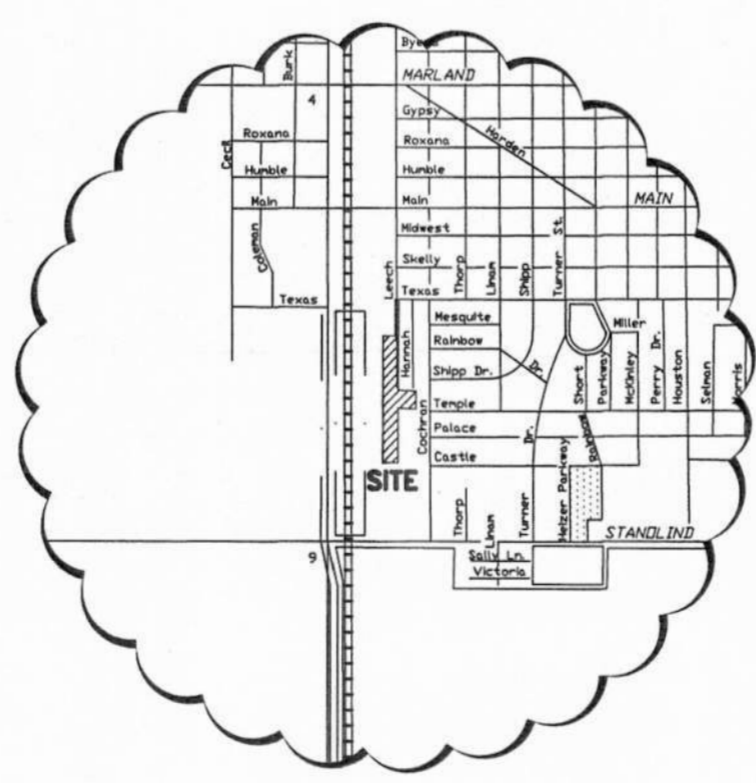
The Foregoing Instrument was Acknowledged before me this 14th day of October, 2016 by Kevin Robinson and Jan Fletcher.

My commission expires 10/31/17

April Avila
 Notary Public



UTILITIES, BURIED AND ABOVE GROUND, EXIST ON THESE TRACTS AND MAY NOT BE SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE OWNER TO ASCERTAIN THEIR LOCATION. PRIOR TO ANY CONSTRUCTION, "ONE-CALL" MUST BE NOTIFIED. DRAIN PATHS ARE NOT SHOWN ON THIS DRAWING.



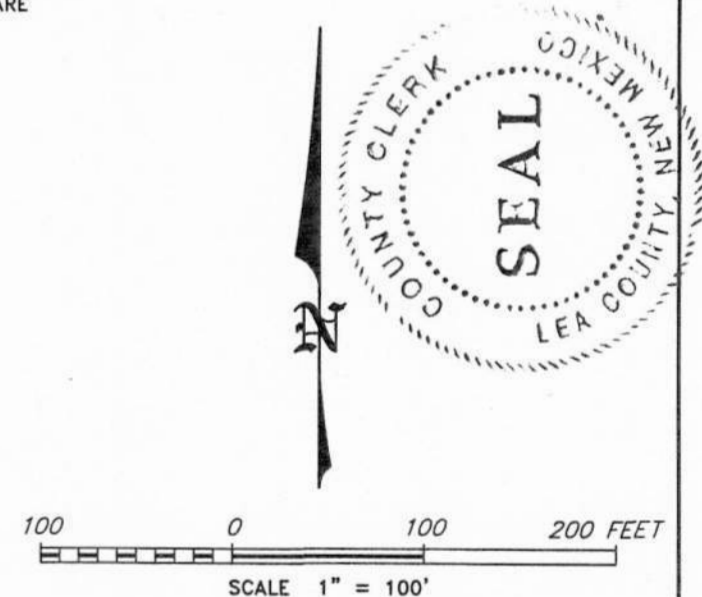
- LEGEND**
- ⊗ - FND 1/2" REBAR
 - - SET 1/2" REBAR
 - ⊖ - FND 1 1/2" PIPE
 - G - GAS LINE
 - W - WATER LINE
 - S - SEWER LINE
 - P - POWER LINE
 - ⊙ - MANHOLE

SURVEYOR'S CERTIFICATE

I, Gary L. Jones, a New Mexico Registered Professional Surveyor certify that I directed and am responsible for this survey, that this replat is true and correct to the best of my knowledge and belief, and this survey and plat meet the Minimum Standards for Surveying in New Mexico. This is a subdivision of an existing tract and is being processed using the City of Hobbs Summary Review Process.

In witness whereof I hereunto set hand and affix my official seal this 14th day of October, 2016.

Gary L. Jones
 Gary L. Jones, M.P.S., No. 57897
 PROFESSIONAL SURVEYOR



Prepared By:
BASIN SURVEYS
 P.O. BOX 1786 - HOBBS, NEW MEXICO
 LEECH SUMM.DWG

STATE OF NEW MEXICO
 COUNTY OF LEA
 FILED

December 15, 2016

AT 2:57 O'CLOCK P.M.

AND RECORDED IN BOOK 2

PAGE 427

PAT CHAPPELLE, LEA COUNTY CLERK
 By *Mary Salmon* DEPUTY

58917

G and H SUBDIVISION

CITY OF HOBBS, N.M.P.M.,
LEA COUNTY, NEW MEXICO.

LEGAL DESCRIPTION

THE FOREGOING SUBDIVISION OF A CERTAIN TRACT OF LAND SITUATED WITHIN THE CORPORATE BOUNDARIES OF THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, LYING IN THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 19 SOUTH, RANGE 38 EAST, NMPM, LEA COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT BEING WEST 56.03 FEET AND S.00°22'28"W., 514.70 FEET FROM THE NORTHWEST CORNER OF BLOCK 25, SOUTHERN HEIGHTS ADDITION TO THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO. THENCE S.00°22'28"W., 523.92 FEET; THENCE N.88°23'13"W., 208.89 FEET; THENCE N.00°26'21"E., 586.82 FEET; THENCE S.89°42'45"E., 96.85 FEET; THENCE S.01°10'45"W., 42.26 FEET; THENCE S.89°42'45"E., 104.88 FEET TO THE POINT OF BEGINNING.

AND BEGINNING AGAIN AT A POINT BEING WEST 56.03 FEET AND S.00°22'28"W., 1247.02 FEET FROM THE NORTHWEST CORNER OF BLOCK 25, SOUTHERN HEIGHTS ADDITION TO THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO. THENCE S.00°22'28"W., 203.75 FEET; THENCE N.89°42'11"W., 208.70 FEET; THENCE N.00°17'49"W., 208.55 FEET; THENCE S.88°23'14"W., 208.70 FEET TO THE POINT OF BEGINNING.

Said property is being subdivided with the free consent and in accordance with the desires of the undersigned owner thereof and is surveyed and subdivided according to the tracts as they appear on the plat affixed hereon. In witness whereof, the undersigned owners of said land has hereunto set their hands this _____ day of October, 2019.

Glen Payne _____ Heather Payne _____

STATE OF NEW MEXICO } ss
COUNTY OF LEA

The Foregoing Instrument was Acknowledged before me this ____ day of October, 2019, by Glen Payne and Heather Payne.

My commissions expires _____ Notary Public _____

CERTIFICATE OF MUNICIPAL APPROVAL

I, Jan Fletcher, the Duly Appointed and Acting City Clerk of the City of Hobbs, Lea County, New Mexico, do hereby certify that the foregoing plat of the G and H Subdivision, to the City of Hobbs, was approved by the Commission of the City of Hobbs by Resolution No. _____ on the _____ day of 2019.

Jan Fletcher, City Clerk _____

(E) Access to Existing Public Streets. The subdividing of the land shall be such as to provide, by means of a public street, and each lot shall be provided with a thirty-five (35) feet minimum access to an existing public street. Minimum access width for each lot fronting a cul-de-sac shall be thirty (30) feet minimum measured on the property line to the curb line, and a thirty-five (35) feet minimum width measured at the building setback line. Each "flag" lot, defined herein as a parcel of land accessible only by an extension of land connecting a public access street to the building site area of the parcel, shall have a minimum continuous access width of thirty-five (35) feet. Access shall mean a contiguous and continuous direct property boundary connecting to the public street.

STATE OF NEW MEXICO } ss
COUNTY OF LEA

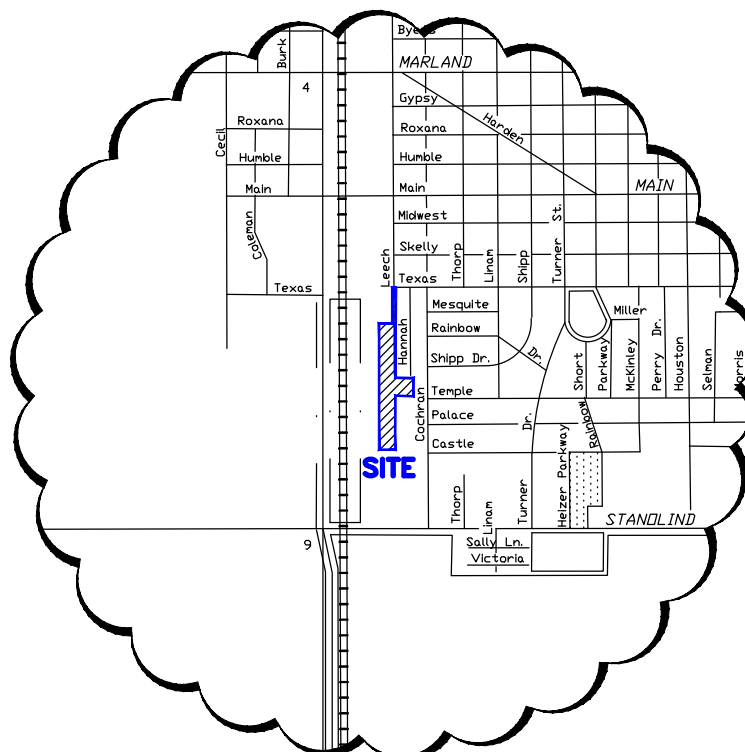
The Foregoing Instrument was Acknowledged before me this ____ day October by William M. Hicks.

My commission expires _____ Notary Public _____

NOTE: Lot lines were determined by location of existing fences. A house exists on each lot with the exception of Lot 10.

LOT NUMBER	SQ. FOOT	ADDRESS	CURRENT OWNER	BOOK/PAGE
Lot 1	10,429	1219 S. Hannah	Glen & Heather Payne	1063/597
Lot 2	6174	1221 S. Hannah	Glen & Heather Payne	1063/597
Lot 3	5746	1223 S. Hannah	Glen & Heather Payne	1063/597
Lot 4	4971	1225 S. Hannah	Glen & Heather Payne	1063/597
Lot 5	5589	1227 S. Hannah	Glen & Heather Payne	1063/597
Lot 6	5130	1229 S. Hannah	Glen & Heather Payne	1063/597
Lot 7	5606	1231 S. Hannah	Glen & Heather Payne	1063/597
Lot 8	5328	1233 S. Hannah	Glen & Heather Payne	1063/597
Lot 9	6152	1235 S. Hannah	Glen & Heather Payne	1063/597
Lot 10	59,865	No address	Glen & Heather Payne	1063/597
Lot 11	21,062	1410 S. Hannah	Glen & Heather Payne	1063/597
Lot 12	10,570	1412 S. Hannah	Glen & Heather Payne	1063/597
Lot 13	11,319	1414 S. Hannah	Glen & Heather Payne	1063/597

UTILITIES, BURIED AND ABOVE GROUND, EXIST ON THESE TRACTS AND MAY NOT BE SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE OWNER TO ASCERTAIN THEIR LOCATION. PRIOR TO ANY CONSTRUCTION, "ONE-CALL" MUST BE NOTIFIED. DRAIN PATHS ARE NOT SHOWN ON THIS DRAWING.



LEGEND

- ⊙ - FND 1/2" REBAR
- - SET 1/2" REBAR
- ⊖ - FND 1 1/2" PIPE
- W — WATER LINE
- S — SEWER LINE
- P — POWER LINE
- ⊙ — MANHOLE

Prepared By:
BASIN SURVEYS
P.O. BOX 1786 - HOBBS, NEW MEXICO
Payne 2019

STATE OF NEW MEXICO
COUNTY OF LEA
FILED

_____, 2019

AT _____ O'CLOCK _____ M

AND RECORDED IN BOOK _____

PAGE _____

PAT CHAPPELLE, LEA COUNTY CLERK

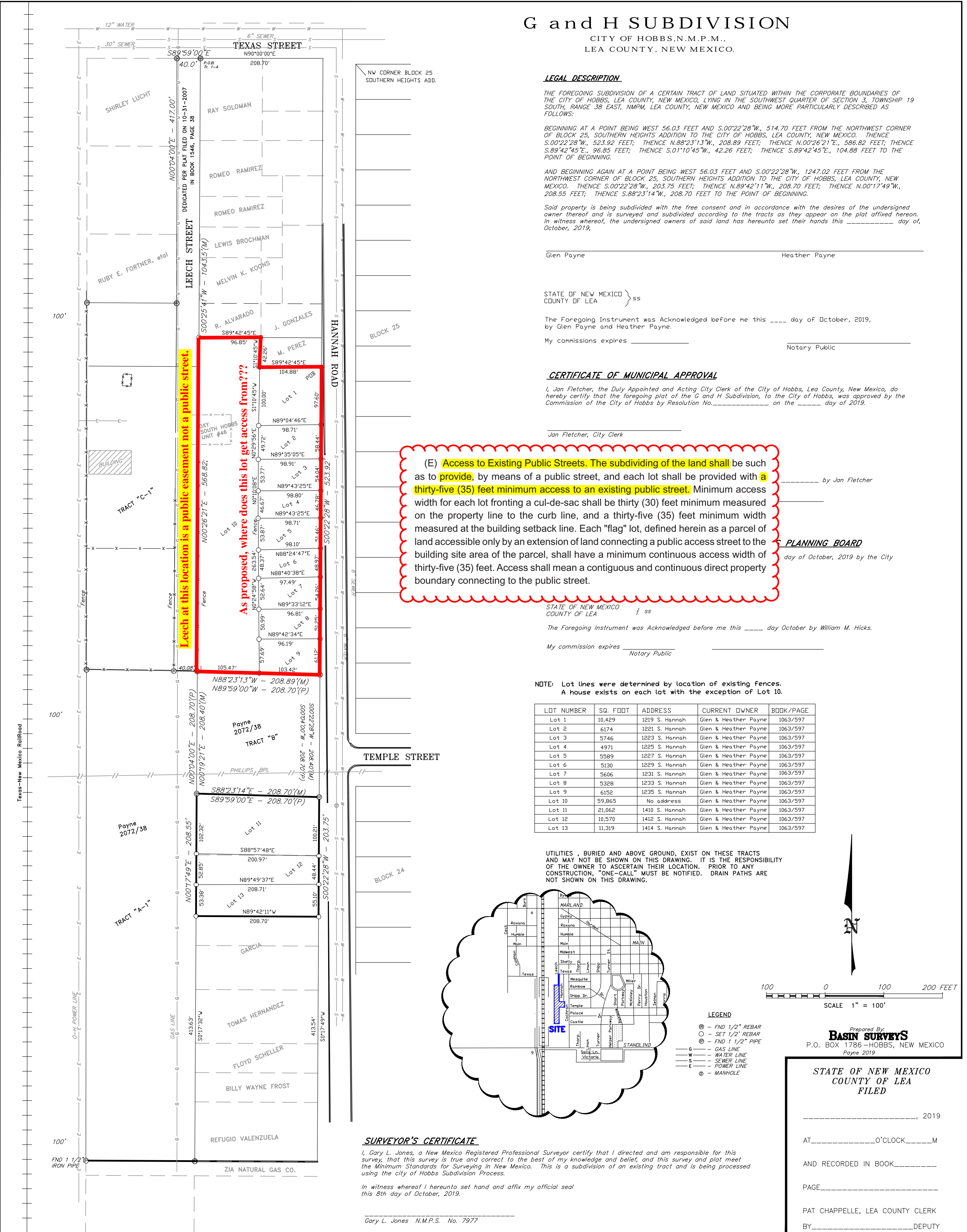
BY _____ DEPUTY

SURVEYOR'S CERTIFICATE

I, Gary L. Jones, a New Mexico Registered Professional Surveyor certify that I directed and am responsible for this survey, that this survey is true and correct to the best of my knowledge and belief, and this survey and plat meet the Minimum Standards for Surveying in New Mexico. This is a subdivision of an existing tract and is being processed using the City of Hobbs Subdivision Process.

In witness whereof I hereunto set hand and affix my official seal this 8th day of October, 2019.

Gary L. Jones N.M.P.S. No. 7977





Google Earth

© 2018 Google



500 ft

TEXAS STREET
 490°00'00"E
 40.0'

601

519 511 1203 1205 1211 1212 1214 1216 1217 1219 1221 1223 1225 1227 1229 1231 1233 1235 1301

880'-7"

LEECH STREET
 400°04'00"E - 417.00'
 DEDICATED PER PLAT FILED ON 10-31-2007
 IN BOOK 1546, PAGE 38

S Leech St

HANNAH ROAD
 500°22'28"W - 523.92'

S Hannah Rd

400'E - 208.70'(P)
 121'E - 208.40'(W)
 N89°23'43"W - 208.89'(N)
 N89°53'00"W - 207.50'(P)
 POYNE
 2072/58
 TRACT "B"

NW CORNER BLOCK 24
 SOUTHERN 1201'S ADD

1203 1205 1207 1209 1211 1213 1215 1217 1219 1221 1223 1225 1227 1229 1231 1233 1235 1237

880'-7"

1117 409 407 405 403 401 311 309 307

410 408 406 404 402 400 310 308 306

411 409 407 405 403 401 311 309 307

410 408 406 404 402 400 310 308 306

411 409 407 405 403 401 311 309 307

410 408 406 404 402 400 310 308 306

411 409 407 405 403 401 311 309 307

410 408 406 404 402 400 310 308 306

411 409 407 405 403 401 311 309 307

1,249'-5"

S Cochrane St

STATUS	STEWARD	ADDNO	PRD	STNAME	STTYPE	MSAG	LABEL	CITY	COUNTY	STATE	ZIP	LOCTYPE	HABTYPE	ADDESIGN	LATLONG	POLICE	PDBEAT	FIRE	AMBULANCE	LAST_EDITE	LAST_EDI_1
ACTIVE	HOBBS	1301 S		HANNAH RD		HOBBSNM	1301 S HANNAH RD	HOBBS	LEA	NM	88240	RESID-MH-SGL	HABITABLE	PERMANENT	32.41' 10.860''' N -103.8' 32.017''' W	HOBBS PD	1	HOBBS FD	HOBBS EMS	TSTAGGS	8/23/2017 0:00
ACTIVE	HOBBS	1203 S		HANNAH RD		HOBBSNM	1203 S HANNAH RD	HOBBS	LEA	NM	88240	RESIDENCE	HABITABLE	PERMANENT	32.41' 20.340''' N -103.8' 31.766''' W	HOBBS PD	1	HOBBS FD	HOBBS EMS	TSTAGGS	8/23/2017 0:00
ACTIVE	HOBBS	1205 S		HANNAH RD		HOBBSNM	1205 S HANNAH RD	HOBBS	LEA	NM	88240	RESIDENCE	HABITABLE	PERMANENT	32.41' 19.704''' N -103.8' 31.740''' W	HOBBS PD	1	HOBBS FD	HOBBS EMS	TSTAGGS	8/23/2017 0:00
ACTIVE	HOBBS	1214 S		HANNAH RD		HOBBSNM	1214 S HANNAH RD	HOBBS	LEA	NM	88240	RESIDENCE	HABITABLE	PERMANENT	32.41' 17.093''' N -103.8' 31.700''' W	HOBBS PD	1	HOBBS FD	HOBBS EMS	TSTAGGS	8/23/2017 0:00
ACTIVE	HOBBS	1217 S		HANNAH RD		HOBBSNM	1217 S HANNAH RD	HOBBS	LEA	NM	88240	RESIDENCE	HABITABLE	PERMANENT	32.41' 16.476''' N -103.8' 31.864''' W	HOBBS PD	1	HOBBS FD	HOBBS EMS	TSTAGGS	8/23/2017 0:00
ACTIVE	HOBBS	1211 S		HANNAH RD		HOBBSNM	1211 S HANNAH RD	HOBBS	LEA	NM	88240	RESIDENCE	HABITABLE	PERMANENT	32.41' 18.990''' N -103.8' 31.692''' W	HOBBS PD	1	HOBBS FD	HOBBS EMS	TSTAGGS	8/23/2017 0:00
ACTIVE	HOBBS	1219 S		HANNAH RD		HOBBSNM	1219 S HANNAH RD	HOBBS	LEA	NM	88240	RESIDENCE	HABITABLE	PERMANENT	32.41' 15.518''' N -103.8' 31.833''' W	HOBBS PD	1	HOBBS FD	HOBBS EMS	TSTAGGS	8/23/2017 0:00
ACTIVE	HOBBS	1231 S		HANNAH RD		HOBBSNM	1231 S HANNAH RD	HOBBS	LEA	NM	88240	RESIDENCE	HABITABLE	PERMANENT	32.41' 12.362''' N -103.8' 31.872''' W	HOBBS PD	1	HOBBS FD	HOBBS EMS	TSTAGGS	8/23/2017 0:00
ACTIVE	HOBBS	1221 S		HANNAH RD		HOBBSNM	1221 S HANNAH RD	HOBBS	LEA	NM	88240	RESIDENCE	HABITABLE	PERMANENT	32.41' 14.892''' N -103.8' 31.877''' W	HOBBS PD	1	HOBBS FD	HOBBS EMS	TSTAGGS	8/23/2017 0:00
ACTIVE	HOBBS	1229 S		HANNAH RD		HOBBSNM	1229 S HANNAH RD	HOBBS	LEA	NM	88240	RESIDENCE	HABITABLE	PERMANENT	32.41' 12.974''' N -103.8' 31.901''' W	HOBBS PD	1	HOBBS FD	HOBBS EMS	TSTAGGS	8/23/2017 0:00
ACTIVE	HOBBS	1223 S		HANNAH RD		HOBBSNM	1223 S HANNAH RD	HOBBS	LEA	NM	88240	RESIDENCE	HABITABLE	PERMANENT	32.41' 14.388''' N -103.8' 31.901''' W	HOBBS PD	1	HOBBS FD	HOBBS EMS	TSTAGGS	8/23/2017 0:00
ACTIVE	HOBBS	1235 S		HANNAH RD		HOBBSNM	1235 S HANNAH RD	HOBBS	LEA	NM	88240	RESIDENCE	HABITABLE	PERMANENT	32.41' 11.321''' N -103.8' 31.851''' W	HOBBS PD	1	HOBBS FD	HOBBS EMS	TSTAGGS	8/23/2017 0:00
ACTIVE	HOBBS	1227 S		HANNAH RD		HOBBSNM	1227 S HANNAH RD	HOBBS	LEA	NM	88240	RESIDENCE	HABITABLE	PERMANENT	32.41' 13.407''' N -103.8' 32.112''' W	HOBBS PD	1	HOBBS FD	HOBBS EMS	TSTAGGS	8/23/2017 0:00
ACTIVE	HOBBS	1233 S		HANNAH RD		HOBBSNM	1233 S HANNAH RD	HOBBS	LEA	NM	88240	RESIDENCE	HABITABLE	PERMANENT	32.41' 11.923''' N -103.8' 31.926''' W	HOBBS PD	1	HOBBS FD	HOBBS EMS	TSTAGGS	8/23/2017 0:00
ACTIVE	HOBBS	1225 S		HANNAH RD		HOBBSNM	1225 S HANNAH RD	HOBBS	LEA	NM	88240	RESIDENCE	HABITABLE	PERMANENT	32.41' 13.831''' N -103.8' 31.880''' W	HOBBS PD	1	HOBBS FD	HOBBS EMS	TSTAGGS	8/23/2017 0:00
ACTIVE	HOBBS	1212 S		HANNAH RD		HOBBSNM	1212 S HANNAH RD	HOBBS	LEA	NM	88240	RESID-MH-SGL	HABITABLE	PERMANENT	32.41' 18.207''' N -103.8' 31.575''' W	HOBBS PD	1	HOBBS FD	HOBBS EMS	TSTAGGS	8/23/2017 0:00
16																					
ACTIVE	HOBBS	1214 S		LEECH ST	ST	HOBBSNM	1214 S LEECH ST	HOBBS	LEA	NM	88240	RESIDENCE	HABITABLE	PERMANENT	32.41' 18.246''' N -103.8' 33.445''' W	HOBBS PD	1	HOBBS FD	HOBBS EMS	TSTAGGS	8/23/2017 0:00
ACTIVE	HOBBS	1216 S		LEECH ST	ST	HOBBSNM	1216 S LEECH ST	HOBBS	LEA	NM	88240	RESIDENCE	HABITABLE	PERMANENT	32.41' 17.631''' N -103.8' 33.098''' W	HOBBS PD	1	HOBBS FD	HOBBS EMS	TSTAGGS	8/23/2017 0:00
ACTIVE	HOBBS	1230 S		LEECH ST	ST	HOBBSNM	1230 S LEECH ST	HOBBS	LEA	NM	88240	RESIDENCE	HABITABLE	PERMANENT	32.41' 13.411''' N -103.8' 33.282''' W	HOBBS PD	1	HOBBS FD	HOBBS EMS	TSTAGGS	8/23/2017 0:00
3																					
ACTIVE	HOBBS	519 W		TEXAS ST	ST	HOBBSNM	519 W TEXAS ST	HOBBS	LEA	NM	88240	RESIDENCE	HABITABLE	PERMANENT	32.41' 20.948''' N -103.8' 32.849''' W	HOBBS PD	1	HOBBS FD	HOBBS EMS	TSTAGGS	8/23/2017 0:00
ACTIVE	HOBBS	511 W		TEXAS ST	ST	HOBBSNM	511 W TEXAS ST	HOBBS	LEA	NM	88240	RESIDENCE	HABITABLE	PERMANENT	32.41' 20.920''' N -103.8' 31.785''' W	HOBBS PD	1	HOBBS FD	HOBBS EMS	TSTAGGS	8/23/2017 0:00
2																					

37 total structures and 21 "addressable" structures.